

**EASTLAKE II GENERAL DEVELOPMENT PLAN
EASTLAKE GREENS SPA
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GENERAL DEVELOPMENT PLAN

EASTLAKE II

INCLUDES THE FOLLOWING SPAS:

**EASTLAKE I, EASTLAKE II (EASTLAKE GREENS & TRAILS),
SALT CREEK I, BUSINESS CENTER II
AND VILLAGE CENTER NORTH**

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SECTION I.1 GENERAL DEVELOPMENT PLAN (GDP)

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I.1.1 Introduction & Background

I.1.1.1 Introduction

The EastLake II General Development Plan (GDP) provides a policy bridge between the Chula Vista General Plan and the detailed planning provided in Sectional Planning Area (SPA) Plans for the EastLake II area (see Vicinity Map, Exhibit 1).

This GDP establishes Land Use Districts and defines intensity of development permitted in each district. This GDP is the second in a series of planning documents and programs that will guide the development of the EastLake II area, with the first being the Chula Vista General Plan. Following the adoption of the General Plan and GDP, individual SPA Plans will further detail the planning policies and programs that will administer and regulate development. The GDP and the SPA Plans are required components of Planned Community (PC) Zoning and have been established in accordance with Sections 65450 through 65553 of the State of California Government Code and Sections 19.07.010 through 19.07.030 of the City of Chula Vista Municipal Code and apply to the property outlined by the General Development Plan boundary shown on Exhibit 2.

I.1.1.2 Background

The General Development Plan for EastLake I, which includes approximately forty percent of the property, was established as the EastLake I General Development Plan in August 1982. SPA's (neighborhoods) developed in EastLake I GDP area include EastLake Shores, EastLake Hills, Salt Creek I, Village Center North, and the EastLake Business Center I and II. Refer to Exhibits 2 and 3.

The EastLake Village Center North Supplemental SPA, includes Commercial, Office Professional and Business Center. The component of the Village Center south of Otay Lakes Road is included in the EastLake II SPA (Trails and Greens Neighborhoods) and is limited to Commercial uses.

The second major increment of the EastLake Community was the planning of the EastLake Greens and EastLake Trails neighborhoods, located east of the proposed alignment of SR-125, between Otay Lakes Road, and Olympic Parkway. This second phase was merged with the EastLake I GDP and the two areas are now known as the EastLake II GDP.

Vicinity Map

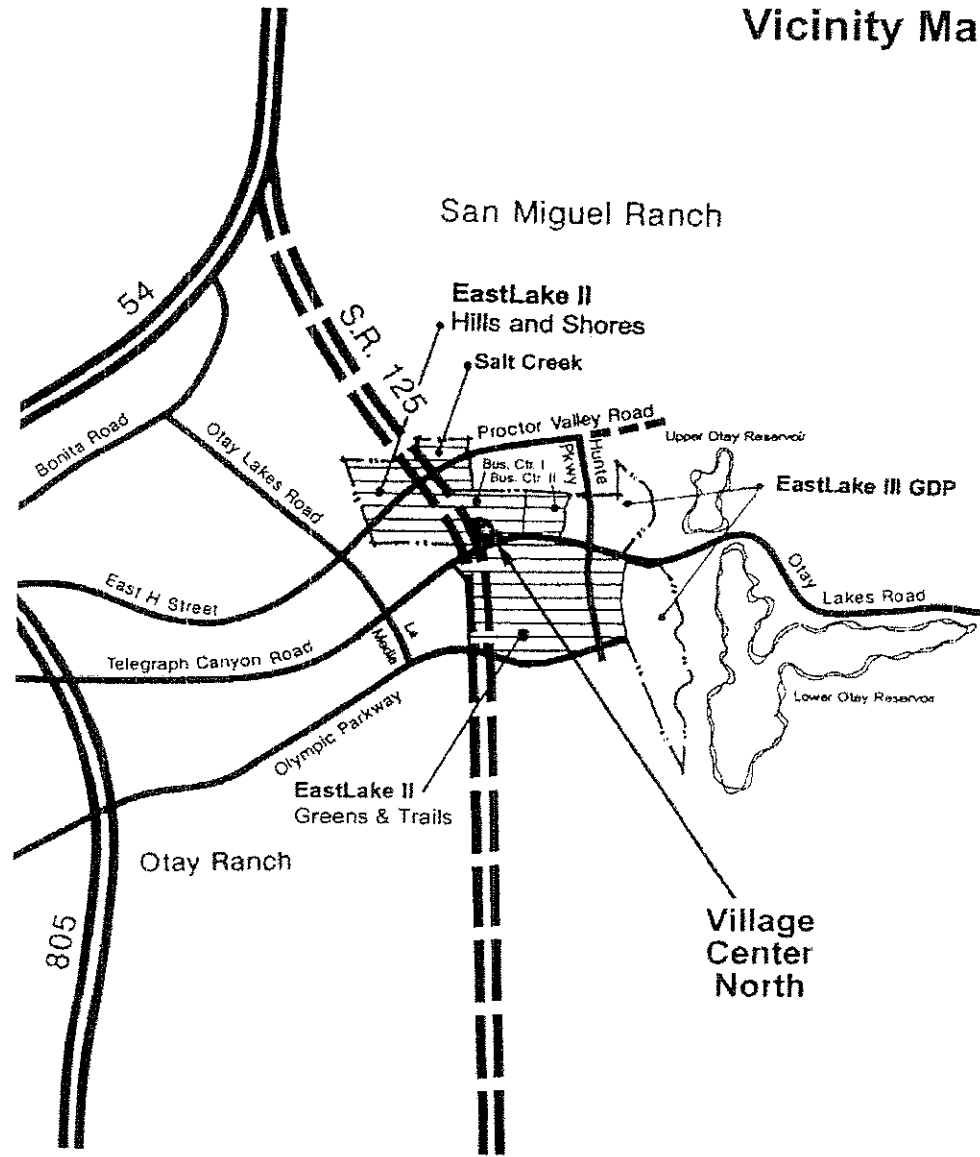


Exhibit 1

General Development Plan Boundaries

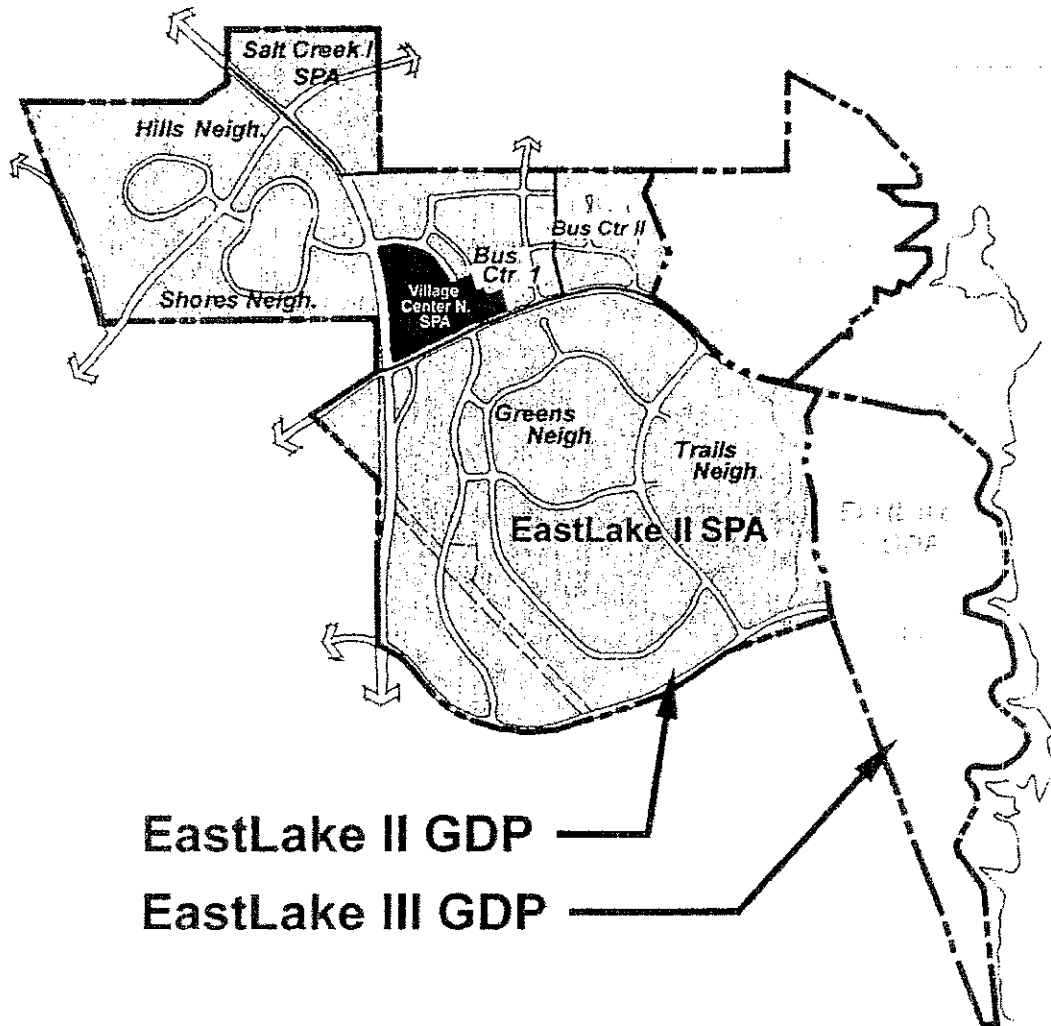
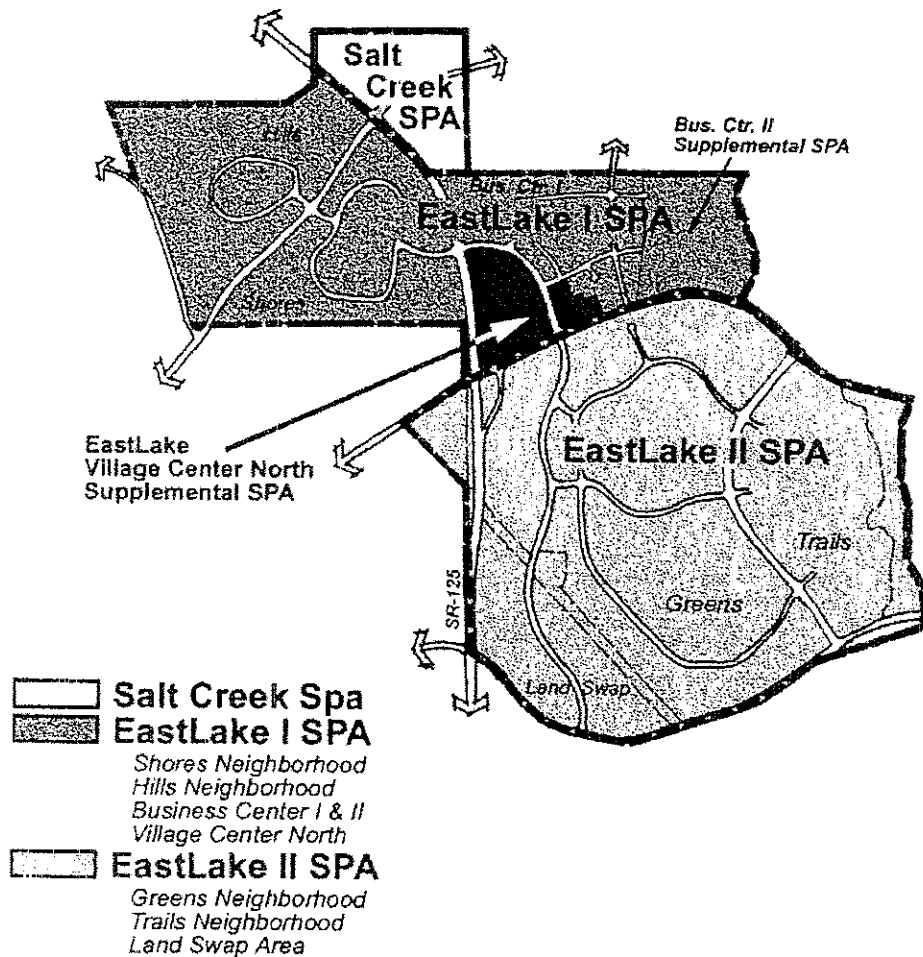


Exhibit 2

Adopted SPA Boundaries



EASTLAKE
A planned community by The EastLake Company

Cinfi Land Planning
San Diego, CA 92111 232-7400
7/23/02

Exhibit 3

I.1.2 Record of Amendments

I.1.2.1 The 1994 General Development Plan Amendment

All of the original EastLake property has been annexed to the City. After that annexation, EastLake made an exchange of property with the Otay Ranch involving parcels known as the Land Swap Property. This amendment incorporated a portion of the Land Swap (22.7 acres) into the EastLake Greens SPA for annexation to the City of Chula Vista. The balance of the Land Swap Property is to be the subject of a future action.

In addition, the EastLake Greens SPA was originally proposed to contain five parcels for higher density housing. These parcels were given an interim density designation in the SPA approval process. This amendment revises these interim designations to permanent designations to maintain the overall community character.

I.1.2.2 The 1995 Amendment

This amendment relocated one public and one private park in the southern part of EastLake Greens to create more useable park sites. As a result of these park relocations, one residential parcel was eliminated and a public/quasi-public site was enlarged. These changes reduced the residential density in EastLake Greens by 133 units. Density transfers and boundary adjustments were made as a result of these changes. One density transfer of significance was the conversion of a parcel south of the EastLake High School from its "Interim Designation" to a permanent designation of Medium-High, which is consistent with the General Plan for this parcel. No changes to existing conditions were proposed in the northern portion of EastLake Greens, EastLake Trails or EastLake I Planning Areas.

I.1.2.3 The 1998 Amendment

The amendment consisted of modifying and rearranging the EastLake Trails land uses and incorporating 133.5 acres (Northern and Southern "Land Swap" Parcels) to the EastLake II GDP, EastLake Greens SPA and associated regulatory documents. The following paragraphs describe the amendment in more detail.

The Northern "Land Swap" Parcel – The Northern "Land Swap" parcel is designated for Professional and Administrative Commercial in the General Plan, and the same land use designation in the EastLake II GDP, (EastLake Greens Neighborhood).

The Southern "Land Swap" Parcel – The Southern "Land Swap" parcel is bisected by the extension of EastLake Parkway creating two parcels. These two parcels are zoned PC and, under the City's General Plan, have been designated Retail Commercial and Medium-High density residential. The parcel west of EastLake Parkway was designated Freeway Commercial, allowing large retail operations such as Home Depot, K-Mart, *etc.* The parcel east of EastLake Parkway was merged with an 8.5-acre, Low-Medium density residential parcel, targeted for 45 dwellings, and a 6.3-acre Future Urban parcel located directly south. The combined parcels will produce a 65-acre parcel with capacity for 750 dwelling units.

EastLake Trails Neighborhood B Under the previously adopted EastLake II GDP, the EastLake Trails was a 393.7-acre residential SPA designed to accommodate 1,260 dwelling units with densities ranging from Low (0-3 du/ac) to Medium-High Density (11-18 du/ac). Retail Commercial, Public/Quasi-public, Parks and Open Space land uses complement the residential land uses.

The amendment featured basically the same land uses, except for the Retail Commercial and Medium-High residential which were deleted. The new SPA establishes Low Density (0-3 du/ac), Low-Medium (3-6 du/ac) and Medium (6-11 du/ac) density residential land use districts, in addition to support land uses such as: Community Purpose Facilities, Parks and Open Space, and Public/Quasi-public sites.

I.1.2.4 The 1999 Amendment

The 1999 Amendment expanded the EastLake II GDP area to include the EastLake Business Center II SPA which was previously within the EastLake III GDP. The phasing of development and land use similarity made it more appropriate to include this SPA, comprised entirely of employment uses within this GDP rather than the overwhelmingly single family residential EastLake III GDP. A supplemental SPA Plan for the business center expansion area was approved concurrently with the GDP amendment.

I.1.2.5 The 2002 Amendments

I.1.2.5.1 EastLake II SPA (consolidation of EastLake Greens & Trails)

This amendment involved the merger of the EastLake Greens and Trails SPAs into a new EastLake II SPA. Adoption of this EastLake II SPA Plan established a new EastLake II SPA containing the previously approved EastLake Greens and EastLake Trails SPAs. This new SPA plan does not change any land uses or other provisions of the currently adopted SPA plans and associated plans including Design Guidelines, Public Facilities Finance Plan, etc., which will remain in effect as the detailed development policy documents for the individual neighborhoods. The neighborhood-specific plans shall be deemed "Supplemental Sectional Planning Area" plan which implement this newly formed SPA plan.

(Note: The GDP was not changed as part of the above amendment.)

I.1.2.5.2 Village Center North

Ordinance No. 2863 adopted august 6, 2002

Resolution No. 2002-264 adopted July 23, 2002

This amendment involved the refinement of uses within the "Village Center North" area. The retail commercial area north of Otay Lakes Road was amended from 36.9 acres to 38.1 acres. An additional 13.6 acres of Professional and Administrative uses and 16.4 acres of Research & limited Manufacturing are proposed. These additional areas were the result of the deletion of a large Public/Quasi-public use. The amendment was triggered when the large hospital/medical center complex previously intended to be developed within the Public/Quasi-public parcel north of the retail commercial area was not pursued by the medical services sponsor. The amendment

resulted in an expansion of the area designated for retail commercial uses and designation of Research and Limited Manufacturing (employment) uses on the remainder of the parcel located between EastLake Parkway and SR-125. A Supplemental SPA Plan, Village Center North, and related documents were processed concurrently with this GDP amendment for the areas with new land use designations.

I.1.2.6 2003 Amendments

I.1.2.6.1 Land Swap Amendment (CPF/RM)

Ordinance No 2905 (to amend PC District Regulations) Adopted 4/15/2003

Resolution No 2003-140 (to amend GP/GDP/SPA and text language regarding CPF sites) adopted 4/8/2003

This amendment involved the elimination of the CPF Site southwest of the SDG&E easement in the EastLake Greens Neighborhood (Land Swap Area) of the EastLake II SPA, and a project-wide update of the existing and proposed CPF sites. The Master Plan of CPF Sites and the text describing CPF sites was updated to reflect this amendment and current City standards.

I.1.2.6.2 Village Center East (Kohls)

Ordinance 2925 (to amend PC Land Use District Map from VC-2 to VC-4 and new land uses for VC-4) adopted 7/8/2003

Resolution 2003-293 (to amend the GP, GDP, and VC North Supplemental SPA)

This amendment was a project specific amendment that allowed a specific department store to be permitted east of EastLake Parkway and north of Otay Lakes Road. This project has now been built.

I.1.2.7 The 2005 Amendments

I.1.2.7.1 Eastlake Design District (Repealed 2007)

Ordinance No 2999 (to amend PC District Regulations to change Land Use District Map to add "overlay zone" and add text specific for the Design District - adopted April 5, 2005)

Resolution 2005-102 (to add sign guidelines for the EastLake Design District for the Design Guidelines Section of the SPA)

This amendment was sponsored by International Real Estate to create the EastLake Design District.

(Note: The GDP was not changed as part of the above amendment.)

I.1.2.7.2 Eastlake Walk

Ordinance No 3018 (to change the PC Land Use District Map from BC-3 to VC-1a and to add new land uses for VC-1a District), adopted September 2005

Resolution 2005-288 (to change GDP designation from IR to CR)

This amendment was sponsored by Sudberry Properties to create the EastLake Walk commercial project

I.1.2.8 The 2007 Amendments

Resolution 2007-299 (amend the GP, GDP and SPA designation of 16.7 previously developed acres from Industrial to Commercial).

Ordinance No. 3100 (Repeal of Ordinance No. 2999 and Resolution 2005-102, amend the PC Regulations and Design Guidelines of the SPA).

The 2007 amendments were intended to foster the proper growth and development of the Business Center II Area by promoting a greater variety of commercial uses in, the Business Center II area to achieve the originally planned and desired high-end mix of commercial, light industrial research and business uses. The General Plan, General Development Plan and the EastLake II Supplemental Sectional Planning Area were amended to change the land use designation of approximately 16.7 previously developed acres at the northeast corner of Fenton Street and Showroom Place within the Eastlake Business Center II from Limited Industrial to Commercial Retail.

The Planned Commercial (PC) District Regulations were amended to repeal the Design District Overlay Zone which prohibited a complementary mix of uses to support the attraction and retention of the existing home furnishing and design showrooms and retailers. This area was rezoned to a new zoning district, VC-5, which allowed the existing uses as well as a complementary mix of retail, restaurant and business uses. The balance of the former EastLake Design District Overlay, as well as 9.2 acres located on the south side of Fenton Street, were rezoned to BC-4 to encourage the light industrial, research, office and business uses original planned for the Business Center II area and consistent with the adjacent VC-5 District and existing development.

The PC Regulations were also amended to increase the maximum building heights within the EastLake Business Center II and to amend the Design Guidelines for EastLake Business Center II Supplemental SPA to establish special criteria and standards for building heights greater than 35 feet. New parking standards for furniture stores were also established.

I.1.3 Goals & Objectives

I.1.3.1 Purpose & Intent

This section provides goals and objectives intended to guide the development of EastLake II from inception through project completion. The attainment of some goals can only be measured during later phases of the planning process. And, the attainment of many goals anticipate actions by both the public and private sectors working together. One purpose of listing these goals and objectives is to guide the preparation of this General Development Plan. A further purpose is to use them during subsequent planning phases (*e.g.*, SPA plan, PFFP, design guidelines, *etc.*) to maintain consistency, assist in resolving issues and defining programs.

I.1.3.2 General Goals:

- To maintain and complete development of EastLake as an identifiable “community” within the City of Chula Vista; a community comprising distinct neighborhoods which provide human scale physical and social environment.
- To provide for adequate schools, parks and recreation facilities, “community purpose facilities” and other public/quasi-public uses.
- Conceptually size and locate land and facilities required for dedication to public or quasi-public purposes based on maximum residential development established with the General Development Plan, while providing standards and guidelines to refine sizes and locations as more detailed plans are prepared.
- Establish implementation phasing that provides or assures provision of public facilities concurrent with residential development, recognizing that residential development phases and public facility increments often do not coincide exactly.
- Adopt a balanced and dynamic community development plan with efficiently organized elements.
- Organize and design the individual elements of the plan for public and private efficiency.
- Recognize implementation and marketing factors in the allocation and phasing of land uses in the General Development Plan and create an implementation process that is consistent with those factors.
- Accommodate changing demographic patterns and cultural diversity in the plan.

I.1.3.3 Residential Goals:

- To promote reasonably priced new home opportunities, economic stability and the enhancement of property values.
- Identify the private costs of public policies for housing and development and balance them with the intended benefits to the community, recognizing these costs are paid by new home buyers.

- Encourage emerging housing concepts and provide a variety of housing types suitable for a range of potential residents.
 - Provide for a range of intensity and product type consistent with each residential land use designation.
 - Adopt development standards that encourage design innovation in housing and site planning concepts that are consistent with quality residential development.
-

I.1.3.4 Commercial & Industrial Goals:

- Encourage commercial and industrial facilities that enhance the economic viability and image of the City of Chula Vista and EastLake
- Provide for development of commercial and employment uses that enhance public and private economic interests.
- Create strong linkage between the City of Chula Vista, EastLake, and the Olympic Training Center
- Encourage facilities that support emerging industries and shopping trends.
- Provide for a range of intensity and uses consistent with each commercial and industrial land use designation.
- Adopt development standards that include a level of flexibility that can accommodate new uses and structures to attract emerging industries and shopping trends.
- Provide parcel sizes, amenities, and infrastructure to serve the needs of emerging industries and commercial users.
- Promote employment opportunities, particularly in professional and high tech industries
- Create specific incentive programs (public/private partnership) to attract professional and stable industries with emerging and long range employment opportunities for the residents of Chula Vista.
- To use the most current water quality and watershed protection principles in the planning and design of commercial and industrial developments whenever possible.

I.1.3.5 Open Space, Parks & Recreation Goals:

- Provide adequate parkland and recreational facilities to meet the needs of new EastLake residents when needed.
- Conceptually size and locate land and facilities required for park dedication purposes based on maximum residential development established with the General Development Plan, while providing standards and guidelines to refine sizes and locations as more detailed plans are prepared

- Recognize that a range of types and sizes of parks is an integral component of a quality living environment. Within that range, establish quantified standards that define "parkland" and "park improvements" for park credit purposes during the implementation process.
- Create an implementation process that provides or assures provision of public facilities concurrent with residential development, recognizing that residential development phases and public park increments often do not coincide exactly.
- Incorporate new parks into the City's system as soon as these parks are ready to serve an increasing resident population.
- Encourage efficiency and cost savings in park acquisition/maintenance through cooperation and integration among public, private, and quasi-public interests.
- For facilities intended to serve more than the local resident population, establish maintenance district boundaries, or other means, so that costs for park and open space maintenance are consistent with the area intended to be served or benefited.
- Implement the Chula Vista Greenbelt within EastLake consistent with the Chula Vista General Plan.
- Maximize the utility and benefits of the Salt Creek Corridor consistent with natural resource protection.
- Protect areas within Salt Creek with significant biological resource
- Locate facilities and amenities within the Salt Creek Corridor that promote recreational and educational experiences outside areas of significant biological resources.
- Use parks and open space to reinforce community structure, design and safety
- Design and integrate parks and open space areas into the community fabric to maximize their benefits and enhance community cohesiveness
- Integrate trails and paths into the overall circulation system to provide alternative circulation routes.
- Include a comprehensive brush management plan for open space areas in SPA Plans.

I.1.3.6 Public Facilities, Circulation & Infrastructure Goals:

- Provide a balanced community transportation system consistent with the City's Circulation Element.
- Implement, as needed, community circulation improvements required to serve new development within EastLake
- Contribute to regional facility improvements in proportion to project traffic impacts consistent with the City's Threshold Standards.
- Encourage practical non-vehicular circulation

- Connect neighborhoods and community facilities with pedestrian trail/bicycle route facilities.
 - Plan for future public transit facilities and transportation demand measures; such as, park-and-ride facilities, vanpools, shuttle services, and telecommunications (for home office).
 - Encourage public facilities and infrastructure that are appropriate to individual circumstances.
-
- Review specific instances where aesthetic or environmental benefits may warrant an exception to standards for public facilities or infrastructure
 - Determine the need and requirements for public and quasi-public facilities within EastLake II.
 - Explore the development of integrated telecommunications systems within the EastLake community, which would enhance communications between home, work, schools, and other community services.
 - Continue to enhance the quality of the EastLake community through excellence in public and private education facilities, which serve all residents
 - Evaluate and phase the availability of adequate public facilities to satisfy the City's Threshold Standards.
 - Provide opportunities for "community purpose facilities," such as, churches, child care facilities, community meeting areas, and private educational services and recreational facilities.

I.1.3.7 Plan Administration Goals:

- Promote the coordination and communication between public agencies, community groups, the developer and builders.
- Provide effective development plan administration, implementing an adopted community structure, which promotes efficient and timely economic growth and development.
- Create an administrative process that allows for density transfers and other refinements in SPA Plans, providing they are consistent with the established community structure and do not create significant adverse environmental, public service or infrastructure impacts
- Provide an implementation process that allows for change and refinement within established parameters, to preclude the burden of a formal amendment process for revisions that are consistent with the framework and intent of the plan
- Create efficient processing procedures for all phases of plan implementation
- Establish, within the implementing document, processing times for each level of plan review, appeal, amendment, or other routine application where these are not otherwise covered by City ordinance.

- Create a process that allows efficient conveyance of large parcels where no added entitlement or construction is involved in the subdivision.
- Balance the subdivision dedication of public facilities and other development exactions with the fiscal impacts to development.
- Create an implementation process which links the financing required for subsidy and exaction costs in early stages of development with the timing and amount of development revenues and consistency with the City's Threshold Standards.
- Encourage efficiency in the environmental review process

I.1.3.8 Economic Goals:

- Promote the economic vitality of both public and private interests.
- Incorporate positive economic results or incentives to both public and private interests at each phase of implementation.
- Promote planning that positively positions Chula Vista and EastLake in the context of State and regional competitive forces
- Establish minimum economic performance goals.
- Define in the Public Facility Financing Plan any required exaction so that the cost and timing of the exaction can be budgeted

I.1.4 Purpose & Scope

This General Development Plan (GDP) establishes development parameters for the EastLake II General Development Plan Area, which is illustrated in Exhibits 2 and 4. The GDP addresses the distribution of land uses, circulation pattern, defines the overall community structure and establishes development densities.

The purpose of the plan is as follows:

- Assure a high quality of development, consistent with the objectives of the developer, City of Chula Vista, and community.
- Provide for orderly planning and long range development of the project to ensure community compatibility.
- Preserve open space and natural amenities on the property whenever possible.
- Establish a planning and development framework to allow diverse land uses to exist in harmony within the planned community and surrounding developments.

The GDP establishes land use districts for the site and defines in broad terms the type and intensity of development permitted in each district.

The Environmental Impact Report prepared in conjunction with the General Development Plan and subsequent amendments, fulfills the environmental review requirements for any proposed development as long as the development is in conformance with the GDP.

The GDP is implemented through the adopted Sectional Planning Area (SPA) Plan, which is more detailed. Therefore, the GDP is designed to function as a policy bridge between the City's General Plan and the SPA Plan.

The EastLake II General Development Plan is established in accordance with Sections 65450 through 65553 of the State of California Government Code (Specific Plans) and Sections 19.07.010 through 19.07.030 of the City of Chula Vista Municipal Code, and applies to the property outlined by the General Development Plan Map, included as Exhibit 4.

I.1.5 Definitions

I.1.5.1 General

The definitions of all terms used in this document shall have the same meaning as used in the adopted Chula Vista General Plan and Municipal Code, unless otherwise specifically defined herein.

I.1.5.2 Additional Definitions

Land Swap Area

This is the land area added to the EastLake Community from an exchange of land with the adjacent property owner. It is comprised of two parcels west of the previously adopted EastLake II SPA (Greens Neighborhood) area, more specifically defined as:

Northern Land Swap Parcel

A triangular parcel formed by Otay Lakes Road to the northwest, SR-125 to the east, and the boundary between the Otay Ranch to the southwest

Southern Land Swap Parcel

This parcel is bounded by SR-125 to the west, Olympic Parkway to the south, and to the north and east by the southwestern boundaries of the original EastLake Greens Neighborhood (generally along the SDG&E easement).

Planned Community of EastLake:

The planned community of EastLake refers to the combined area of EastLake II and EastLake III, as depicted in Exhibit 2 herein.

Village Center North

The portion of the Village Center located north of Otay Lakes Road, including the planning areas identified as VC-1, VC-2, VC-4, and E-10 in the EastLake Village Center North Supplemental SPA.

I.1.6 Regional Context

The Eastern Territories identified in the Chula Vista General Plan are primarily comprised of several large planned communities. The planned community of EastLake was the first of these significant developments to be planned and implemented as a comprehensive planned community. It has evolved into two major implementation components, known as EastLake II and EastLake III, which combined represent the total EastLake project. It has always been envisioned as a complete community which included a full range of community components, providing opportunities to live, work, shop, and play within one master planned community.

To compare EastLake II to the other three largest planned communities, the following table provides the percentage allocation of land to uses comprising the live, work, shop, and play concept.

Table A
Land Use Balance

Planned Community	Live ¹	Work ²	Shop ³	Play ⁴
EastLake II ⁵	48.3%	10.7%	6.5%	11.5%
Rancho del Rey ⁶	52%	1.4%	4.6%	3.2%
Otay Ranch ⁷	35%	3%	3.9%	2%

1. Live: Includes all residential land uses as a percentage of the total project area.
2. Work: Includes all industrial, office & administrative land uses as a percentage of the total project area.
3. Shop: Includes all commercial land uses as a percentage of the total project area.
4. Play: Includes all park and recreation uses as a percentage of the total project area.
5. EastLake II: Includes all of EastLake II GDP.
6. Rancho del Rey: Includes all areas in the adopted El Rancho del Rey Specific Plan.
7. Otay Ranch: Includes the Urban Villages (Otay Valley Parcel) in the adopted Otay Ranch GDP.

Note: The statistics in the above table are as of the adoption of this GDP and may change from time to time as projects are amended.

I.1.7 Site Characteristics

The EastLake II General Development Plan consists of approximately 2,300 acres at the eastern edge of the City's incorporation boundary. Otay Lakes Road bisects the planned community from east to west dividing the GDP into two major areas. The area to the north, which includes the EastLake Hills, EastLake Shores, and Salt Creek I residential neighborhoods and the Business and Village Centers, is known as EastLake I SPA. The area south of Otay Lake Road includes, from west to east, the EastLake Greens and EastLake Trails Neighborhoods. (See Exhibit 3)

All surrounding properties are either developed, under development or planned for development. The GDP area is bounded to the north by the Salt Creek Ranch and Rancho San Miguel planned communities; to the west by Otay Ranch Village Five and a subdivision known as Telegraph Canyon Estates; to the east by the EastLake III General Development Plan area; and to the south by Otay Ranch Village Eleven, south of Olympic Parkway.

The project site is generally comprised of gently rolling topography with the Salt Creek corridor forming the predominate geographic feature. The rounded features of the site reflect the years of plowing and discing associated with its historical dry farming use. Localized views to Salt Creek and adjacent hillsides available from hillside locations. The range in elevation is approximately 150 feet from the creek bed to hilltop.

Salt Creek is also the significant natural resource on the site. The southernmost portion has been identified as an environmentally sensitive area because of its biological and wildlife habitat value, and aesthetic value. The original EastLake EIR (EIR 81-03) biological survey of the area identified sensitive resources within Salt Creek and in the southernmost portions of the site. No significant archaeological or cultural resources have been identified in several surveys of the project site. Currently, most adjacent properties have been developed.

I.1.8 General Development Plan

I.1.8.1 Land Use

The General Development Plan designates a wide range of residential densities, residential support uses, commercial and employment uses. Residential support uses are found within the Public/Quasi-Public (PQ) category. These uses include schools, utility sites, and other community facilities. A significant amount of employment uses (Professional and Administrative, and Research and Limited Manufacturing) is designated in the north-central portion of the plan area. Commercial areas are designated adjacent to the planned SR-125 interchanges at Otay Lakes Road and Olympic Parkway. See Exhibit 4, the General Development Plan Map.

Additional land use detail and statistics are included in the Sectional Planning Area (SPA) Plan as the Site Utilization Plan. The purpose of this plan is to provide a more specific level of detail of uses included as broad categories in the General Development Plan.

I.1.8.2 Planned Community District Regulations

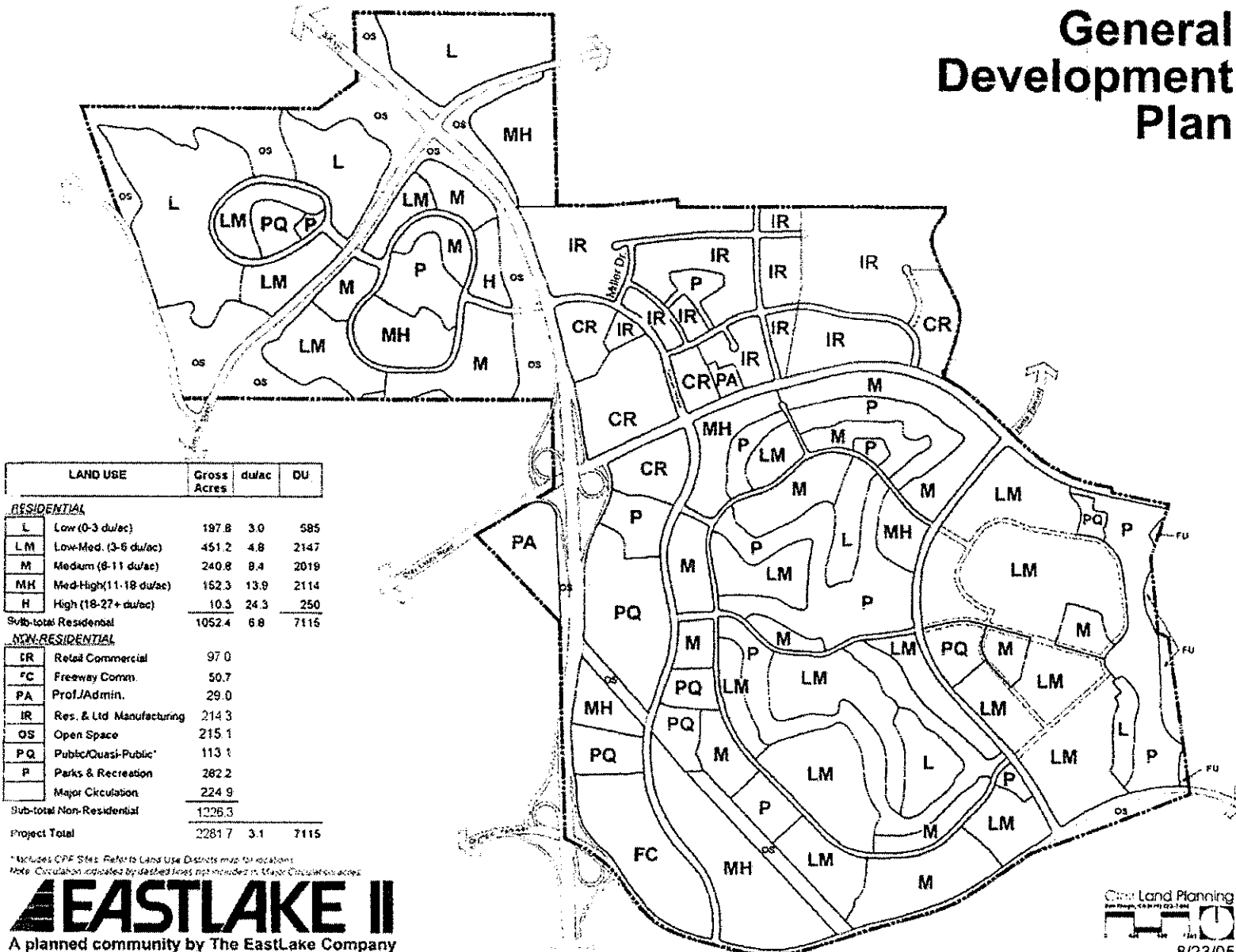
With respect to development standards and use regulations, the Planned Community (PC) District Regulations provide detailed standards that are applicable to each parcel of land. These Planned Community District Regulations, as a component of the General Development Plan for the EastLake II (expanded EastLake I) provide the primary development regulations for all four SPA Plans within the GDP area. Within the Planned Community District Regulations, the Land Use Districts exhibit, provides the geographic distribution of the various land use districts.

I.1.8.3 Plan Summary

The project consists of five residential neighborhoods: EastLake Hills, EastLake Shores, EastLake Greens, EastLake Trails, and Salt Creek I. The project includes sites for necessary public facilities including a high school, two community parks and three elementary school sites to be shared with EastLake III.

Detailed development policies, standards and programs are provided in SPA Plans to assure well-planned, quality development, conservation of important onsite resources and provision of adequate and timely public services and facility improvements to serve the project.

General Development Plan



EASTLAKE II
 A planned community by The EastLake Company

City Land Planning
 8/23/05
 Adopted 12/18/07

I.1.9 Plan Summary / Statistics

I.1.9.1 Statistical Summary

The statistics on the following pages, in Table B Land Use and Table C Residential Densities, are based on the overall General Development Plan and detailed by SPA Plan area. In the event that the statistics on these tables vary, due to density transfers or refinements, from any adopted SPA Site Utilization Plan map the SPA Plan shall prevail.

I.1.9.2 Density Transfer

In order to promote flexibility in residential densities, the transfer of dwelling units from one residential category to another within any SPA may be approved as a part of the SPA plan approval process. Notwithstanding this provision, the clustering provisions of the General Plan Update shall be utilized to maintain the community character inherent in the density categories established by this General Development Plan.

Transfers of density shall be based on evidence that the proposed transfer would substantially improve the spatial or functional relationships of the involved SPA, or would materially increase the quality of land use, circulation or conservation pattern thereof. Transfers of density into the low density category should not result in a reduction in lot size requirements.

Transfer of units from one parcel to another within the same SPA may be processed administratively if:

1. the proposed unit count for all parcels remains within the range (s) indicated on the Site Utilization Plan;
2. the proposed product types are consistent with those listed for each parcel on the Site Utilization Plan; and,
3. the GDP and SPA total number of dwelling units is not exceeded.

Modifications that are not consistent with all these criteria shall require a formal SPA amendment.

Should such a transfer be approved, applicable statistics and the General Development Plan Map shall be revised as an administrative matter without the necessity of a formal plan amendment.

Table B
GDP Land Use Statistics (acres)

Land Use Category	NEIGHBORHOOD AREA						TOTALS
	Hills	Shores	Salt Creek I	Greens	Trails	Business Center ¹	
RESIDENTIAL							
Low (0-3 du/ac)	109.4	0	43.6	34.4	10.4	0	197.8
Low-Medium (3-6 du/ac)	35.3	36.4	0	183.9	195.6	0	451.2
Medium (6-11 du/ac)	0	66.3	0	156.1	18.4	0	240.8
Medium-High (11-18 du/ac)	0	24.3	28.5	99.5	0	0	152.3
High (18-27 du/ac)	0	10.3	0	0	0	0	10.3
Sub-total	144.7	137.3	72.1	473.9	224.4	0	1052.4
NON-RESIDENTIAL							
Retail Commercial	0	0	0	19.6	0	38.1	97.0
Freeway Commercial	0	0	0	50.7	0	0	50.7
Professional & Administrative	0	0	0	29.0	0	0	29.0
Research & Limited Manufacturing	0	0	0	0	0	245.1	214.3
Open Space	93.6	54.8	18.9	37.9	5.3	4.6	215.1
Public/Quasi-public	10.0	0	0	85.3	17.8	0	113.1
Parks & Recreation	2.4	21.4	0	197.8	51.5	9.1	282.2
Major Circulation	*	*	*	105.0	16.0	*	224.9
Future Urban	0	0	0	0	0	0	0
Sub-total	106.0 ²	76.2 ²	18.9 ²	521.0	113.7	310.5 ²	1226.3
TOTAL	250.7 ²	213.5 ²	91.0 ²	994.9	338.1	310.5 ²	2281.7

* Acreage not allocated

¹ Includes Village Center North uses.

² Excludes Major Circulation

Table C
GDP Residential Density (dwelling units)

Residential Category	NEIGHBORHOODS AREA					TOTALS
	Hills	Shores	Salt Creek I	Greens	Trails	
Low (0-3 du/ac)	291	0	169	94	31	585
Low-Medium (3-6 du/ac)	163	186	0	872	926	2147
Medium (6-11 du/ac)	0	663	0	1170	186	2019
Medium-High (11-18 du/ac)	0	426	381	1307	0	2114
High (18-27 du/ac)	0	250	0	0	0	250
<i>Total</i>	454	1525	550	3443	1143	7115
Average Density (du/ac)	3.1	11.1	7.6	7.3	5.1	6.8
Population (@2.88/du)	1308	4392	1584	9916	3292	20491

I.1.10 Conformance with the General Plan

I.1.10.1 Introduction

This section describes the conformance of the project with the Chula Vista General Plan; the history of the project to various General Plan updates, and; the relationship of the project to the specific elements of the General Plan. Implementation of this GDP shall be consistent with the requirements of the General Plan. Specific implementation and phasing strategies have been, and will be, provided in the various SPA Plans which comprise EastLake II GDP Planning Area.

I.1.10.2 Background & History

When the planning of EastLake began in 1979 the General Plan for the Eastern Territories had not been developed to its current state, since development of a new community on the scale of EastLake had not been conceived prior to that time. Individual development proposals were incrementally added as amendments to the General Plan. The approval of EastLake I, which included the now existing communities of EastLake Shores, EastLake Hills, and the first phase of the EastLake Business Center, was one of these incremental general plan amendments adopted in 1982.

The submittal of plans for the next phase of EastLake community planning, EastLake Greens and EastLake Trails, occurred prior to the comprehensive General Plan update, but was not adopted until 1989. This planning was reflected in the General Plan and adopted as the EastLake II GDP. The categories were broad interpretations of the specific planning being proposed for these neighborhoods. The EastLake Greens neighborhood submittal included a SPA Plan concurrently with the General Plan and GDP. The EastLake Trails neighborhood only included the concurrent processing of the EastLake II GDP.

The next update of the General Plan in EastLake occurred when the EastLake III GDP area was approved, bringing the Olympic Training Center to Chula Vista in 1990. A GDP was adopted and reflected in a concurrent General Plan amendment.

The most recent major amendment to the General Plan for the EastLake community occurred in 2005 as a city-wide General Plan Update (GPU), which changed the land use designation in a portion of Village Center north from Industrial to Commercial. This GPU amendment included the 2005 amendment to this General Development Plan.

The General Plan was amended in 2007 to reclassify a 16.7-acre area previously developed as the EastLake Design District featuring furniture and home design businesses from Industrial to Commercial to better reflect the current and desired use of the property.

The General Plan amendments and updates for EastLake reflect a consistent process of evolution since its original conception as a new community. All have been amendments adopted concurrently with more detailed development proposals. The current proposed amendment to the General Plan for the EastLake Trails neighborhood is the most recent example of this process. This concurrent planning process has maintained an ongoing consistency between the General Plan and the GDPs and SPAs.

I.1.10.3 Conformance with the General Plan Elements

I.1.10.3.1 Land Use Element

EastLake II General Development Plan consists of approximately 2,300 acres. The individual neighborhoods of the EastLake II GDP consist of the Salt Creek I, Hills, Shores, Business Center I and II, Greens/Land Swap and the Trails.

The Salt Creek I neighborhood is located north and south of East "H" Street, east of the future SR-125 freeway alignment. The General Plan designates this neighborhood Medium-High Residential (11-18 du/ac). The GDP land use designation and maximum number of dwelling units allowed on this site is about 7.6 du/ac which is below the General Plan permitted density.

The Hills neighborhood located north of "H" Street is designated Low Residential (0-3 du/ac), Low-Medium (3-6 du/ac) and Open Space with an elementary school. The GDP consists of single family residential and open space uses consistent with the land use pattern established by the General Plan. The EastLake Elementary School and park are located as indicated on the General Plan Land Use Plan. The neighborhood overall density is approximately 3.0 du/ac, which is at the lower end of the General Plan designation.

The Shores neighborhood located south of "H" Street is designated a wide range of residential densities including Low-Medium (3-6 du/ac), Medium (6-11 du/ac), Medium-High (11-18 du/ac), and High (18-27 du/ac). The GDP land use is consistent with the various densities arranged around the private lake which is shown on the General Plan as Public/Quasi-Public and Water. There is also a small portion of open space reflecting the canyons to the southwest of the residential neighborhoods. The overall neighborhood density is approximately 11 du/ac, which is at the low end of the General Plan density range for this area.

The Village Center is located north of Otay Lakes Road and is designated Retail Commercial in the GDP. The Village Center is consistent with the General Plan and is intended to be developed as a Commercial-Retail plus a minor area of Research & Limited Manufacturing. The adjacent area on the east side of EastLake Parkway is designated Professional and Administrative and is designated in the GDP for professional and administrative uses.

The first phase of the EastLake Business Center is located in EastLake II General Development Plan and is designated Research and Limited Manufacturing on the General Plan. This area is planned to accommodate a broad range of business and industrial uses in the GDP to provide local employment opportunities to the community.

EastLake Business Center II is located within the EastLake II General Development Plan and is designated Research and Limited Manufacturing and Retail Commercial. This area is planned to accommodate a broad range of industrial and retail uses along with complementary commercial uses.

The Greens neighborhood is designated for a wide range of residential, retail commercial and public uses on the General Plan. The GDP designates the area at the southwest corner of Otay Lakes Road and EastLake Parkway as retail commercial to provide for a community shopping center. The residential uses vary, including, Low-Medium (3-6 du/ac), Medium (6-11 du/ac), and Medium-High (11-18 du/ac). The overall neighborhood density is about 7.2 du/ac, which is well within the average density of the General Plan.

The public uses on the General Plan designate an area for a high school, community park, elementary school, neighborhood park, water utility reservoir, and freeway commercial. The southern portion of the "Land Swap" includes Medium-High Residential and Freeway Commercial. The northern portion of the "Land Swap" includes professional and administrative area on Otay Lakes Road. The GDP is consistent with the pattern of land uses designated on the General Plan. The focal point of the Greens neighborhood is the EastLake Golf Course which is integrated within the residential neighborhood. Residential densities are varied throughout the GDP as permitted by the General Plan with the overall density within the acceptable range.

The Trails neighborhood is designated Low-Medium (3-6 du/ac), with open space, elementary school, neighborhood park, and a small neighborhood commercial center at the corner of Otay Lakes Road and Hunte Parkway. The commercial center is no longer included in the GDP and will be eliminated. The GDP adjusts the location of the elementary school, which is permissible by the General Plan, and designated the Salt Creek Open Space Corridor as a community park which will serve both the EastLake II General Development Plan, but also the EastLake III General Development Plan area. The proposed density of 5.1 du/ac is consistent with the General Plan density range.

I.1.10.3.2 Circulation Element

The General Plan Circulation Element designates four major road facilities to serve the EastLake II General Development Plan. SR 125 is planned as a major freeway/toll road providing regional access to the area by connecting the Otay Mesa Border Crossing to freeways to the north such as SR-54, and I-8. The GDP provides the future right of way needed for SR-125.

The General Plan also designates three Prime Arterial roadways providing east west access to the area from I-805: "H" Street, Otay Lakes Road and Olympic Parkway. Each of these roads requires a right of way to accommodate 4 lanes of traffic with raised medians. EastLake Parkway and Hunte Parkway are shown as major roads (4 lanes) and several local streets are designated as collector roads. All General Plan roads are shown on the GDP and adequate provisions are included to accommodate traffic generated by the development.

I.1.10.3.3 Parks & Recreation and Conservation/Open Space Elements

The General Plan designates a community park on EastLake Parkway adjacent to the high school and two neighborhood parks in the Greens and Trails neighborhoods. There are also major open space corridors shown along the north side of the Hills which reflects steep topography and also along Salt Creek in the Trails neighborhood. The Hills open space is treated as natural open space in the GDP, however, the Salt Creek Open Space is planned for a combination of community park, mitigation areas for habitat protection and a private homeowner's swim complex and fishing lake. This combination of public and private park and open space uses is consistent with the General Plan Open Space land use category.

The neighborhood parks are located within the Greens and the Trails neighborhoods and the GDP supplements these park facilities with a number of private park facilities which include swimming pools, basketball courts, tennis courts, picnic facilities, community meeting facilities and tot lots located within the residential neighborhoods. The Trails neighborhood park will be incorporated into the Salt Creek Community Park, which actually provides more park land than shown on the General Plan for EastLake II GDP.

I.1.10.3.4 Public Facilities Element

The Public Facilities Element provides policy guidance for all development projects. It addresses water, sewer, drainage, hazardous waste disposal, schools and libraries. The EastLake II General Development Plan implementation documents will provide detailed plans for the provision of public facilities in accordance with adopted Master Plans and the City's Quality of Life Threshold Standards.

This GDP must prepare a comprehensive Public Facilities Financing Plan for each neighborhood to identify the public facilities to be provided by the developer to serve the development. Water plans for each neighborhood are approved by the Otay Municipal Water District and required facilities must be financed by the developer. Sewer plans are required to conform to the City's Sewer Master Plan and facilities such as transmission mains and pump stations are made conditions of tentative maps. Drainage facilities are designed on the basis of master drainage plans and financed and made conditions of the development.

Hazardous wastes must be disposed of in accordance with State requirements of the Department of Health Services and the County Hazardous Materials Management Division. The only facility in Chula Vista is located at the Otay Landfill.

Master plans for both the elementary school district and the high school district provide the site locations for schools designated on the General Plan. The GDP includes these school sites on the land use map and the Public Facilities Financing Plans provide the phasing and financing implementation necessary to construct schools in accordance with the school districts enrollments.

I.1.10.3.5 Housing Element

The Housing Element requires that all major projects shall construct 5% low income housing and 5% moderate income housing consistent with the HUD guidelines based on size and family incomes. The GDP addressed this requirement and lays out the framework for an Affordable Housing Agreement which implements the General Plan policy for each neighborhood. The EastLake II General Development Plan provides for 5% low income housing and 5% moderate income housing in accordance with the General Plan.

I.1.10.3.6 Safety Element

The City of Chula Vista provides for public safety and seismic protection through a variety of mechanisms addressed in the GDP and implementation programs. Fire stations are located in the GDP based on travel times to respond in case of fire or medical emergencies. Water supplies are engineered to accommodate peak demand periods. Streets are designed with adequate widths and safe routes for emergency vehicles. Building codes ensure the safety of buildings and seismic studies of fault lines to identify appropriate setbacks and other safeguards in the event of an earthquake. New development planned in this GDP is in conformance with all of the life and property protections contained in the General Plan and implementing building codes and fire codes.

I.1.10.3.7 Noise Element

The Noise Element requires that the City apply noise protection standards which recognize the right of every citizen to live and work in a safe environment without excessive noise. Noise studies are carried out in conjunction with the environmental impact report requirements for GDP's to identify setbacks or noise buffers for sensitive areas within the development. These measures are carried out in the development of the project. There are no identified major noise generators located within the GDP and the development is consistent with the policies of the General Plan.

I.1.11 Implementation

I.1.11.1 Growth Management/Phasing

This GDP will be used by the City and the developer to ensure that development occurs in an orderly fashion and that public facilities are provided concurrent with need while, at the same time, providing flexibility to allow the developer to respond to changing market conditions. The conceptual phasing information has been and will be presented in SPA Plan to be developed primarily for the purposes of determining preliminary circulation and public facility requirements. The objective of these phasing plans is that public facilities will be provided concurrent with need and in accordance with the threshold standards established by the City of Chula Vista.

I.1.11.2 Community Facilities & Improvements

Specific community facility requirements will be identified for each SPA Plan. The following standards have been established for community facilities.

- **Circulation:** Development within EastLake II shall comply with the City's Level of Service "C" requirement for the operation of circulation element roads. A transportation phasing plan consistent with the City's Growth Management Element shall be incorporated into the SPA Plans to ensure that level of service standards are met.
- **Water:** A detailed water master plan shall be prepared in conjunction with each SPA Plan. The water master plan shall be subject to review and approval by the Otay Water District.
- **Sewer:** A detailed sewer master plan shall be prepared in conjunction with each SPA Plan. The sewer master plan shall include consideration of reclaimed water and shall be subject to review and approval by the City of Chula Vista.
- **Drainage:** A conceptual drainage plan shall be included in each SPA Plan. The conceptual drainage plan shall, in particular, address drainage areas in Salt Creek. Drainage plans for individual developments shall be prepared to the satisfaction of the City Engineer.
- **Fire and Police:** Each SPA Plan shall define specific facility requirements for fire and police protection to the satisfaction of the Chula Vista Police and Fire Departments.
- **Schools:** School facility requirements shall be defined in EastLake II GDP and each subsequent SPA Plan to the satisfaction of the Chula Vista Elementary School District and the Sweetwater Union High School District. Three elementary school sites and one high school site are provided within the EastLake II GDP area. As of this most current GDP amendment, all sites have been implemented.

I.1.11.3 Community Purpose Facilities

I.1.11.3.1 Purpose & Intent

Chapter 19 48. P-C - Planned Community Zone, requires that all land in the PC zone provide a minimum of 1.39 acres of land per 1,000 persons for community purpose facilities (CPF), such as: a) Boy Scouts, Girl Scouts, and similar organizations; b) social and human service activities, such as Alcoholics Anonymous; c) services for the homeless; d) services for military personnel during the holidays; e) senior care and recreation; f) Worship, spiritual growth and development, and teaching of traditional family values; g) non-profit or for profit day care facilities that are ancillary to any of the above or as a primary use. For profit facilities as primary use are subject to further requirements and additional criteria as outlined in Section 19 48 025 (f); h) private schools that are ancillary to any of the above; i) interim uses, subject to the findings outlined in 19 48 025(E); and j) recreational facilities, such as ball fields for non-profit organizations serving the local community, subject to the requirements outlined in 19.48.040(B)(6)(d). However, where recreational ball fields are desired as a conditional use in Community Purpose Facilities land use districts, a "CPF Master Plan", showing the specific boundaries of the master plan and existing and proposed distribution of CPF uses within a SPA, GDP or overall Planned Community shall be considered and approved by the Director of Planning and incorporated as part of the Planned Community's General Development Plan(s). In addition, recreational ball fields shall not utilize more than 35% of the overall SPA, GDP or Planned Community CPF acreage required, and no park credit may be granted for community purpose ball fields.

The total acreage required may be reduced by the City council in certain circumstances such as when shared parking facilities are available with other facilities.

I.1.11.3.2 Proposed CPF Master Plan

The CPF Master Plan boundaries encompass EastLake Greens (including the "Land Swap" Parcels), EastLake Trails, EastLake Business Center II, EastLake Vistas and EastLake Woods (see Exhibit 5). Four sites are distributed throughout the remaining SPAs insuring that each future CPF site will serve a different neighborhood. In addition, the sites are located along major road to enhance accessibility to the facility by community residents.

Based upon the anticipated development statistics for the CPF Master Plan area, the overall combined CPF acreage required and proposed is as follows:

Table D
Community Purpose Facility Acres for EastLake

Note: A concurrent amendment to the EastLake III GDP is in process. It will, if adopted, include an amendment to this table and the text that follows.

	EastLake II* Greens Neigh**	EastLake II* Trails Neigh.	EastLake III (adopted GDP)	Total
Dwelling Units	3443	1143	2061	6647
CPF ac/du	0.004003	0.004003	0.004003	--
CPF Required (ac)	13.8	4.6	8.3	26.6
CPF Provided (ac)	15.8	4.6	10.8	31.1
<i>* EastLake I (North of Otay Lakes Road) is excluded from this table.</i>				
<i>** Includes proposed Land Swap amendment.</i>				

I.1.11.3.3 Proposed CPF Sites

The CPF Master Plan provides a total of 31.1 acres in four different sites. Exhibit 5, identifies the proposed CPF sites which are described in more detail below.

Site 1 (Existing): Located in EastLake Greens, a portion of this 15.8-acre site (12.2 acres) has been conveyed to a religious institution for use as a place of worship. The remaining portion of the site 3.6 acres is currently available for acquisition and use for community purpose facilities and is further described below.

Site 1 (Future): Located in EastLake Greens on the east side of EastLake Parkway, south of the SDG&E power easement. This 3.6-acre site is currently available for acquisition and use for community purpose facilities.

Site 2: This CPF site is located within the Trails neighborhood and is proposed to conditionally permit little league ball fields for non-profit organizations serving the local community. The development of the site (4.6 acres) would be subject to the requirements outlined in the EastLake II Planned Community District Regulations and Section 19.48.040(B)(6)(d) of the Chula Vista Municipal Code.

Site 3: This site is located in the Vistas neighborhood of EastLake III GDP and consists of 10.8 acres. The future Vistas SPA Plan will refine the exact location and acreage of this site.

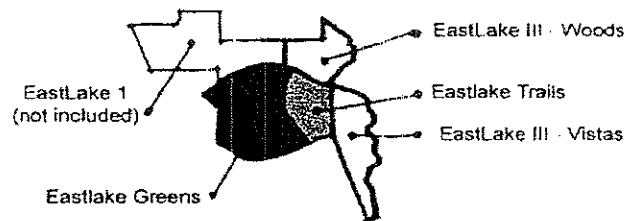
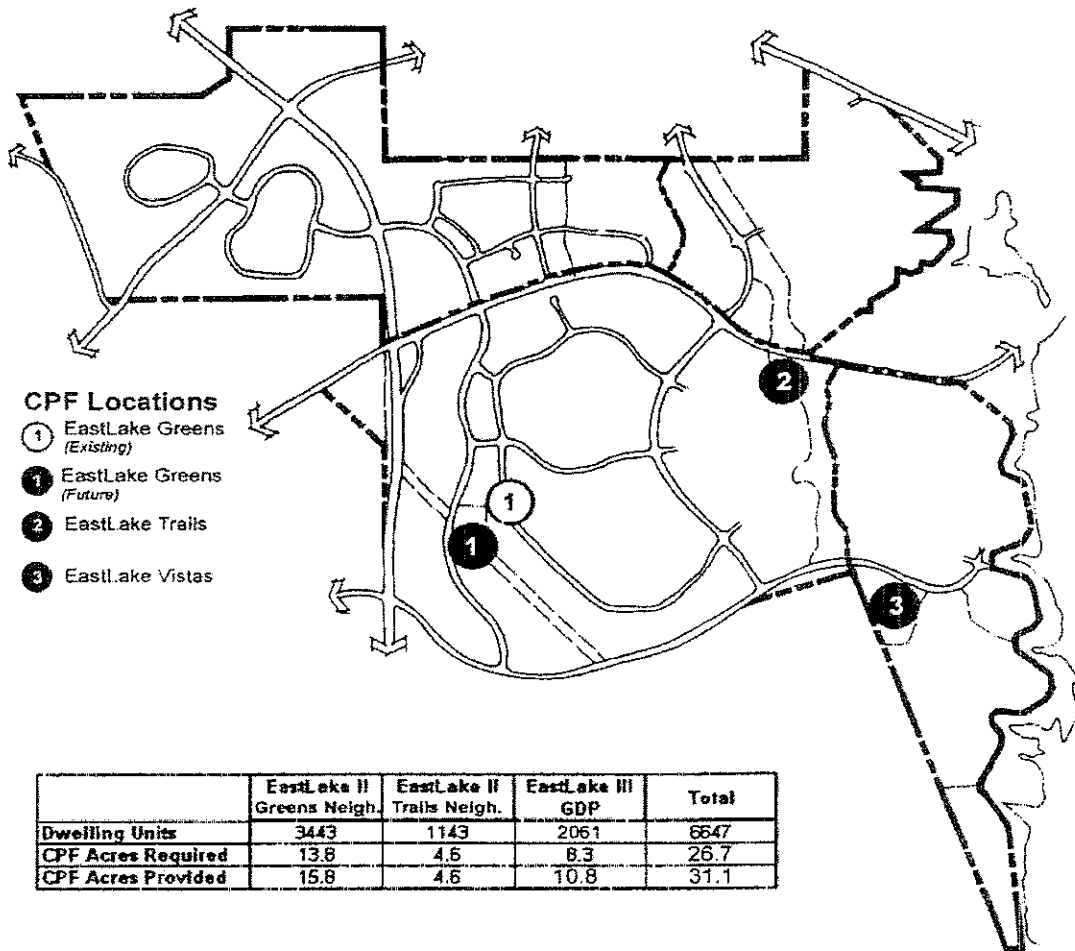
The sites identified on this Master Plan are, or will be, designated in the Planned Community District Regulations as "CPF" to insure their continued availability pursuant to city requirements.

With the exception of CPF site Nos. 2 and 4, which will include little league ball fields as a conditional use permit, the above mentioned CPF sites could accommodate by conditional use permit the following land uses:

- Boy Scouts, Girl Scouts, and other similar organizations;

- Senior care and recreation;
- Worship, spiritual growth and development, and teaching of traditional family values;
- For profit and non-profit day care facilities that are ancillary to any of the above;
- Private schools that are ancillary to any of the above;
- Interim uses, subject to the findings outlined in Section 19 48 025(E) of the Chula Vista Municipal Code;
- Recreational ball fields not to exceed 35% of the overall CPF acreage requirement for the CPF Master Plan.

Master Plan of Community Purpose Facilities



EASTLAKE III
A planned community by The EastLake Company

Cinti Land Planning
4-4-01

Exhibit 4

I.1.11.4 Development Agreement

A development agreement currently exists for development in EastLake II. The purpose of the agreement was to ensure that the developer will participate in the construction and financing of public facilities and to ensure that the land use entitlements provided for in this GDP are achieved. This agreement was entered into by all parties prior to the issuance of any permits for development within the plan area and shall bind future landowners/developers who acquire interests in the property. Amendments of mutual benefit may be made from time to time to insure its vitality.

I.1.11.5 Subsequent Review

The EastLake II GDP will be implemented, pursuant to the Chula Vista Municipal Code, through the subsequent adoption of a series of plans and programs, which are summarized below:

- **SPA Plans**

EastLake II will be comprised of several SPA Plans. The areas north of Otay Lakes road have been implemented as the EastLake I and Salt Creek I SPA Plans. The area south of Otay Lakes Road and west of Hunte Parkway is being implemented as the EastLake II SPA (Trails and Greens Neighborhoods) Plan. The area south of Otay Lakes Road and east of Hunte Parkway will be implemented as the EastLake II SPA (Trails and Greens Neighborhoods). (Refer to Exhibit 3 for location of these SPA Plan areas.)

- **Other Related Planning/Review Programs**

All areas for future development in the EastLake II GDP will be subject to the adopted provisions of the following supplemental planning documents:

1. Planned Community District Regulations;
2. Design Guidelines;
3. Public Facility Financing Plans;
4. Affordable Housing Programs;
5. Air Quality Improvement Plans;
6. Water Conservation Plans;
7. Development Agreements;
8. Salt Creek Park Master Plan;
9. Precise Plans for non-residential development;
10. Conditional Use Permits where required;
11. Site Plan and Architectural Review; and,
12. Tentative Tract Maps

I.1.12 Administrative & Legislative Procedures

The administration and legislative procedures applicable to the EastLake II GDP are those specified in Chapter 19.48, P-C- Planned Community Zone, in the Chula Vista Municipal Code, with Sections 19.48.070 and 10.48.080 having specific applicability.

SPA PLAN

EastLake II Sectional Planning Area (SPA)

EastLake Greens & EastLake Trails Neighborhoods

Approved
Resolution No. 2002-151
Approved 2/4/02

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updated 12/8/04

SECTIONAL PLANNING AREA (SPA) PLAN

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SECTIONAL PLANNING AREA (SPA) PLAN

1. Introduction

1.1 Background

The most basic goals, policies and land use designations for development of EastLake II are provided in the Eastern Territories Area Plan of the Chula Vista General Plan. To implement the General Plan, the entire community has been zoned "Planned Community" (P-C) and designated for a range of urban uses defined in the EastLake II General Development Plan (GDP). The EastLake II SPA project area includes two neighborhoods, EastLake Greens and EastLake Trails, which were initially planned as a single incremental component of the overall EastLake Planned Community, with interconnecting circulation systems on either side of Hunte Parkway. Project processing issues lead to the separation of the two neighborhoods and the independent approval of two Sectional Planning Area (SPA) Plans. The intent of this new EastLake II SPA Plan is to re-establish the planning connection between the two neighborhoods in order to efficiently administer the build-out of both areas.

Adoption of this EastLake II SPA Plan will establish a new EastLake II SPA containing the previously approved EastLake Greens and EastLake Trails SPAs. This new SPA plan will not change any land uses or other provisions of the currently adopted SPA plans and associated plans such as Design Guidelines, Public Facility Finance Plans (PFFPs), *etc.*, which will remain in effect as the detailed development policy documents for the individual neighborhoods. Upon adoption of this EastLake II SPA Plan, the neighborhood-specific plans shall be deemed "Supplemental Sectional Planning Area" (also SPA) plans which implement this Sectional Planning Area Plan which meets the requirements for the Planned Community (P-C) Zone per the requirements of the Chula Vista Zoning Ordinance. Although defined as Supplemental Sectional Planning Areas or SPAs, the EastLake Greens and EastLake Trails developments will be referred to in this document as "neighborhoods" and the previously adopted SPA plans as neighborhood-specific or neighborhood-level plans in order to avoid confusion with the overall EastLake II SPA and SPA Plan.

1.2 Scope & Purpose of the Plan

As a primarily administrative document, provisions of this EastLake II SPA are a compendium of existing plans both for design and planning policy/regulations. As such, this SPA plan relies upon established policies, programs and regulations to a greater extent than other EastLake SPAs. It also provides more implementation flexibility to avoid the necessity of formal plan amendments for minor plan adjustments.

This SPA Plan refines and implements the development concept of the EastLake II General Development Plan (GDP) which itself refines and implements the development designated for the project site in the Chula Vista General Plan. This SPA Plan (and neighborhood-specific plans for the EastLake Greens and EastLake Trails neighborhoods) define, in more detailed terms, the development parameters for the EastLake II planned community, including the land use mix, design

criteria, primary circulation pattern, open space and recreation concept, and infrastructure requirements. Additionally, the character and form of the project will be directed by a series of guidelines, development standards and quality of life standards, plans and programs prescribed in the EastLake II Planned Community (PC) District Regulations (applicable to both neighborhoods), and neighborhood-specific Design Guidelines and Public Facilities Finance Plan (PFFP) and other associated regulatory documents adopted previously, which serve as implementing plans for this SPA plan.

The specific regulatory document and provisions provided herein, including the PC District regulations and related SPA documents, shall supersede the general standards established in other regulations, including the City Zoning Ordinance. If an item is not addressed in the SPA Plan and/or associated regulatory documents, then the applicable City-wide regulations shall apply.

The SPA Associated regulatory documents are as follows:

Planned Community District Regulations

The Planned Community District Regulations establish land use districts and regulations within those districts pursuant to Title 19 (Zoning Ordinance) of the Municipal Code in order to safeguard and enhance the appearance and quality of development in the EastLake II, and promote the health, safety and general welfare of the EastLake II residents and the city of Chula Vista as a whole. The EastLake II PC District Regulations apply to both the EastLake Greens and EastLake Trails neighborhoods.

Public Facilities Finance Plan (PFFP)

The purpose of the PFFP is to implement the City's Growth Management Program and to meet the goals and objectives outlined in the Growth Management Element of the City's General Plan. The two neighborhood-level PFFPs ensure that development of EastLake II occurs only when necessary public facilities and services exist or are provided concurrent with the demands of new development. EastLake Greens and EastLake Trails have separate subdivision maps, to which many public facility improvements are tied, hence separate PFFPs were prepared and remain in effect.

Design Guidelines

Design Guidelines are provided in a manual to guide the site planning, building architecture and landscape architecture within the different neighborhoods and land uses of EastLake II. They illustrate the Master Developer's philosophy and commitment to high quality planned development standards. Although the two neighborhoods are connected by shared circulation routes and community-wide design features, the neighborhood character and site design issues for each are sufficiently different to require independent design guidance, hence separate Design Guidelines were adopted and remain in effect.

Affordable Housing Program

In order to guarantee the provision of affordable housing opportunities, the City requires that a specific Affordable Housing Program and agreement be consistent with Housing Element of the General Plan. An affordable housing program is intended to delineate how, when and where the required affordable housing units will be provided, intended subsidies, income rent restrictions and method of verifying compliance. The program may be implemented through various mechanisms, including development agreements, tentative map conditions or specific housing project agreements. The EastLake Affordable Housing Program has been adopted which includes the EastLake II SPA and meets this requirement.

Air Quality Improvement Plan

The purpose of the Air Quality Improvement Plan (AQIP) is to respond to the Growth Management policies of the city of Chula Vista. The most significant Air Quality Improvement measures are those policies and regulations established at broadest geographic levels (*i.e.*, State and Federal). However, at the local level, the Air Quality Improvement Plan identifies mitigation or improvement measures such as: pedestrian and bicycle paths, land use mix, access to regional vehicular systems, transit access, site design, park and ride facilities, and telecommuting, among others. AQIPs were adopted with approval of the plans for each neighborhood and remain in effect.

Water Conservation Plan

The purpose of the Water Conservation Plan is to respond to the Growth Management policies of the city of Chula Vista. The Water Conservation Plan is intended to respond to the long term need to conserve water in new development, establishing water conservation standards for residents of EastLake II. Water Conservation Plans were adopted for each neighborhood in the EastLake II SPA and remain in effect.

1.3 Record of Amendments

(To be inserted upon amendment)

1.4 Location & Regional Setting

The EastLake II SPA is located in the eastern portion of the Chula Vista city limits. The majority of the site is located between the future alignment of State Route 125 and Salt Creek open space corridor. The site is bounded by Otay Lakes Road on the north and Olympic Parkway on the south, except for one open space parcel south of Olympic Parkway. The Project Vicinity Map, Exhibit 1, identifies the location of the EastLake II SPA with respect to regional features of Eastern Chula Vista. The location of the EastLake II SPA within the overall EastLake Planned Community and the location of the EastLake Greens and EastLake Trails neighborhoods is depicted in Exhibit 2.

The EastLake II SPA is comprised of two neighborhoods, EastLake Greens and EastLake Trails. EastLake Greens is located west of Hunte Parkway and is bisected by EastLake Parkway and SR-

125. The EastLake Trails neighborhood extends from Hunte Parkway east to include the Salt Creek open space corridor. EastLake Business Center is located north of EastLake Greens while the EastLake Woods neighborhood, within the EastLake III SPA, is located north of EastLake Trails. The EastLake Vistas neighborhood, also within the EastLake III SPA is located east of EastLake Trails. The developing Otay Ranch community is located to the south SPA.

Vicinity Map

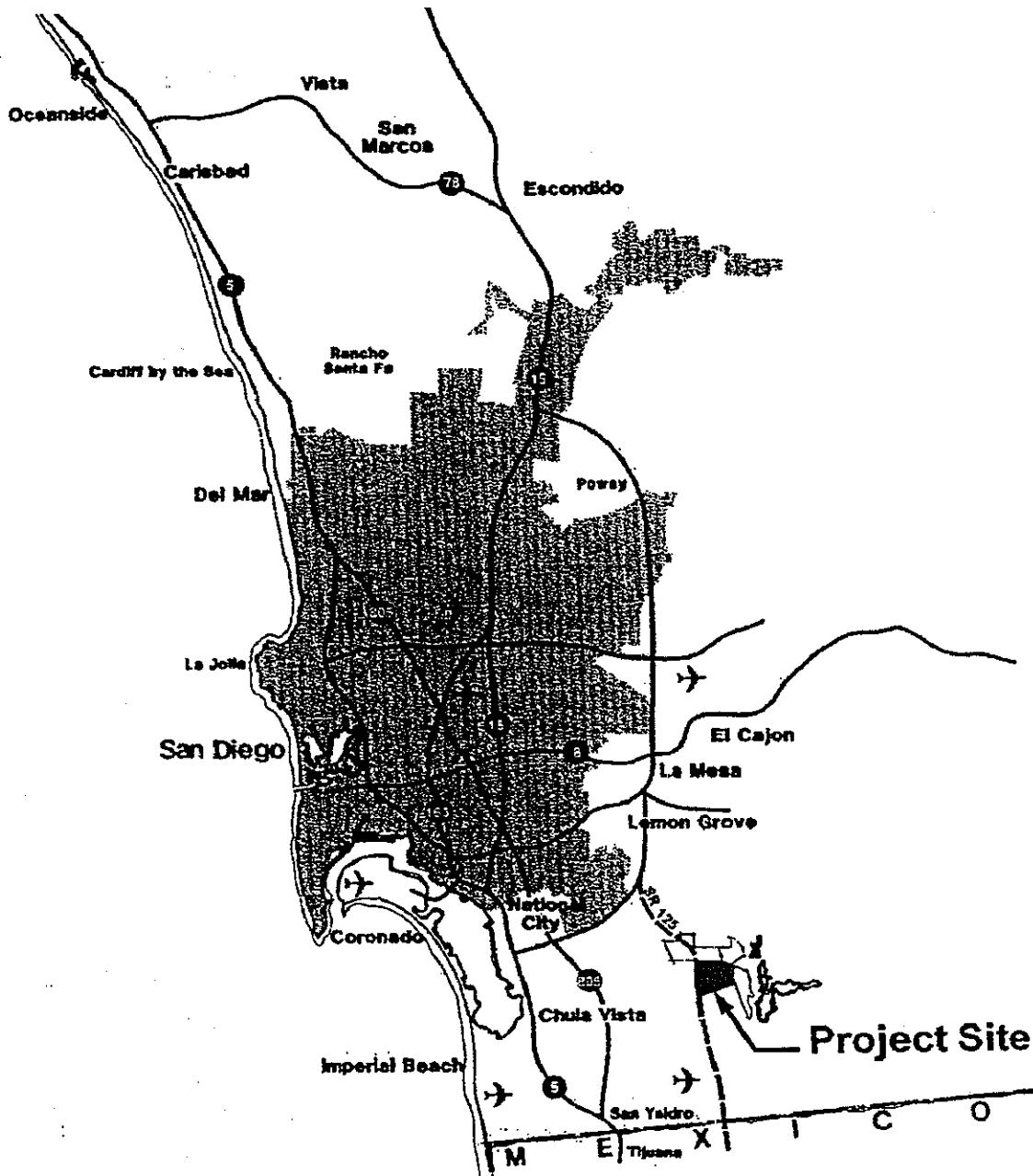
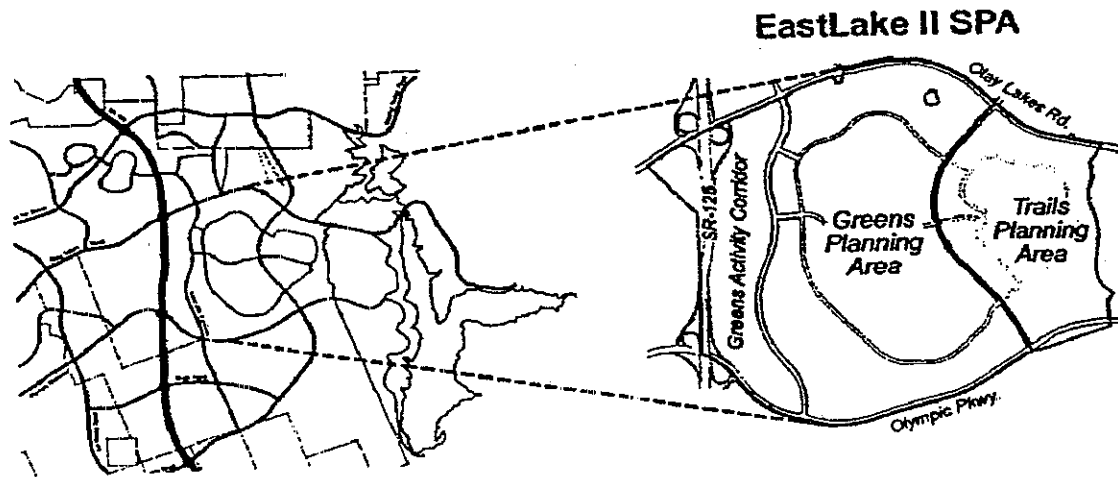


Exhibit 1

EASTLAKE II SPA PLAN

(02/04/02)

SPA Boundaries



EastLake Planned Community

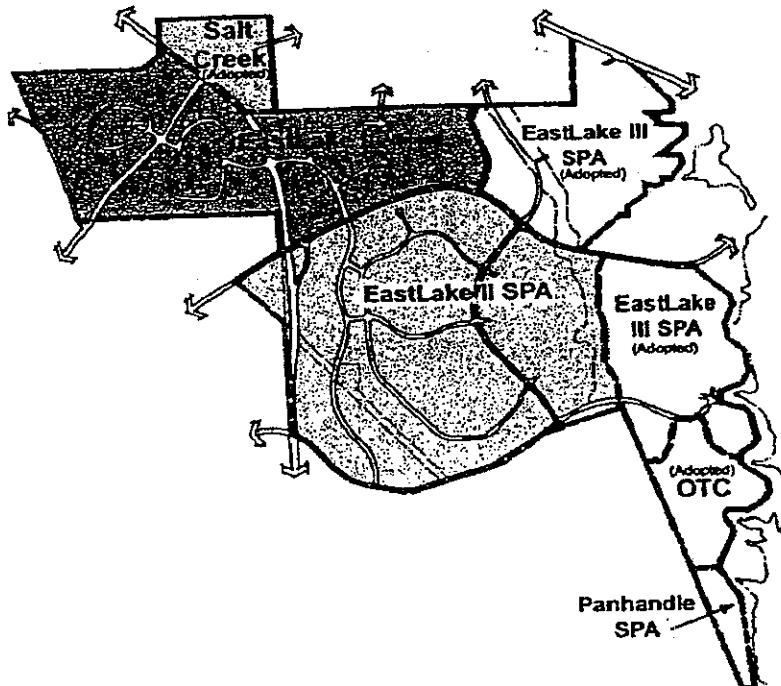


Exhibit 2

EASTLAKE II SPA PLAN

1.5 Community Structure

The community structure of the EastLake II neighborhoods, at a fundamental level, is established by the EastLake II General Development Plan. This section is intended to highlight the design features of the two neighborhoods within the SPA plan as an introduction to the project.

The community structure of the EastLake II SPA reflects the inclusion of two separate residential neighborhoods, and a mixed-use "Activity Corridor" adjacent to the SR-125 alignment. The major roads and interconnecting neighborhood circulation routes serve to integrate the neighborhoods with each other, the overall EastLake Community and Chula Vista's Eastern Territories. The greenbelt corridor within Salt Creek is one of the two branches of the Chula Vista Greenbelt implemented by the project. This greenbelt component is part of a larger city-wide park and open space system connected by hiking and bicycle trails. The greenbelt and arterial road system provide a framework within which EastLake II will be developed. Beyond this framework however, the two EastLake neighborhoods have individual structures and identities.

The EastLake Greens neighborhood, to the west, is primarily a mixed density residential neighborhood sited around a golf course. The neighborhood is bisected by EastLake Parkway which serves as the "Activity Corridor" access. The Activity Corridor includes a range of commercial, educational and public and quasi-public facility sites which serve the entire EastLake Community and surrounding areas. One office commercial parcel is located west of the SR-125 ROW. A large utility corridor crosses the south west quadrant of the neighborhood, creating a long narrow open space feature. A looping neighborhood collector road intersects with Hunte Parkway in two locations and continues eastward serving the EastLake Trails neighborhood.

The EastLake Trails neighborhood is a much smaller, predominately single family residential neighborhood oriented to the open space, parks and recreational facilities in the Salt Creek corridor. A significant area of "natural" open space is located in the southern portion of the Salt Creek, while developed parks and recreational facilities are located in the northern portion. One open space parcel within the neighborhood planning area is located south of Olympic Parkway and physically separated from the rest of the project.

1.6 Legal Significance/EIR

The California Environmental Quality Act (CEQA) requires the preparation of an environmental impact report (EIR) or other environmental analysis for any project that a lead agency (such as the City) proposes to implement, unless the project is specifically exempt by CEQA.

According to CEQA Section 21002.1, "The purpose of an EIR is to identify the significant effects of a project on the environment, to identify alternatives to the project and to indicate the manner in which those significant effects can be mitigated or avoided." CEQA also provides mechanisms whereby the public and decision-makers can be informed about the nature of the proposed project and the type and extent of the impacts the project and project alternatives would have on the environment if implemented.

Appropriate environmental documents were prepared and certified in conjunction with the initial approval of the development plans for each neighborhood. Approval of this primarily administrative plan will not change the environmental impacts or mitigation measures associated with either of the two projects and should not require significant additional environmental documentation itself.

SPA Plan related mitigation measures identified in the EIRs have been incorporated in the respective neighborhood-specific plans and associated regulatory documents, as appropriate. Mitigation measures not incorporated into these documents have been incorporated into other implementation actions associated with project approvals for each neighborhood.

1.7 SPA Plan Consistency with GDP

A SPA Plan must be consistent with the corresponding GDP and the Chula Vista General Plan in order to be approved.

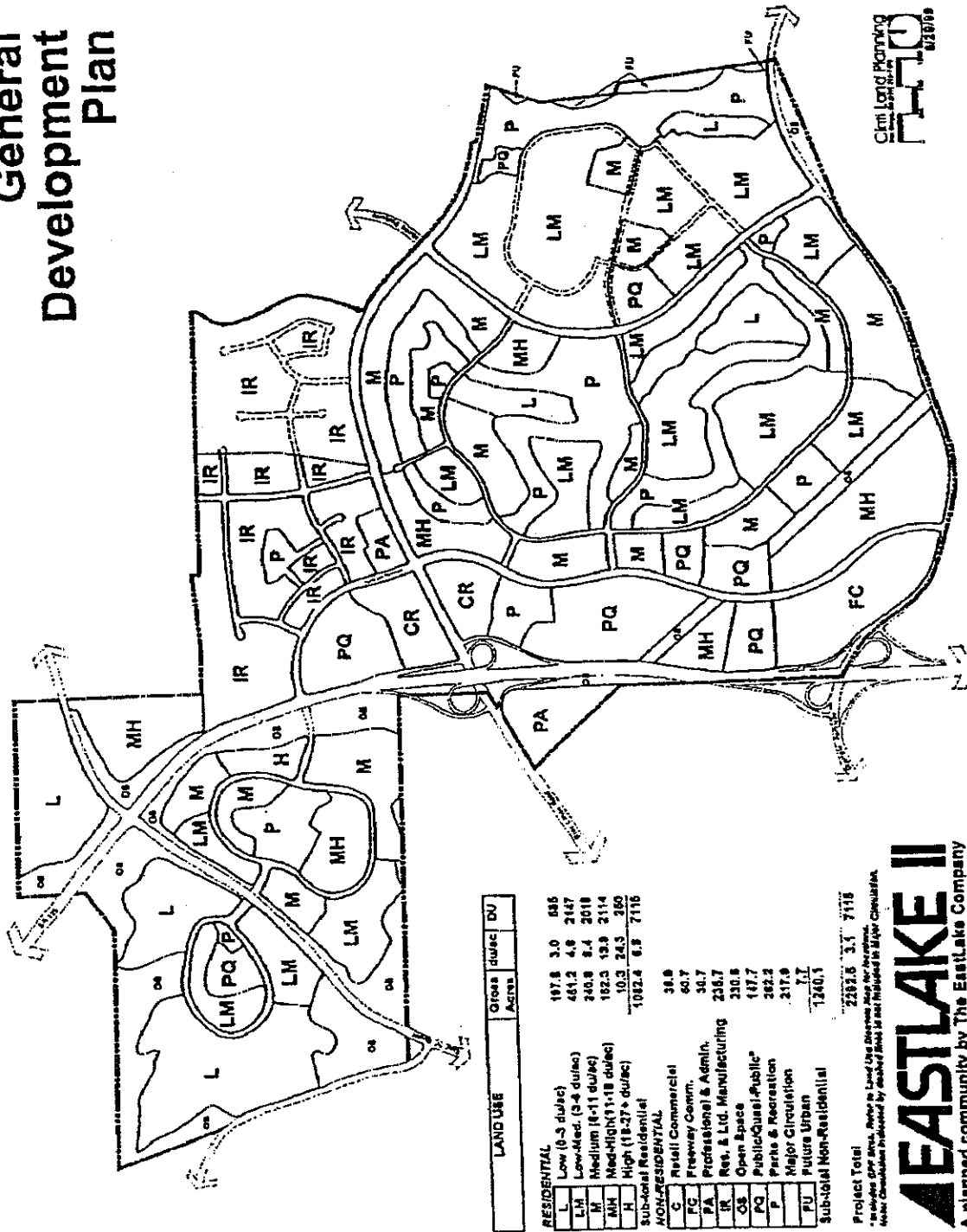
Comparison of the EastLake II GDP Map (Exhibit 3) and the EastLake II SPA Site Utilization Plan (Exhibit 4) indicates consistency. Further, a finding of consistency with the GDP was made with the approval of each set of neighborhood-specific plans. Since this SPA Plan will not change any land uses or other provisions of the previous plans, it too is consistent with the GDP.

1.7.1 Site Utilization Plan

The EastLake II Site Utilization Plan (Exhibit 4) identifies each of the development parcels within the two neighborhoods. Note that the parcel label includes a neighborhood identification as the initial letter in the parcel number, "G" for EastLake Greens and "T" for EastLake Trails. Following the initial letter is the parcel number used in the neighborhood-specific plans. For example, parcel "GR-1" is a parcel located in the EastLake Greens neighborhood and is identified as parcel "R-1" in the EastLake Greens neighborhood-specific planning documents. Similarly, "TR-1" is a parcel located in the EastLake Trails neighborhood and is identified as parcel "R-1" in the EastLake Trails neighborhood-level plan package.

It should also be noted that the parcels or "development bubbles" are drawn differently in each neighborhood. Neighborhood circulation is "outside the bubble" within the EastLake Greens neighborhood and "inside the bubble" for parcels in EastLake Trails. Thus, development statistics such as density are not comparable between the two neighborhoods. Detailed project approvals which require precise calculations or comparisons should utilize the Site Utilization Plans and statistical summaries provided in the neighborhood-specific documents.

General Development Plan



City Land Planning
02/04/02

EASTLAKE II
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Exhibit 3

2. Development Concept

2.1 Design Influences

The primary influences in developing the EastLake II SPA Plan are the two adopted neighborhood-specific development plans for EastLake Greens and EastLake Trails. These plans were formulated based on provisions in the Chula Vista General Plan, the EastLake II General Development Plan, on-going development in adjacent neighborhoods, other existing adjacent development and the natural landform characteristics of the sites. This SPA Plan, by directly incorporating the plans developed at the neighborhood level, appropriately responds to these design influences.

2.2 Land Use Pattern

As with design influences, the EastLake II SPA directly incorporates the approved land use patterns in the neighborhood level plans which were previously approved. This overall land use pattern is both appropriate to the site and consistent with the land use policies and requirements of the Chula Vista General Plan and EastLake II GDP.

2.3 Density Transfer

This SPA Plan provides guidance for future development at the subdivision and improvement plan level, and is the basic reference for determining permitted land uses, densities, total unit, and required public facilities. These are illustrated in the Site Utilization Plan, Exhibit 4, which is the key map for this SPA Plan.

Even though the SPA Plan contains specific guidance for development, it is not intended to be used in a manner which predetermines the development solution for each and every parcel. Modifications, such as slight deviation from the internal circulation, parcel configuration and other minor adjustments not altering the design density or intent of this SPA plan, may occur as part of the Tentative Subdivision Map or other administrative process, provided the Director of Planning determines that the adjustments are minor and can be processed as an update to the SPA plan and associated regulatory documents. Minor modifications include changes to internal circulation; changes in unit count or parcel size of less than 10%; and, similar small changes resulting from design refinements. Following approval of the tentative map, the corresponding changes to the GDP and/or SPA Plan text and exhibits shall be made and/or approved by the Director of Planning as an administrative action.

Further, the SPA Plan is not a guarantee that a certain dwelling unit yield will be achieved at the subdivision level. The maximum density (high end of DU range indicated) as specified for individual parcels shall not be exceeded; however, actual dwelling unit yields for projects will be determined by field conditions, site plan and architectural review, and a number of external factors that influence the design and density of individual projects. Transfers in density from one parcel to another may be permitted subject to the provisions of the EastLake II General Development Plan.

Site Uti

Map showing various planning areas (GOS, GR, GP, TR, TP, TOS, GVC, GS, GPQ, GFC) and roads (Olympic Parkway, East Lake Pkwy, Hulse Pkwy, Olney Lakes Road). The map includes a legend for 'Scenic Buffer' and 'Greens Planning Area' and a 'Notes' section.

Notes:

1. Parcels beginning "GR" refer to the Greens Planning Area. Parcels beginning with "TR" refer to the Trails Planning Area.
2. Streets indicated by a dashed line and not included in Circulation.

Feature	Land Use	Crews Acres	Typical	Typical
			Value	Value
TRAILER TRAIL				
TR-1	Low-SPD	164	25	31
TR-2	Low-SPD	160	30	36
TR-3	Medium-SPD	170	30	36
TR-4	Medium-SPD	164	30	36
TR-5	Medium-SPD	160	30	36
TR-6	Medium-SPD	164	30	36
TR-7	Medium-SPD	160	30	36
TR-8	Medium-SPD	164	30	36
TR-9	Medium-SPD	160	30	36
TR-10	Medium-SPD	164	30	36
TR-11	Medium-SPD	160	30	36
TR-12	Medium-SPD	164	30	36
TR-13	Medium-SPD	160	30	36
TR-14	Medium-SPD	164	30	36
TR-15	Medium-SPD	160	30	36
TR-16	Medium-SPD	164	30	36
TR-17	Medium-SPD	160	30	36
TR-18	Medium-SPD	164	30	36
TR-19	Medium-SPD	160	30	36
TR-20	Medium-SPD	164	30	36
TR-21	Medium-SPD	160	30	36
TR-22	Medium-SPD	164	30	36
TR-23	Medium-SPD	160	30	36
TR-24	Medium-SPD	164	30	36
TR-25	Medium-SPD	160	30	36
TR-26	Medium-SPD	164	30	36
TR-27	Medium-SPD	160	30	36
TR-28	Medium-SPD	164	30	36
TR-29	Medium-SPD	160	30	36
TR-30	Medium-SPD	164	30	36
TR-31	Medium-SPD	160	30	36
TR-32	Medium-SPD	164	30	36
TR-33	Medium-SPD	160	30	36
TR-34	Medium-SPD	164	30	36
TR-35	Medium-SPD	160	30	36
TR-36	Medium-SPD	164	30	36
TR-37	Medium-SPD	160	30	36
TR-38	Medium-SPD	164	30	36
TR-39	Medium-SPD	160	30	36
TR-40	Medium-SPD	164	30	36
TR-41	Medium-SPD	160	30	36
TR-42	Medium-SPD	164	30	36
TR-43	Medium-SPD	160	30	36
TR-44	Medium-SPD	164	30	36
TR-45	Medium-SPD	160	30	36
TR-46	Medium-SPD	164	30	36
TR-47	Medium-SPD	160	30	36
TR-48	Medium-SPD	164	30	36
TR-49	Medium-SPD	160	30	36
TR-50	Medium-SPD	164	30	36
TR-51	Medium-SPD	160	30	36
TR-52	Medium-SPD	164	30	36
TR-53	Medium-SPD	160	30	36
TR-54	Medium-SPD	164	30	36
TR-55	Medium-SPD	160	30	36
TR-56	Medium-SPD	164	30	36
TR-57	Medium-SPD	160	30	36
TR-58	Medium-SPD	164	30	36
TR-59	Medium-SPD	160	30	36
TR-60	Medium-SPD	164	30	36
TR-61	Medium-SPD	160	30	36
TR-62	Medium-SPD	164	30	36
TR-63	Medium-SPD	160	30	36
TR-64	Medium-SPD	164	30	36
TR-65	Medium-SPD	160	30	36
TR-66	Medium-SPD	164	30	36
TR-67	Medium-SPD	160	30	36
TR-68	Medium-SPD	164	30	36
TR-69	Medium-SPD	160	30	36
TR-70	Medium-SPD	164	30	36
TR-71	Medium-SPD	160	30	36
TR-72	Medium-SPD	164	30	36
TR-73	Medium-SPD	160	30	36
TR-74	Medium-SPD	164	30	36
TR-75	Medium-SPD	160	30	36
TR-76	Medium-SPD	164	30	36
TR-77	Medium-SPD	160	30	36
TR-78	Medium-SPD	164	30	36
TR-79	Medium-SPD	160	30	36
TR-80	Medium-SPD	164	30	36
TR-81	Medium-SPD	160	30	36
TR-82	Medium-SPD	164	30	36
TR-83	Medium-SPD	160	30	36
TR-84	Medium-SPD	164	30	36
TR-85	Medium-SPD	160	30	36
TR-86	Medium-SPD	164	30	36
TR-87	Medium-SPD	160	30	3

Notes:

1. Parcels beginning with "G" refer to the Greens Planning Area. Parcels beginning with "T" refer to the Trails Planning Area.
2. Streets indicated by a dashed line are not included in Circulation.

EASTLAKE II SPA

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2.4 Housing Programs

The predominant land use in the EastLake II SPA plan is residential, intended to provide housing in response to local market demands. This SPA permits a variety of housing types in responding to these demands, ranging from attached condominium projects to housing on lots exceeding 10,000 square feet. The SPA Plan only pre-determines the housing mix to the extent that a target density and one or more of three housing types are identified for each parcel. The three housing types are: single family detached (SFD); single family attached (SFA); and, multi-family (MF). Within these residential parameters, a number of housing concepts are permitted, consistent with the development standards of the respective land use district identified in the EastLake II PC District Regulations, to allow response to changing market conditions.

The City of Chula Vista, along with all other cities in California, is required by State law to have a Housing Element as a component of its General Plan. The Housing Element describes the housing needs of the community and the responses necessary to fulfill them. The Chula Vista Housing Element contains numerous objectives, policies and related action programs to accomplish these objectives. Key among these policies is the affordable housing policy which requires that residential development with fifty (50) or more dwelling units provide a minimum of 10% of the total dwelling units for low and moderate income households, one-half of these units (5% of the total project) being designated to low income and the remaining five percent (5%) to moderate income households.

In order to guarantee the provision of Affordable Housing opportunities, the City requires that a specific Affordable Housing Program (AHP) and agreement, consistent with the Housing Element, be prepared and signed by the Developer. The AHP delineates how, when and where affordable housing units are to be provided, intended subsidies, income and/or rent restrictions, and methods to verify compliance. An Affordable Housing Program(s) has been approved for the residential development within the Eastlake II SPA consistent with this requirement. Approval of this SPA plan will not affect the provisions of the adopted housing program(s).

2.5 Urban Design Concept

There is no overriding urban design concept for development of EastLake II. Landscaping and hardscaping, such community walls and monument signs, will be used to establish neighborhood identity and will be consistent with EastLake Community standards and the adopted design guidelines for each neighborhood. The architecture and urban design features of various projects within each neighborhood are expected to reflect a diversity of design themes and influences while unified within a single project, consistent with high quality suburban residential development.

Additional details regarding urban design and site planning are provided in the Design Guidelines previously adopted for each neighborhood.

2.6 Landscape Concept

As with Urban Design, landscape plans have been adopted for each neighborhood. These provide a general design framework which allows latitude and flexibility to each individual project while maintaining the overall goals and objectives of the community. The intent of the landscape

concept(s) is to reinforce the design pattern established by the Site Utilization Plan. This pattern consists of the predominate residential district and an recreation/greenbelt corridor along with a series of paths, edges and landmarks. Dominant trees have been selected to create distinct identities and visual continuity. Each neighborhood and major thoroughfares have identified dominant trees.

Landscape design is addressed in greater detail in the neighborhood-specific Design Guidelines.

All landscape development in the EastLake II SPA shall be in compliance with the Chula Vista Landscape Manual, adopted by Resolution No. 17735 in November 1994.

3. Grading & Phasing

3.1 Grading

Conceptual grading plans, estimated grading quantities and grading policies are provided in each of the neighborhood-specific development plans and shall be applied within each respective neighborhood.

3.2 Phasing

The proposed phasing within each neighborhood is described in the respective neighborhood-level planning documents. Actual construction timing may be modified during the Tentative Map process and modification to the Public Facilities Financing Plans resulting from Tentative Map conditions of approval.

4. Public Facilities

The inclusion of public facilities issues is a distinguishing feature of SPA Plans. The plans adopted for each of the EastLake II SPA neighborhoods included extensive descriptions of the anticipated public facilities required to enable the community to function properly. These facilities include on- and off-site roads, sewer, water, storm drains, schools, parks and a range of other public facilities. The companion Public Facility Finance Plans (PFFPs) describe the "backbone" facilities in more detail and assigns the responsibility for construction and financing of all required facilities. These neighborhood-level plans remain in effect and shall continue to control public facility design, construction and phasing within the EastLake II SPA.

Required Community Purpose Facility (CPF) sites are addressed in the EastLake CPF Master Plan which includes EastLake Greens, EastLake Trails, EastLake Business Center II, EastLake Vistas and EastLake Woods neighborhoods. Four sites are distributed throughout the master plan area such that CPF sites will be available to serve all neighborhoods. The Master Plan is presented in detail in the EastLake II GDP and EastLake Trails neighborhood-level plans which should be referenced for specific requirements. Applicable portions of the EastLake CPF Master Plan will be implemented in the EastLake II SPA.

Chapter II

EastLake Greens

Sectional Planning Area (SPA) Plan

Adopted by the Chula Vista City Council

on November 24, 1998

by Resolution No 19275

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EASTLAKE GREENS SPA PLAN

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Phasing Plan		

CHAPTER ONE - INTRODUCTION

The EastLake Greens Sectional Planning Area (SPA) Plan and accompanying Environmental Impact Report, Public Facilities and Financing Plan and Development Agreement are required for the orderly development of the subject property. The area encompassed by the Plan is appropriately designated for development on the City of Chula Vista General Plan and is intended to be included in an expanded EastLake I Planned Community Zone. Under this designation and zoning, the area will be planned for development, subject to the provisions of this SPA Plan and subsequent implementation actions by the City of Chula Vista and other affected public agencies.

1.1 Location of EastLake Greens Planning Area

EastLake Greens is located in the eastern portion of the Chula Vista City limits. The site is located on the south side of Telegraph Canyon Road approximately 7.5 miles east of the Chula Vista Civic Center. Exhibit 1 illustrates the location of EastLake Greens and its proximity to the existing development within EastLake I.

Nearby existing communities include College Area Estates and the Otay Lakes Lodge Mobilehome Park. The remaining land to the south and west is owned by The Baldwin Company.

The SPA includes the EastLake Greens neighborhood which is a golf oriented residential neighborhood and the southern extension of the Activity Corridor which is the location for most commercial and public facilities within the EastLake Community. The Activity Corridor is the area west of EastLake Greens, between EastLake Parkway and the alignment for SR-125. A high school site, community park, commercial sites and other activity centers are located there. Adjacent to Telegraph Canyon Road, is the EastLake Village Center commercial area. The majority of this center was approved in the EastLake I SPA and the southern portion included in this SPA completes the plan for the major retail and office commercial district within the EastLake Community.

References herein to the EastLake Greens SPA or EastLake Greens generally, are meant to include the EastLake Greens residential neighborhood and the Activity Corridor. Specific provisions appropriate for residential development or other uses located within residential areas are directed to the EastLake Greens neighborhood only.

1.2 Relationship to EastLake I SPA

EastLake Greens is the third residential neighborhood to be developed within the Planned Community of EastLake. It is located south of Telegraph Canyon Road and the proposed SR-125 alignment is its western edge. The first two residential neighborhoods, EastLake Hills and EastLake Shores, and the commercial and industrial districts, EastLake Village Center and EastLake Business Center, respectively, were approved in the EastLake I SPA. These areas, now under construction, are also located north of Telegraph Canyon Road. The EastLake I SPA Plan also included approximately 320 acres south of Telegraph Canyon Road, a portion of EastLake Greens planning area. Conceptual design studies were not completed for this area however, and the EastLake I SPA called for the preparation of a supplemental SPA Plan for the area south of Telegraph Canyon Road.

Later, as the planning progressed for the EastLake Greens SPA, it was recognized that the acreage included within EastLake I was inadequate for the project as envisioned. Additional acreage, south of the property boundary at the proposed alignment of Orange Avenue, was included in the EastLake Greens project site. Because this additional acreage was not included in the EastLake I annexation and zoning, the recent proposal to amend the General Plan, annex and include the "expansion area" in the EastLake I Planned Community District was initiated, (see Exhibit 2 Project Components). The expansion area includes the site for the fourth residential neighborhood, EastLake Trails, which is located directly to the east of EastLake Greens and will be the subject of a separate SPA Plan.

As proposed in the General Development Plan Amendment, the revised General Development Plan for the expanded EastLake I area will serve as the interim General Plan for the property, until the Comprehensive General Plan now underway is completed. This SPA Plan has been prepared to be consistent with the Scenario IV Land Use Plan and proposed policies which are expected to form the basis of the updated General Plan.

1994 SPA Plan Amendment

The proposed amendment is an expansion of the EastLake Greens neighborhood by 22.7 acres and an additional 97 units. The major portion of this expansion is due to a realignment of Orange Avenue during the recent General Plan actions related to the Otay Ranch. A smaller triangular area is also proposed to be added northeast of the SDG&E easement. A future action is intended for the remaining portion of EastLake property, known as the Land Swap property, southwest of this easement.

In addition to the proposed expansion of the EastLake Greens SPA, a number of density transfers are proposed within the SPA Plan. These are refinements in the plan to reflect both actual conditions of

Developed parcels and projected parcel densities. The total number of units for the SPA is increased by 97 (units added by new area).

The 1995 SPA Plan Amendment

The project was an Amendment to the Adopted EastLake II General Development Plan (GDP), related to EastLake Greens; and an Amendment to the EastLake Greens SPA Plan (SPA). The changes to the GDP and SPA also included respective changes to the Land Use Districts Map in the PC District Regulations.

The Amendments can be grouped in the following general categories:

1. Park Relocations
2. Density Transfers and Parcel Boundary Adjustments
3. Removal of Interim Designation on Parcel R-26

Park Relocations

The Neighborhood Park (Parcel P-3) in the adopted plan was partially within the SGD&E easement and contained less than ten net useable acres for park use. The park was proposed by to be relocated southeasterly of Parcel R-20 and to contain 10.0 net useable acres for park uses (11.8 acres gross). This relocation deleted the former residential Parcel R-21. The former location of the park was proposed to be converted to Public/Quasi-Public as an expansion of existing Parcel PQ-2. This additional 11.0 acres was then available for Community Purpose Facilities.

A second park relocation involved Parcel P-5, which was a Private Neighborhood Park between Parcels R-10 and R-21. This park was relocated near the intersection of South Greensview Drive and Hunte Parkway adjacent to Parcel R-12. No significant change in acreage is proposed.

Density Transfers and Boundary Adjustments

Reductions in densities were proposed in eleven residential parcels. Increases in densities were proposed in four residential parcels. The net result of these density transfers was a 133 unit decrease in the overall residential density. Most of the density transfers were minor adjustments that reflect units achieved in the tract map and design review process.

Removal of Interim Designation for Parcel R-26

Parcel R-26 was given an Interim Designation on the Adopted SPA Plan. This designation indicated that the density of 4.5 du/ac would be subject to future amendment to reflect the Chula Vista General Plan. The Interim Designation was assigned to allow an Affordable Housing Program for all of EastLake to be developed. This program has proceeded and has designated this parcel as a site to implement a portion of the Chula Vista Housing Element requirement for Affordable Housing. The increase in density was proposed to allow this program to be implemented.

The 1998 Amendment

The 1998 SPA Plan Amendment was limited to the annexation of the land known as the Land Swap Area into the EastLake Greens SPA Plan boundary. The following paragraphs describe the amendment in more detail.

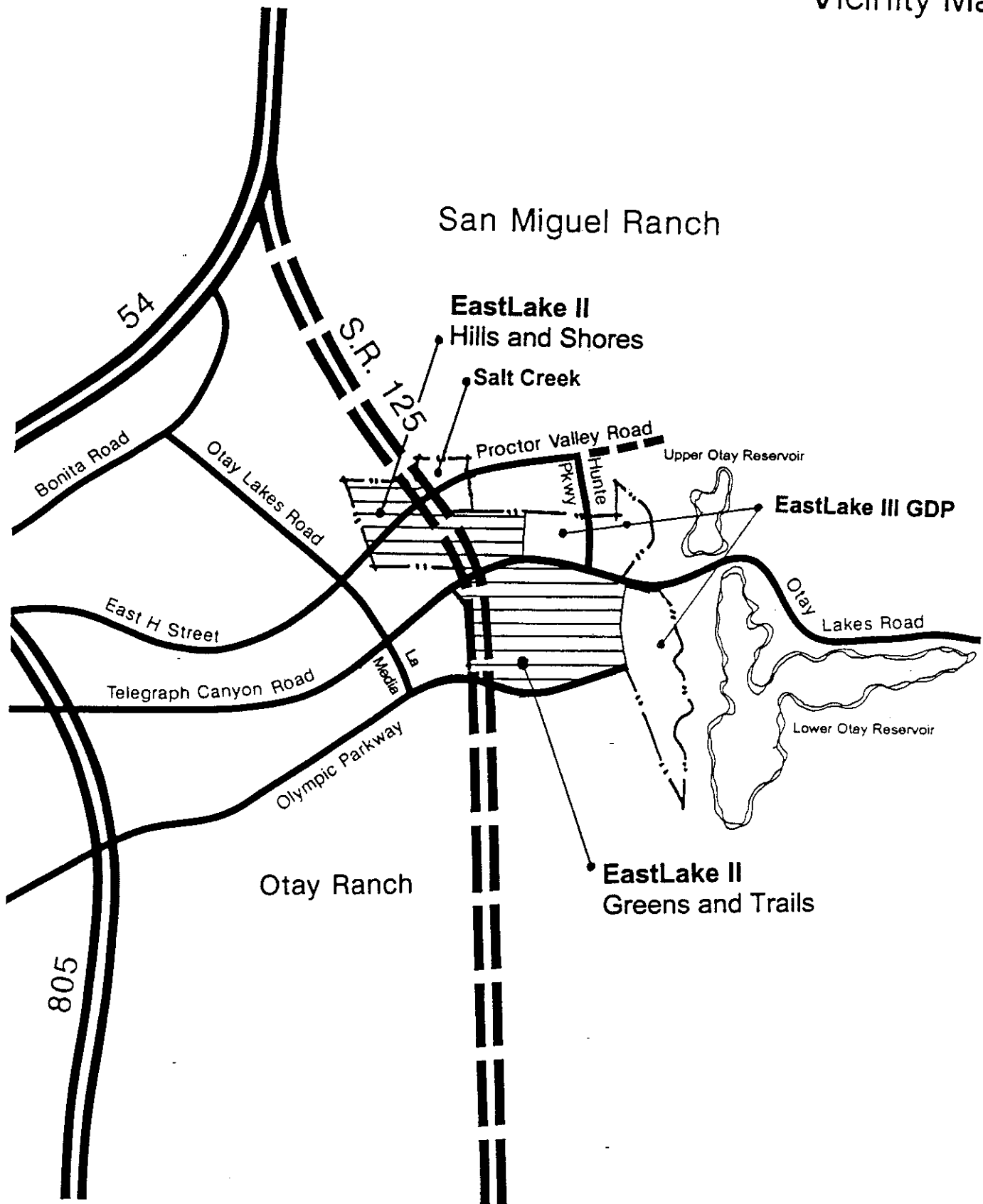
The Northern "Land Swap" Parcel PA-1: Professional & Administrative.

The Northern "Land Swap" parcel is designated for Professional and Administrative Commercial in the General Plan, and the same land use designation in the EastLake II GDP and EastLake Greens SPA.

The Southern "Land Swap" Parcels Parcel FC-1: Freeway Commercial & Parcel R-9: Residential (This is an expansion of the existing Parcel R-9).

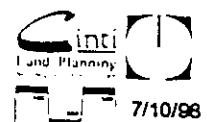
The Southern "Land Swap" parcel is bisected by the extension of EastLake Parkway creating two parcels. These two parcels are zoned PC and, under the City's General Plan, have been designated Retail Commercial and Medium High Density Residential. The parcel west of EastLake Parkway was designated Freeway Commercial, allowing large retail operations such as Home Depot, K-Mart, etc. The parcel east of EastLake Parkway was merged with an 8.5 acre, Low Medium Density Residential parcel, targeted for 45 dwellings, and a 6.3 acre Future Urban parcel located directly south. The combined parcels will produce a 65 acre parcel with capacity for 750 dwelling units.

Vicinity Map

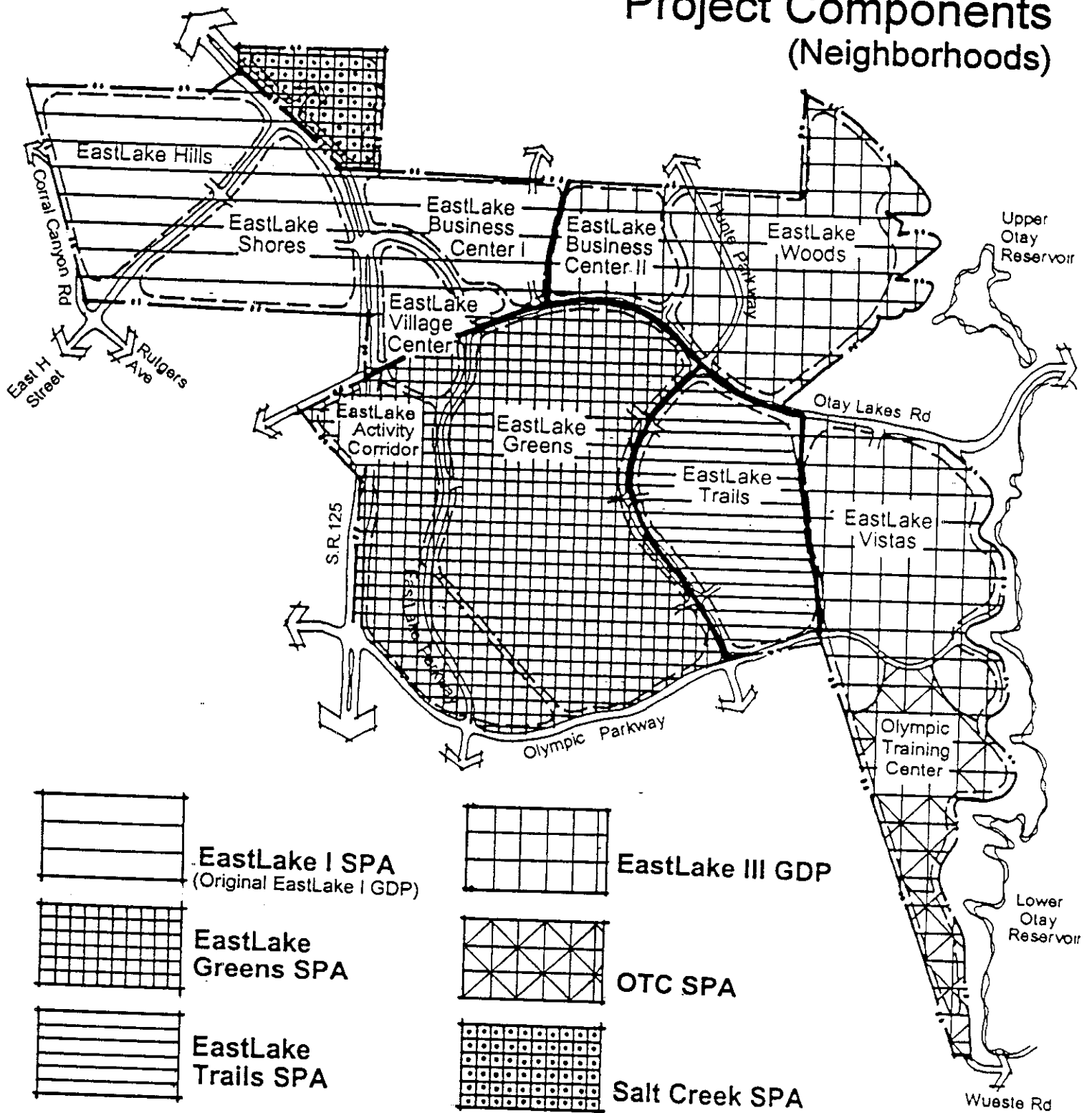


EASTLAKE

A PLANNED COMMUNITY BY EASTLAKE DEVELOPMENT CO.



Project Components (Neighborhoods)



EASTLAKE

A PLANNED COMMUNITY BY EASTLAKE DEVELOPMENT CO



Exhibit 2

1.3 Planning Process

The original plan for Janal Ranch (EastLake) was submitted to the City on October 30, 1980, as a General Plan Amendment. The proposal consisted of a General Plan Amendment and an application for pre-zoning to a Planned Community zoning designation for the entire 3,000+ acre property. The property was located entirely within the unofficial "Sphere-of Influence" of the City of Chula Vista.

The original proposal called for a maximum of over 11,500 residential units covering seven residential density types, 209 acres of employment park, 31 acres of office, 29 acres of commercial and associated open space, recreational and public facilities. The property was intended to be developed over a 20-year time period. This plan was withdrawn when it was recommended for denial by the Planning Commission.

On June 29, 1982, a reduced plan on 1,267.9 acres, containing a maximum of 3,683 dwelling units, was submitted to the City for annexation. The original design of the plan was maintained with some modification in the arrangement of land uses and the location of the high school and community park. The scaled down annexation included a 145 acre employment park, 34 acres of office and commercial, 290 acres of open space and 166 acres of public facilities.

On July 15, 1984, the Chula Vista City Council approved the requested General Plan Amendment and adopted Planned Community Zoning for EastLake I (1,267.9 acres). The remainder of the parcel was designated "Future Urban" and an EastLake Policy Plan was adopted by the City Council to establish future planning and development guidelines (EastLake II).

1994 Amendment

In 1993 the Chula Vista City Council approved a General Plan amendment for the EastLake Land Swap property. Most of this property, though adjacent to EastLake Greens, takes access from EastLake Parkway in the area of the EastLake Activity Corridor, southwest of the SDG&E easement. Two small parcels, northeast of the SDG&E easement and north of Orange Avenue take access from the internal circulation of the EastLake Greens neighborhood. These two parcels are the subject of this amendment, which was submitted to the City in February 1994. The balance of the Land Swap Property will be the subject of a future separate amendment proposal.

1.4 Scope and Purpose of the Plan

The purpose of the EastLake Greens SPA (Sectional Planning Area) Plan is to provide guidelines for future public and private development within EastLake Greens, and the Activity Corridor, and the Land Swap parcels.

The SPA Plan includes a number of community objectives and policies which are consistent with the Chula Vista General Plan, as well as other City policies and ordinances governing new development. To implement these objectives and policies, a series of development guidelines and accompanying Planned Community (PC) zoning regulations are set forth herein. In addition, a Public Facilities and Financing Plan and Development Agreement have been included to guide the developer and affected public agencies such as the City of Chula Vista, Sweetwater Union High School District, Chula Vista City School District and the Otay Water District in carrying out required implementation activities.

1.5 Relevant General Plan Provisions

The Land Use Element of the proposed General Plan Update includes series of goals and objectives which are to be achieved in the development of the overall planning area. A second set of more specific goals and objectives is included in the Eastern Territories Area Plan. The proposed project is very responsive to these provisions of the proposed General Plan as indicated below.

1.5.1. Land Use Element

Objective 8. Provide for community and neighborhood commercial centers in developing areas convenient to new neighborhoods and maintain, renovate and redevelop existing centers.

The project includes an expansion of the EastLake Village Center commercial district established in EastLake I. Shops and services in this area will meet the local commercial needs of residents of EastLake and adjacent properties.

Objective 10. Encourage the development of a diversity of housing types and prices.

The proposed project includes a wide range of housing opportunities ranging from stacked multi-family units to large single families homes. A range of product sizes and amenities will permit diversity in housing prices.

Objective 11. Assure that new development meets or exceeds

a standard of high quality planning and design.

The existing EastLake project has established a very high standard of planning and design which has been recognized locally and at the national level. EastLake Greens will continue this pattern of excellence.

Objective 12. Provide for the development of multi-family housing in appropriate areas convenient to public services, facilities and circulation.

Multi-family products within EastLake Greens are generally located in close proximity to major roads and the support services found in the Activity Corridor, extending along EastLake Parkway and SR-125. Thus, an increased level of public services and facilities are readily available.

Objective 13. Encourage planned developments, with a coordinated mix of urban uses, open spaces, and amenities.

The EastLake Planned Community is comprised of a series of residential neighborhoods each with a recreational focus/major amenity. EastLake Greens is the third residential neighborhood to be developed. The proposed project integrates an 18 hole golf course recreational amenity into a diverse residential neighborhood. Within the community as a whole, a balanced mix of urban uses, open space, parks and recreational amenities are provided.

Objective 14. For new developments in Eastern Territories, the predominant character should be low medium density, single-family housing. Where appropriate in terms of physical setting encourage development of quality, large-lot housing.

The proposed EastLake Greens project includes a significant amount of low to medium density single family housing. A greater proportion of lower densities are proposed in the adjacent EastLake Trails neighborhood. The increased density within EastLake Greens is appropriate considering its location adjacent to the planned SR-125 freeway, between the EastLake Village Center and planned Urban Center at SR-125/Orange Avenue. A reduced density is appropriate further to the east, in the vicinity of EastLake Trails, where development interfaces with the open areas of the Chula Vista Greenbelt. When considered together, the EastLake Greens and EastLake Trails neighborhoods meet the statistical standards for density consistency with the proposed Land Use Element.

Objective 24. Promote water conservation through increased efficiency in essential uses and use of low water demand landscaping.

The EastLake Planned Community is being developed in accordance with the provisions of a comprehensive Water Conservation Plan which was prepared for the project. The Landscape Intensity exhibit (Exhibit 16) for the EastLake Greens project delineates the areas of "natural, naturalized and drought tolerant" planting throughout the project where irrigation requirements have been reduced through the selection of appropriate plant materials.

Objective 25. Encourage, where safe and feasible, waste water reclamation and use of reclaimed water for irrigation and other uses.

The EastLake Greens SPA Plan includes a reclaimed water irrigation system for the golf course and other major community landscaping. This system has been oversized to provide capacity for future development areas to the east where additional demand may be created. The EastLake project has been a pioneer in the use of reclaimed water for grading and other purposes.

Objective 27. Establish a growth management system to assure that private development is coordinated with the provision of adequate public facilities and services.

An essential element of the proposed project is the Public Facilities Financing Plan which sets forth the phasing and financing requirements for the extension and/or expansion of public facilities and services to serve the project. The existing Public Facilities and Financing Plan has been successfully used to regulate the rate of development in EastLake I versus the provision of public improvements.

1.5.2 Eastern Territories Area Plan

The following objectives are stated in the Eastern Territories Area Plan which is the community plan component of the General Plan which focuses on the project site and vicinity.

Objective 1. Direct new urban development in Eastern Territories to broad mesa tops which are generally located away from environmentally sensitive areas such as flood plains, canyons, and steeply sloped areas.

Objective 2. Require thorough environmental reviews of all proposed conversions of vacant or agricultural land to urban uses.

No designated environmentally sensitive areas are located on the project site. A comprehensive project EIR has been prepared in conjunction with the current application. A previous EIR was prepared for the EastLake Planned Community Master Plan (EIR 81-03). The analyses contained in these documents represents a very thorough evaluation of the proposed project consistent with this objective.

Objective 4. Create, for the planning area as a whole, a balanced community of residential, commercial, and industrial uses. To the extent that employment uses may be more difficult to establish, provide for additional designations of commercial and industrial land and encourage retention of vacant land for commercial and industrial uses.

The proposed project is the second major development phase of the EastLake Planned Community which will be a balanced community with residential, commercial, employment and recreational uses in a high quality environment. The overall plan for EastLake represents a smaller scale version of what is intended for the Eastern Territories as a whole. The EastLake Greens project will complete the major commercial and support uses area of the community and provide golf-oriented residential opportunities, a desirable life-style not currently available in the City.

Objective 5. Assure that all new developments are provided with acceptable levels of public services. Each development should include local public facilities required to serve the development and also contribute toward construction of city-wide facilities needed by the development.

As noted in response to Objective 27 of the Land Use Element, a Public Facilities Financing Plan (PFFP) is an integral component of the proposed project. The PFFP addresses all of the infrastructure and service requirements of the proposed project, including both on- and off-site facilities. The project's participation in the Development Impact Fees (DIF) program for city-wide improvements is included in the PFFP. The project will also be developed in a manner consistent with the "Thresholds" adopted by the City to maintain the quality of life for all residents. These service and facility criteria are expected to be at the core of the forthcoming Growth Management Element of the General Plan Update.

Objective 6. Encourage orderly and compact patterns of development, which will make maximum use of existing public facilities and avoid "leap frog" development. In particular, encourage development phasing which will substantially build out drainage and hydrologic basins with existing public service facilities before developing new basins.

The proposed project is the next logical step in the development of the EastLake Planned Community. In fact, the project site includes a portion of the EastLake I site which was zoned for development in 1982. The project site is contiguous to the developed portion of EastLake I and all public services and utilities are directly available.

1.6 Legal Significance

Adoption of the EastLake Greens SPA Plan and zoning regulations by the City Council will establish the official development policy of the City of Chula Vista for EastLake Greens. All future discretionary permits will need to be consistent with the EastLake Greens SPA Plan to be approved.

1.7 Interpreting the SPA Plan

The Plan is intended to be dynamic rather than a fixed and inflexible document. New communities require periodic adjustment and updating to reflect changes that inevitably occur over time. Many of the judgments and interpretations of this plan will involve responsible city officials; however, in the event of differences, the Chula Vista City Council shall be the final appeals body. The Plan will be periodically reviewed and modified when appropriate to meet changed conditions.

The SPA Plan provides guidance for future development at the subdivision and improvement plan level, and is the basic reference for determining permitted land uses, densities, total unit, and required public facilities. These are illustrated in the Site Utilization Plan, Exhibit 3, which is the key map for this SPA Plan.

The SPA Plan is not a guarantee that a certain dwelling unit yield will be achieved at the subdivision level. The maximum density as specified for individual parcels shall not be exceeded; however, actual dwelling unit yields for projects will be determined by the City Council based on field conditions, site plan and architectural review, and a number of external factors that influence the design and density of individual projects. Any transfer of units from one

development parcel to another shall be processed as an amendment to the Site Utilization Plan.

Even though the SPA Plan contains specific guidance for development, it is not intended to be used in a manner which predetermines the development solution for each and every parcel. It is intended to be used as a basic guide which reflects the City's intent for determining the intensity, design and desired character of use for the property.

Since the SPA Plan implements the Chula Vista General Plan, it is not necessary to refer to both the General Plan and the SPA Plan to determine what policies and standards are applicable to a parcel of land. The SPA Plan will provide the guidance to enable the City to make decisions on individual projects.

1.8 General Development Plan

With respect to detailed standards, the amended Planned Community Zoning Regulations, which are adopted as an integral companion to this SPA Plan, provide detailed development and use standards that are applicable to each parcel of land. The General Development Plan for the expanded EastLake I PC District is included as Exhibit 4. The area identified as EastLake Trails shall have a SPA Plan approved prior to development.

In order to promote flexibility in residential densities, the transfer of dwelling units from one residential category to another within the EastLake Trails SPA may be approved as a part of SPA Plan approval. Notwithstanding this provision, the clustering criteria of the General Plan Update must be maintained for the EastLake Greens and EastLake Trails combined.

EastLake Greens and EastLake Trails combined.

Transfers in density shall be based on evidence that the proposed transfer would substantially improve spatial or functional relationships, or would materially increase the quality of land use, circulation pattern or resource conservation. Should such a transfer of density be approved, the applicable statistics and the General Development Plan Map shall be revised as an administrative action without need for a formal plan amendment.

1.9 Public Facilities and Financing Plan and Development Agreement

Two important companions to the SPA Plan are the Public Facilities and Financing Plan and Development Agreement. The Public Facilities and Financing Plan provides the description of infrastructure needs such as sewer, water, road, storm drainage, schools, parks, fire station, libraries and transit facilities, plus a development

phasing schedule, estimated costs of public facilities and financing methods.

The Public Facilities and Financing Plan must be adopted by the City Council prior to the recording of any subdivision map within EastLake Greens to ensure that required public facilities will be provided by the developer concurrent with need.

The implementing actions covered by the Public Facilities and Financing Plan are:

- Use of Public Financing Mechanisms where applicable
- Construction of major streets and sewer, water and drainage facilities
- Internal subdivision improvements pursuant to the Subdivision Map Act
- Provision of schools, parks and other public facilities
- Maintenance of certain facilities such as private parks, open space areas and street medians.

In order to ensure that the responsibilities of the developer and the City are clearly understood, a Development Agreement will serve as a contract to essentially vest the EastLake Greens SPA Plan and EastLake I Expansion PC Zoning in return for assurance that the public facilities for EastLake Greens will be provided.

1.10 Environmental Impact Report

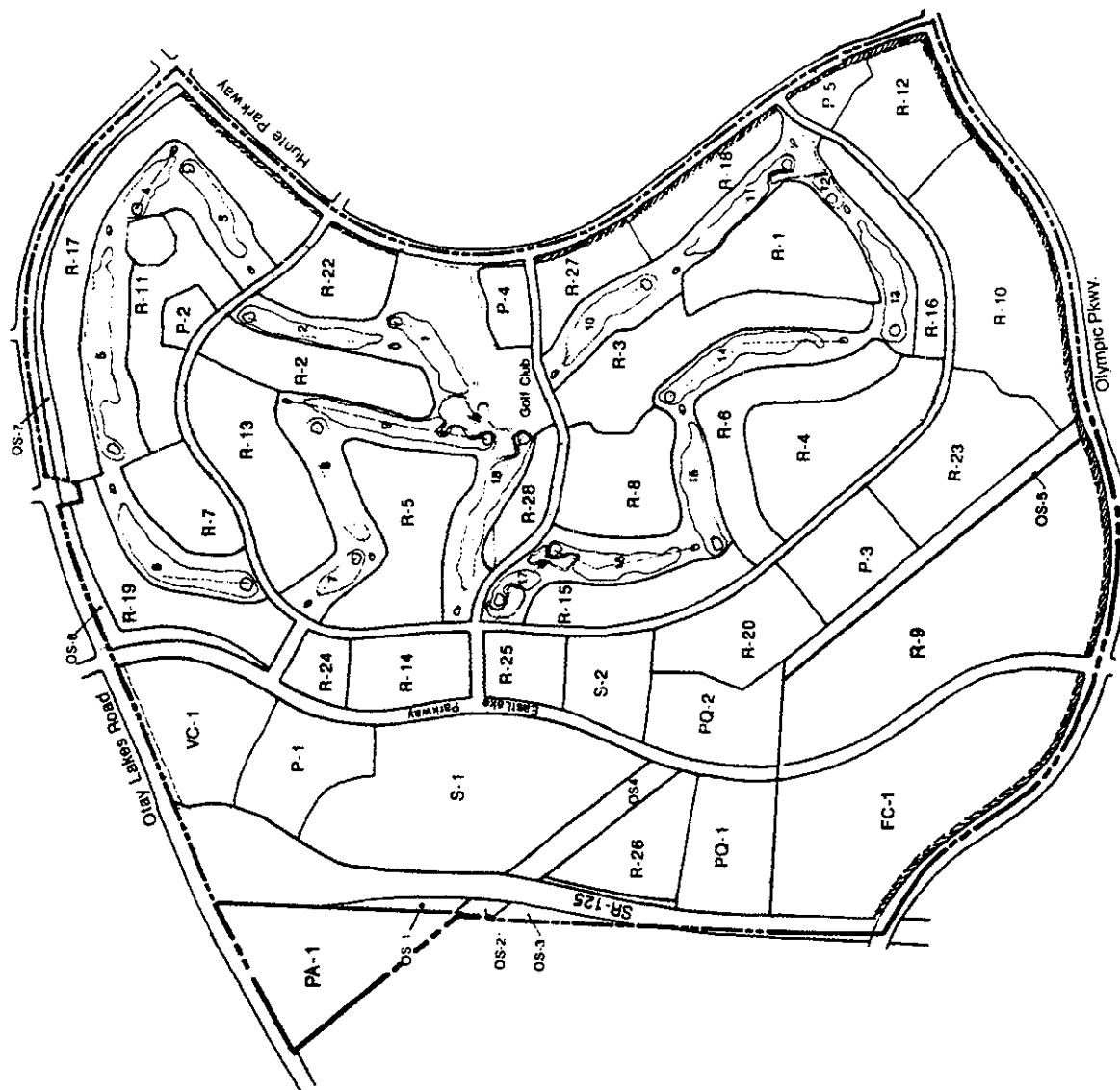
The Master Environmental Impact Report prepared for the EastLake General Plan Amendment in 1982 concluded that adverse environmental impacts were insignificant or could be mitigated with the exception of impacts in the areas of:

Agriculture
Air Quality
Growth Inducement

The City Council adopted CEQA findings (EIR 81-03) which included a statement of overriding considerations as required by the California Environmental Quality Act.

A Supplemental Environmental Impact Report has been prepared for the EastLake Greens SPA Plan, General Plan Amendment, PC District Amendment, and annexation and will be considered by the City Council in accordance with applicable law.

Site Utilization Plan



EASTLAKE GREENS
A Planned Community in the City of Chula Vista

Parcel No.	Attached (A)* Detached (D)**	Density Range	Acres	Target Density	Target Units
R-1	D	0-5	19.7	2.7	54
R-2	D	0-5	14.7	2.7	40
R-3	D	0-5	21.8	4.5	99
R-4	D	0-5	24.0	4.8	114
R-5	D	0-5	23.0	4.8	105
R-6	D	5-15	17.4	4.4	76
R-7	D	5-15	10.7	5.6	60
R-8	D	5-15	17.5	5.5	96
R-9	A/D	5-15	65.0	11.5	750
R-10	D	5-15	34.6	7.1	246
R-11	D	5-15	14.6	6.0	87
R-12	D	5-15	18.2	5.1	92
R-13	D	5-15	22.6	6.3	142
R-14	D	5-15	11.4	7.5	86
R-15	D	5-15	11.9	5.4	64
R-16	A/D	5-15	10.9	10.0	109
R-17	A/D	5-15	28.6	7.5	214
R-18	A/D	5-15	9.9	5.5	54
R-19	A/D	5-15	14.4	11.0	158
R-20	A/D	5-15	14.3	7.6	105
R-21	A/D	5-15	11.7	11.9	139
R-22	A/D	5-15	20.3	3.5	72
R-23	A/D	5-15	5.1	9.4	48
R-24	A/D	5-15	7.9	9.9	78
R-25	A/D	15-25	15.3	17.0	260
R-26	D	0-5	9.2	4.3	40
R-27	A/D	5-15	6.1	8.4	61
R-28	A/D	5-15	480.8	7.2 avg.	3443
Sub-total Residential					
NON-RESIDENTIAL					
VC-1	Village Center		19.6		
FC-1	Freeway Commercial		50.7		
PA-1	Prof. & Admin.		24.7		
PQ-1	Public/Quasi-Public		10.3		
PQ-2	Public/Quasi-Public		15.8		
S-1	High School		49.2		
S-2	Elementary School		10.0		
P-1	Community Park		15.1		
P-2	Neighborhood Park		3.0		
P-3	Neighborhood Park		11.8		
P-4	Neighborhood Park		4.5		
P-5	Neighborhood Park		3.0		
OS-1	Open Space		2.9		
OS-2	Open Space		1.1		
OS-3	Open Space		1.9		
OS-4	Open Space		7.8		
OS-5	Open Space		6.5		
OS-6	Open Space		4.9		
OS-7	Open Space		5.9		
	Golf Course		180.4		
	Major Circulation		105.0		
Sub-total Non-Residential			994.9	3.5	3443
PROJECT TOTAL			514.1		
Scenic Buffer					

* A/D symbolizes that certain detached housing is permitted.
Note: Refer to tract maps for precise acreages and parcel boundaries.

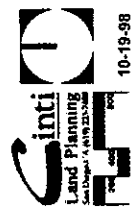
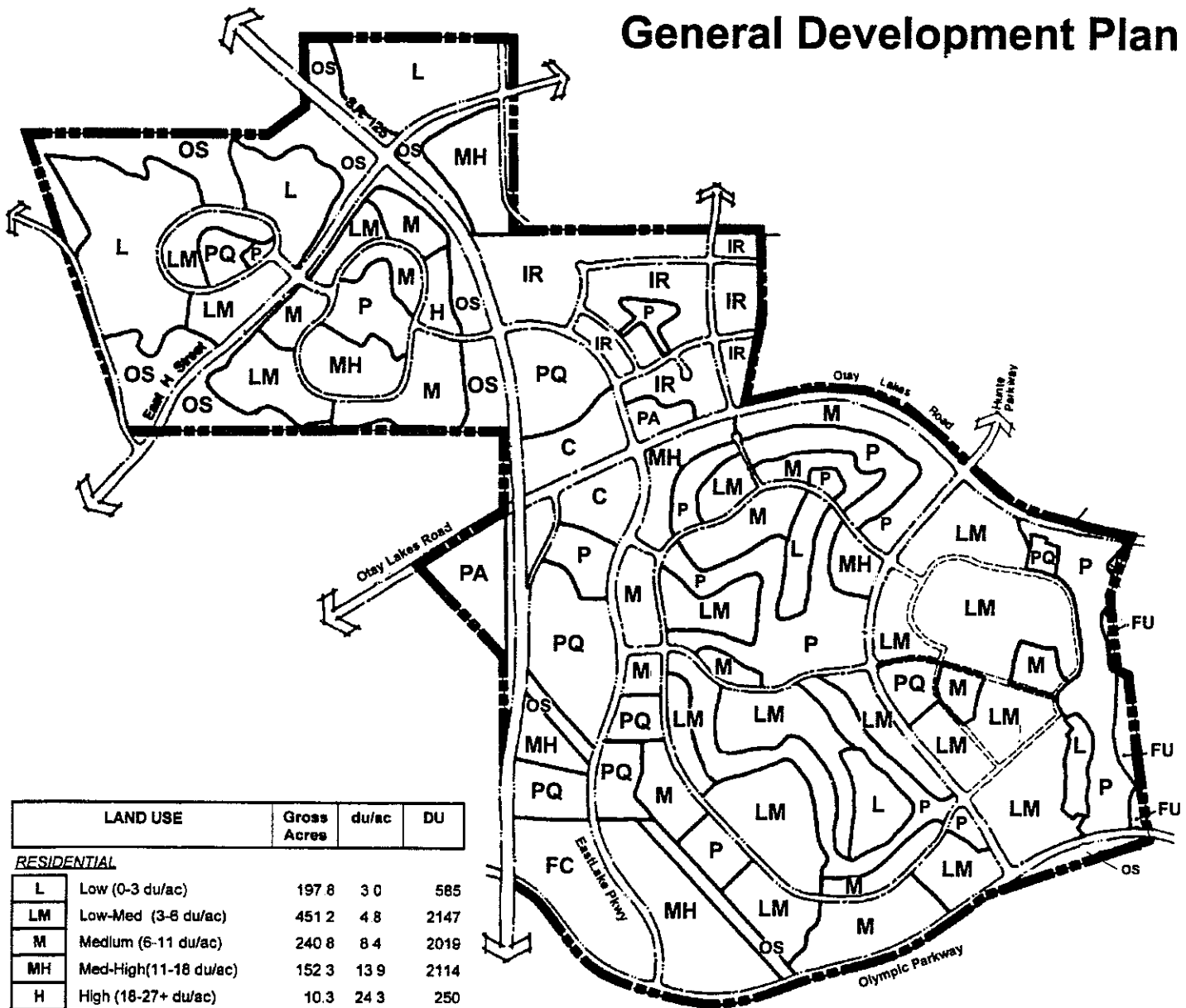


Exhibit 3

10-19-98

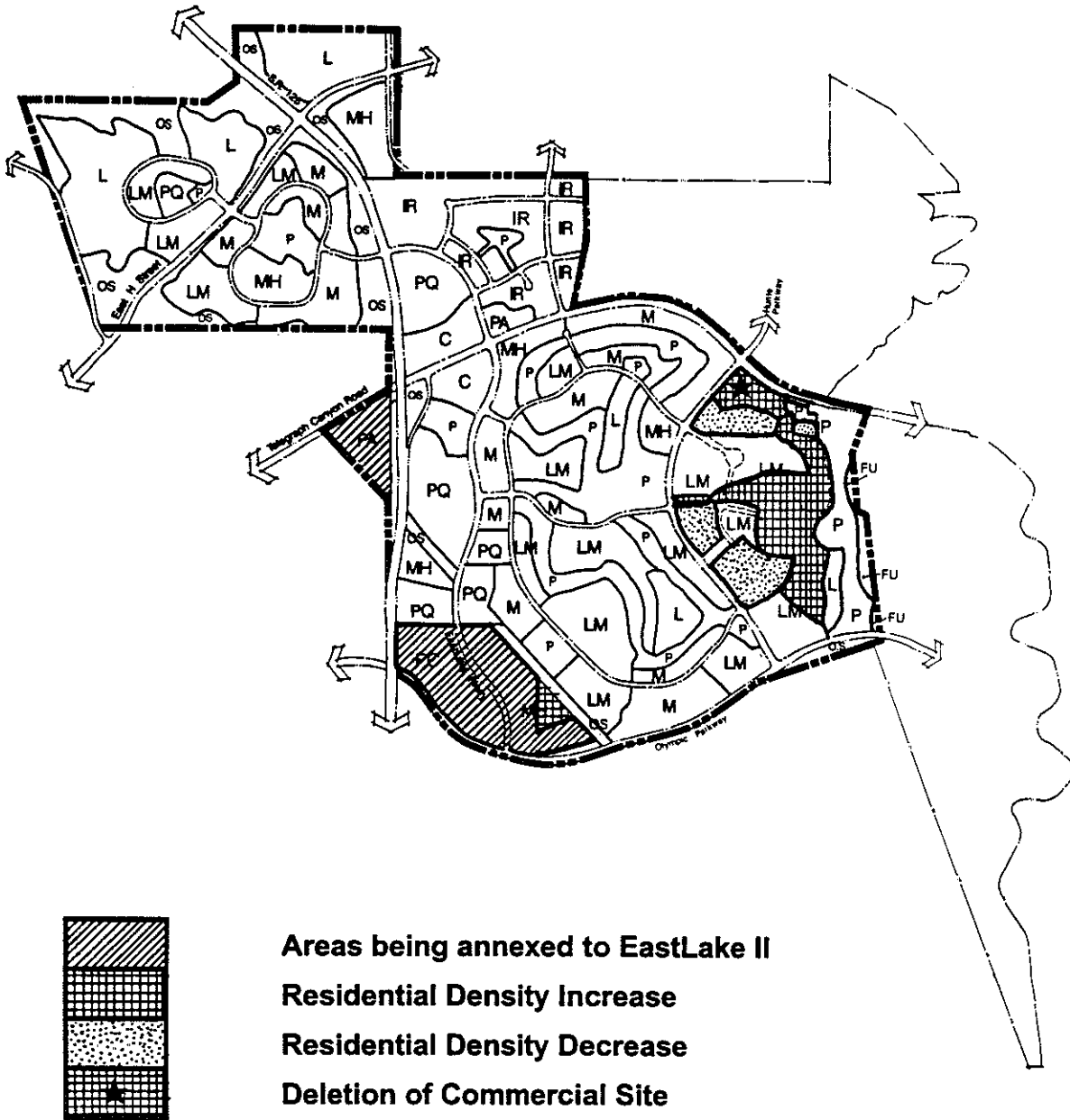
General Development Plan



LAND USE		Gross Acres	du/ac	DU
RESIDENTIAL				
L	Low (0-3 du/ac)	197.8	3.0	585
LM	Low-Med (3-6 du/ac)	451.2	4.8	2147
M	Medium (6-11 du/ac)	240.8	8.4	2019
MH	Med-High (11-18 du/ac)	152.3	13.9	2114
H	High (18-27+ du/ac)	10.3	24.3	250
Sub-total Residential		1052.4	6.8	7115
NON-RESIDENTIAL				
C	Retail Commercial	38.9		
FC	Freeway Comm.	50.7		
PA	Professional & Admin	30.7		
IR	Res & Ltd Manufacturing	127.8		
OS	Open Space	230.6		
PQ	Public/Quasi-Public*	147.7		
P	Parks & Recreation	282.2		
	Major Circulation	217.9		
FU	Future Urban	7.7		
Sub-total Non-Residential		1132.2		

* Includes CPF Sites. Refer to Land Use Districts map for locations.
Note: Circulation indicated by dashed lines not included in Major Circulation acres.

1998 Amendment Key



1.11 Implementation of the SPA Plan

In terms of tentative subdivision map and site plan application processing, the EastLake Greens SPA Plan provides a way to substantially reduce processing time. In essence, many issues and problems have been resolved by the SPA Plan prior to approval of specific development proposals. The project review time will be shortened because projects that conform to the SPA Plan and require no additional environmental information will be easier to review and process.

There are several major components involving local public agencies that will implement the SPA Plan. The Public Facilities and Financing Plan contains a Phasing Plan to guide local officials in establishing programs and projects to implement the SPA Plan.

The subdivision arrangement indicated on the SPA Plan exhibits is conceptual. Modifications may occur as a part of the tentative tract map process. Adjustments to the SPA Plan Exhibits and text, to reflect modifications based on an approved tentative tract map, may be accomplished as an administrative manner.

CHAPTER TWO - SPA PLAN

2.1 Community Structure

In order to fully understand the EastLake Greens plan, it must be remembered that the project is part of a larger planned community encompassing approximately 3,219 acres. The first phase, EastLake I, consists of approximately forty percent of the total acreage. This second phase, EastLake Greens SPA, will add approximately 432 acres to the area approved for development. The established EastLake I SPA Plan and the overall structure of the future community has influenced the design and planning of EastLake Greens. It is important to keep an overview of the basic concept of the EastLake Community in mind throughout the planning process.

The EastLake Planned Community is intended to be a large-scale multi-use planned development having a unique sub-community identity as an integral component within the City of Chula Vista. The community is planned to provide a significant number of employment and commercial opportunities to encourage people to live, work, shop and play within the community. In order to achieve this goal, the plan provides an employment park, village center commercial sites, a broad range of housing types for people of all ages and incomes, a substantial amount of open space and recreational facilities, a complete transportation system, and a variety of civic and public facilities.

Community level open space with employment, commercial and institutional uses are integrated to form an "activity spine" within the plan. The function of the activity spine is to group community level facilities and services along a major transportation corridor in close proximity to residential neighborhoods. EastLake Parkway is the spine which traverses the entire EastLake I planning area and extends into EastLake Greens. Along this spine are a combination of public and private facilities including the employment park, village center commercial uses, community park, high school, civic uses and other facilities. The Activity Corridor incorporates substantial open space and visual amenity areas to provide a pleasant visual environment for residents, workers and visitors within the community.

2.2 Neighborhoods

The land plan approved for EastLake I represents integrated land planning and transportation concepts. The major transportation

corridor (SR-125) serves as a key transportation corridor for the entire project. All high activity uses (i.e., commercial, office, civic, and employment park) are located along the SR-125 corridor. The EastLake Village enter is located at the principal intersection (SR-125 and Telegraph Canyon Road) of the community with linkages to the EastLake Hills and EastLake Shores residential neighborhoods and the EastLake Business Center. The plan for EastLake Greens extends these concepts south of Otay Lakes Road. Additional EastLake Village Center acreage is provided, together with school, park, freeway commercial and medium-high density residential uses along the extension of EastLake Parkway. The golf oriented residential products will complement the housing types provided in the residential neighborhoods of EastLake I.

2.3 EastLake Greens Neighborhood

The structure of the EastLake Greens neighborhood is illustrated in Exhibit 5 (the EastLake Trails neighborhood is also included to establish context). The Activity Corridor is evident along the western border, while the Salt Creek open space corridor is located at the eastern edge. The "Community Trail" provides a landscape/open space connection through both neighborhoods, connecting the eastern and western edges. It is extended from the north where it serves as a connection between the neighborhoods of EastLake I. The structure of the EastLake Greens neighborhood places single family uses at the core, surrounded by a 18 hole golf course. Clustered housing and nodes of high density products are distributed around the perimeter of the neighborhood. The low density and golf course/open space core establishes the desired "country club" character for the neighborhood while the perimeter development provides a wider range of housing types and prices than would typically be associated with such an environment. Two high density parcels are located near the club house to provide luxury housing for those who wish to focus their social and recreational activities at the country club.

At the edges of development, single family homes are placed at the southern boundary, adjacent to Otay Ranch, while cluster housing is located adjacent to Telegraph Canyon Road. Estate homes are proposed at the development edge adjoining open space along Salt Creek to provide an appropriate interface.

The EastLake Greens neighborhood is bounded by Otay Lakes Road on the north, EastLake Parkway on the west, Hunte Parkway on the east, and Olympic Parkway on the south. Access is taken from both EastLake Parkway and Hunte Parkway, with two entrances off of EastLake Parkway and three off of Hunte Parkway. The neighborhood is proposed to include a variety of housing products, ranging from conventional single family homes to stacked 11 apartment-type"

units. A maximum of 3443 dwelling units is proposed for the 853 acre site (average density 3.5 du/ac). An 18 hole golf course winds through the residential areas, providing a major visual and recreational amenity. A clubhouse facility and driving range are also proposed. In addition, three neighborhood park parcels are shown along the interior residential collectors to provide additional opportunities.

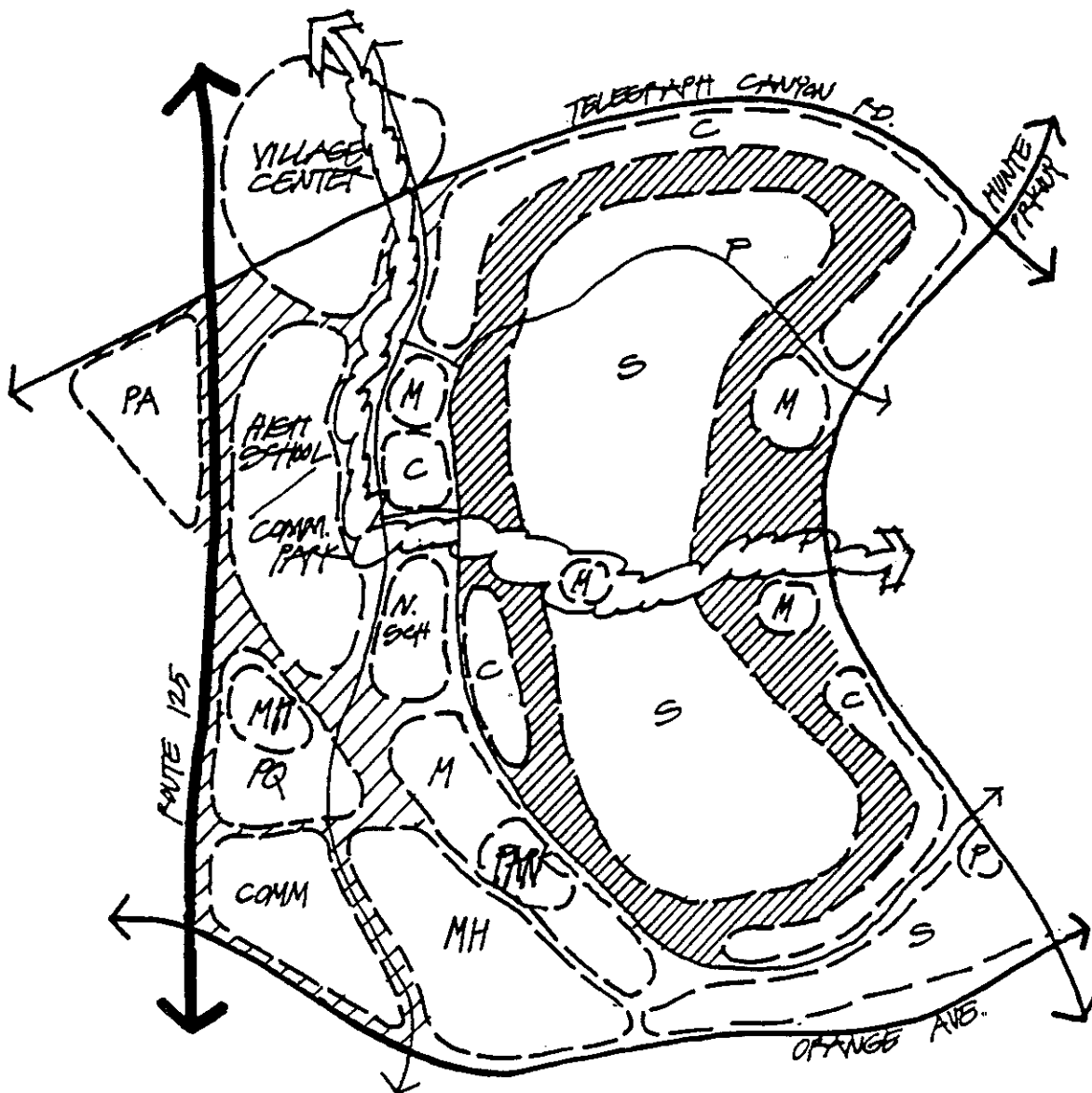
The plan also includes an elementary school site and nearby park within the residential neighborhood, a high school and community park site, freeway commercial and medium-high density residential within the Activity Corridor. A professional and administrative land use is provided west of the SR-125 interchange at Otay Lakes Road. The land use statistics are summarized in Table 1 following.

TABLE 1
EastLake Greens SPA

Statistical Summary of Land Uses

<u>Land Use</u>	<u>Acres</u>
Residential	473.9
Freeway Commercial	50.7
Prof. & Administrative	24.7
Village Center	19.6
Public/Quasi-Public	26.1
Schools	59.2
Parks	37.4
Golf Course	160.4
Open Space	37.9
Major Circulation	<u>105.0</u>
TOTAL SITE	994.9

Community Structure



GOLF COURSE



PUBLIC PARK



PRIVATE PARK



MULTI-FAMILY NODE



CLUSTER HOUSING EDGE



SINGLE FAMILY CORE



ESTATE HOUSING EDGE

EASTLAKE

A PLANNED COMMUNITY BY EASTLAKE DEVELOPMENT CO



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2.4 Affordable Housing Policy

The Chula Vista Housing Element contains the following policy which is applicable to EastLake Greens:

The City of Chula Vista expects every developer to address the problem of housing low and moderate income families and individuals. Where proposed projects exceed fifty dwelling units, the municipality expects the involved developers to explore methods to devote a minimum of ten percent of said units to low and moderate income housing. This program calls for the developer's exploration and investigation of Federal and State subsidy programs and other economically feasible means of reducing the cost of housing.

The City of Chula Vista shall officially encourage residential builders to provide a variety of housing types, and "balanced communities".

Affordable Housing Programs adopted prior to 1998 include: Resolution No. 17982, adopting the EastLake Affordable Housing Program; the EastLake Affordable Housing Agreement; and, The Program for the Provision of Affordable Housing within EastLake Planned Community. This Appendix should be kept updated as an Administrative matter, without formal SPA Plan amendment, if and when there are any changes to these agreements/documents.

These prior adopted programs/documents will be incorporated into an overall comprehensive Affordable Housing Program. Upon adoption, this program will be in Chapter II, Section II.6 in the EastLake Trails SPA Plan for the program.

The Land Swap parcel residential component requires 75 affordable housing units (37 low and 35 moderate income housing units). The affordable housing requirements, phasing and implementation strategy have been incorporated in a comprehensive affordable housing program that addresses all remaining residential neighborhoods in the overall EastLake Planned community (the Trails, Woods, and Vistas neighborhood). For more specific information about the affordable housing program for the "Land Swap" parcels, please see Chapter II.5 in Trails SPA.

CHAPTER THREE - CIRCULATION

3.1 Introduction

The circulation component of the EastLake Greens SPA Plan is based on a comprehensive sub-regional traffic study which determined the appropriate size and phasing of circulation improvements.

3.2 Sub-Regional Network

Primary access to the project will be provided by Telegraph Canyon Road and EastLake Parkway or Hunte Parkway. Regional access is provided by I-805, located west of the site. The future construction of SR 125 will provide additional north-south access for future traffic volumes.

Currently, Telegraph Canyon Road and EastLake Parkway exist, having been constructed in conjunction with EastLake I. Telegraph Canyon Road (Otay Lakes Road) extends further to the east, past the Otay Lakes, as a two lane road. The initial construction of Hunte Parkway and Orange Avenue, within the project site, will be phased with development of this SPA.

The traffic generated by the proposed development within the SPA has been calculated using standard traffic generation rates. These volumes have been distributed and added to projected future volumes due to other development. The proposed circulation system has been engineered to accommodate these total future volumes.

3.2.1 Route 125

In order to provide traffic capacity for the complete buildout of EastLake, a major street within the future corridor of State Route 125 will need to be completed. This street may initially be built as a two to four lane divided road from the EastLake boundary to State Route 54, and later widened to four to eight lanes as a freeway.

An effort has been initiated to have CALTRANS undertake a specific route location study for SR 125 from SR 54 to the Second Border Crossing. Ultimately, it is anticipated that SR 125 may be constructed to freeway standards if growth in the area so warrants. Accordingly, any initial construction of a major street within the Chula Vista planning area should be built to State Standards for a freeway with respect to horizontal curve radii, grades and rights-of-way. At grade intersections with Telegraph Canyon Road, East "H" Street, EastLake Parkway and Orange Avenue will be built initially; at some future time, grade

separations will be necessary when the road is upgraded to a freeway. Intersections within EastLake Greens will be designed to accommodate future grade separations. Sufficient space has been reserved within the SR-125 Right-of-way to accommodate a "cloverleaf" intersection at Telegraph Canyon Road.

Initial right-of-way reserve for future SR-125 within EastLake Greens is shown in the Street Sections, also on Exhibit 6, and can accommodate a possible future freeway.

3.3 Community Network

The proposed circulation facilities for the EastLake Greens SPA are depicted in Exhibit 6. Sections, showing the number of lanes and geometrics of each street category, are also provided in the Exhibit.

3.4 Private Street

Some parcels within the residential neighborhood of EastLake Greens (e.g., Parcel R-2) may be developed as private communities with gate guarded access to limit entrance to residents and their guests only. In such a case, the streets within the parcel will be private. However, they are to be built to meet public street standards for paved section and other engineering criteria.

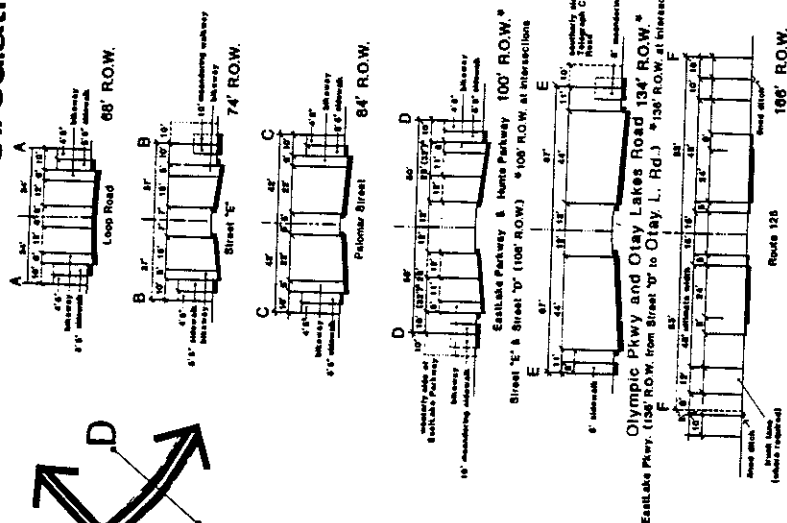
3.5 Phasing of Road Improvements

Phasing of community development with provision of adequate road capacity and access improvements are fully described in the Public Facilities and Financing Plan. These improvements have been phased and designed to maintain an adequate level of service throughout the circulation system serving EastLake Greens.

3.6 Transit Planning Principles

The following principles should be followed in determining the location of transit stops along planned transit routes in the community and in designing the pedestrian system:

1. Where there are numerous major pedestrian generators, access to stops for transit vehicles moving in both directions would be facilitated by locating transit stops near striped intersections.
2. Transit stops should be located and walkways designed to provide access as directly as possible without impacting residential privacy.
3. At intersection points of two or more transit routes, stops should be located to minimize walking distance between transfer stops.



Note: Refer to Trails Plan for location of walkways. Final street standards to be established by Tract Maps.

4. Transit vehicle conflicts with automobile traffic can be mitigated by locating bus turnouts at the far side of intersections in order to permit right-turning vehicles to continue movement.
5. Transit stops should be provided with adequate walkway lighting and designed shelters.
6. Walkway ramps should be provided at transit stops to ensure accessibility to the handicapped.

3.7 Bicycle Routes

A number of bike lanes are planned for internal circulation within EastLake. The internal bicycle system will connect into exiting and planned regional bike lanes on Telegraph Canyon Road. The proposed bicycle route system is shown in Exhibit 8, and further described below:

- Class II Bike Lane:

A bike lane is an on-street facility designated by a 6-inch solid white strips to the right hand side of the road. Bike lanes are designed for one-way travel in the direction of traffic flow and are typically established on both sides of the street except through intersections.

All bike lanes for EastLake should be designed and constructed in accordance with CALTRANS' "Planning and Design Criteria for Bikeways in California" to comply with State standards.

3.8 Palomar Road

Property currently being planned as part of the Otay Ranch Project west of SR-125 (west of EastLake Greens) may require the extension of Palomar Road to connect to EastLake Parkway between Parcels R-26 and PQ-1. Area should be reserved for this Palomar Road extension from EastLake Parkway to SR-125.

CHAPTER FOUR - PARKS, RECREATION AND OPEN SPACE

4.1 Introduction

The EastLake Greens SPA Plan provides a well-balanced and integrated system of parks and recreational opportunities. The golf course and related facilities will be privately owned. Three of the neighborhood parks are proposed to be privately owned and maintained by a Master Community Association. The community parks to be located adjacent to the high school, will be dedicated to the City and maintained by the City. The park south of the elementary school site will be similarly dedicated and maintained by the City.

A total of 191.2 acres of recreation oriented land is provided, not including school play fields. In addition, 26.6 acres of open space, primarily in slope areas and utility easements, are designated.

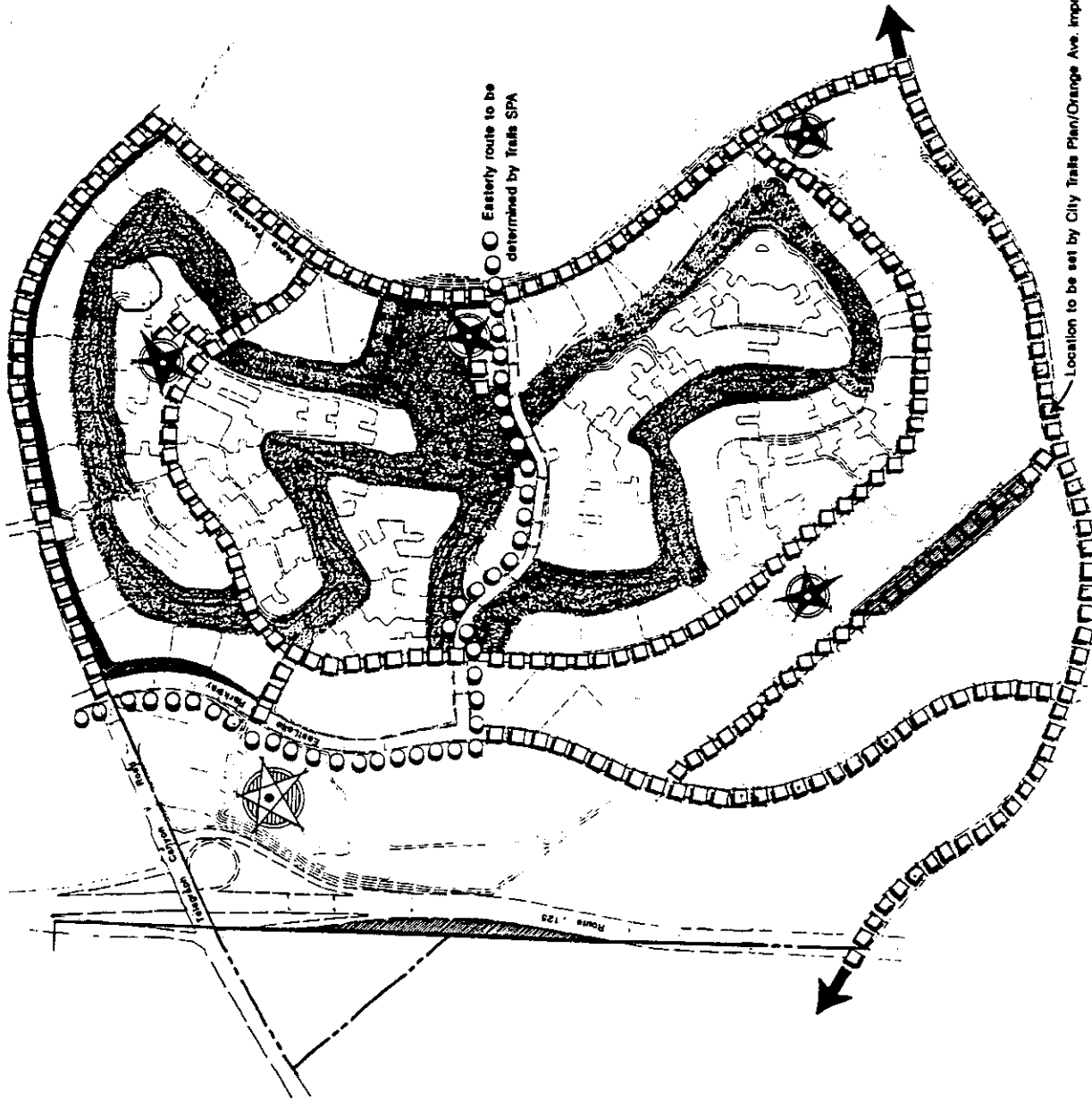
4.2 Open Space








While generally accepted standards have been established for the provision of acreage and the function of a hierarchy of parks, open space is more difficult to quantify. Usually the need, amount and location of open space is determined by the natural environmental conditions of the land and facility related needs such as retention basins, future road rights-of-way, and buffer space between unrelated land uses, etc. Steep slopes and sloping lands with unstable geologic conditions are obvious natural candidates for open space, as are noise buffer areas along major traffic ways.

Open space areas within EastLake Greens are designated for buffer areas along SR-125, Telegraph Canyon Road and Orange Avenue. The water line/electrical transmission line easement crossing the southwest portion of the site is also placed in the open space land use category (see Exhibit 7).

Open space lands indicated as preserved on the EastLake Greens Site Utilization Plan will be preserved through the dedication of open space easements and/or lots to the City or other appropriate agency, or to a Master Community Association. Uses will be strictly controlled through zoning regulations (see Open Space Districts in the EastLake I PC District).

Parks/ Open Space



	Community Park	ACRES
	Neighborhood Parks	15.1
	Golf Course	21.5
	Open Space	160.4
	TOTAL	30.8
	Community Trail (Thematic Corridor)	227.8
	Pedestrian Walks	

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4.3 Trails

The trails system proposed for the EastLake Greens SPA is depicted in Exhibit 8, Trails Plan. The Community Trail provides a connection between all the major focal points within the EastLake Community including the residential neighborhoods in EastLake I, EastLake Greens, EastLake Village Center, the high school and community park, and Country Club. It extends north into EastLake I and is poised to extend east into the next development area. Pedestrian walks along vehicle circulation routes provide an alternative circulation mode within the EastLake Greens neighborhood.

The trails system depicted in Exhibit 8 provides the link between residential areas and major activity centers such as parks, schools, shopping areas and work places through a network of pleasant and safe off-street pathways. On-street bike paths are also shown in the Exhibit.

4.4 Golf Course

An 18-hole golf course and clubhouse are planned as the major amenities and Neighborhood Center for EastLake Greens. The course winds throughout the residential neighborhood providing visual an open space amenities to many residential parcels and to those who travel through the neighborhood.

The use of reclaimed water provided by the Otay Municipal Water District for irrigation of the golf course landscaping will permit heavy landscaping while also conserving water resources for domestic uses. The use of reclaimed water will be subject to the regulations of the Regional Water Quality Control Board and Health Department.

A conceptual plan for the Country Club facility is presented in Exhibit 9. The golf course and country club are proposed to be privately owned and maintained.

4.5 Community Park

The Community Park was included in the EastLake I SPA Plan at a proposed size of 14.9 acres. It is now shown as a 15.1 acre site (Parcel P-1). The park is intended to serve the local community and provide recreational services for eastern Chula Vista residents. The community park has been located adjacent to the high school within the EastLake Greens neighborhood to provide the opportunity for joint maintenance by the City and the Sweetwater Union High School District due to combined use of park and high school facilities.

IV-4



Note: All trails to be coordinated with the Planning Dept/Perks & Rec. Dept.

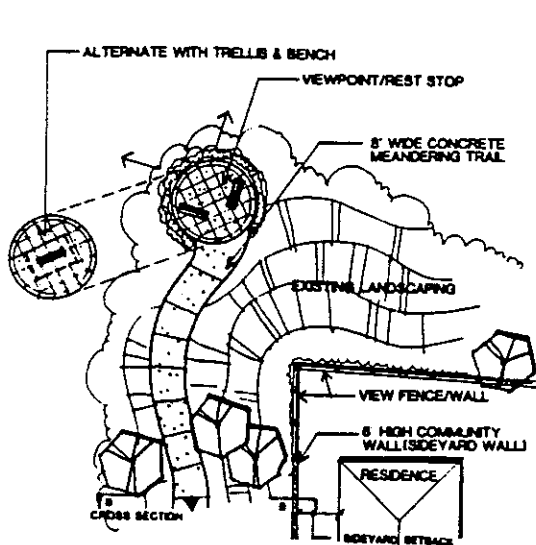
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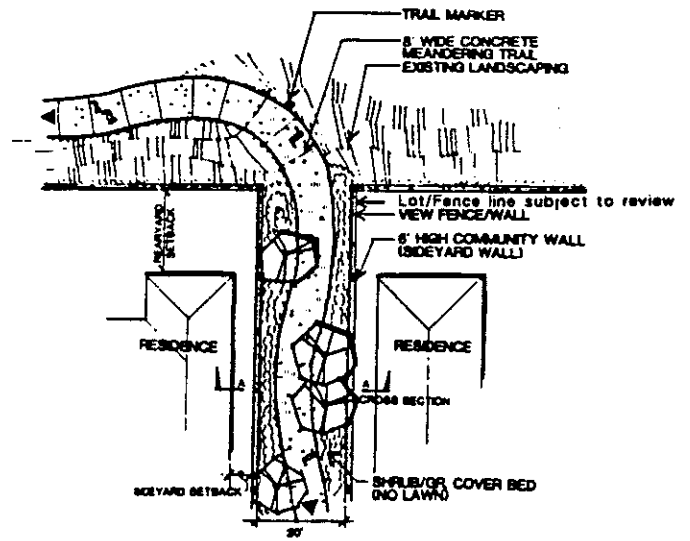
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Location to be set by City Trails Plan/Orange Ave. Improvement plans

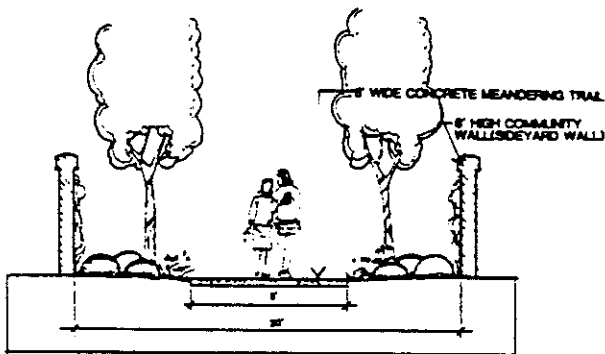
Golf Course Viewpoint/Rest Stop



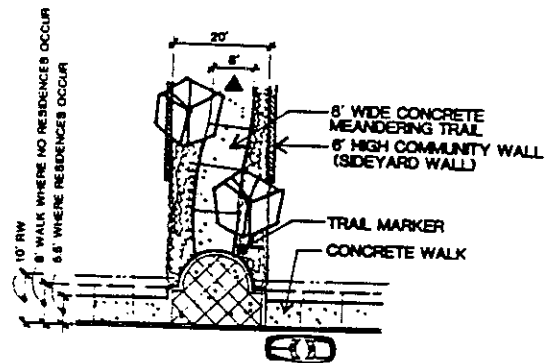
Typical Golf Course Viewpoint/Rest Stop



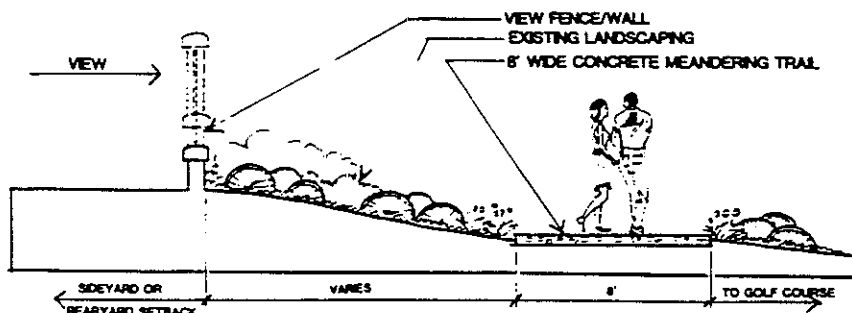
Trail Entering Golf Course



Cross Section A-A

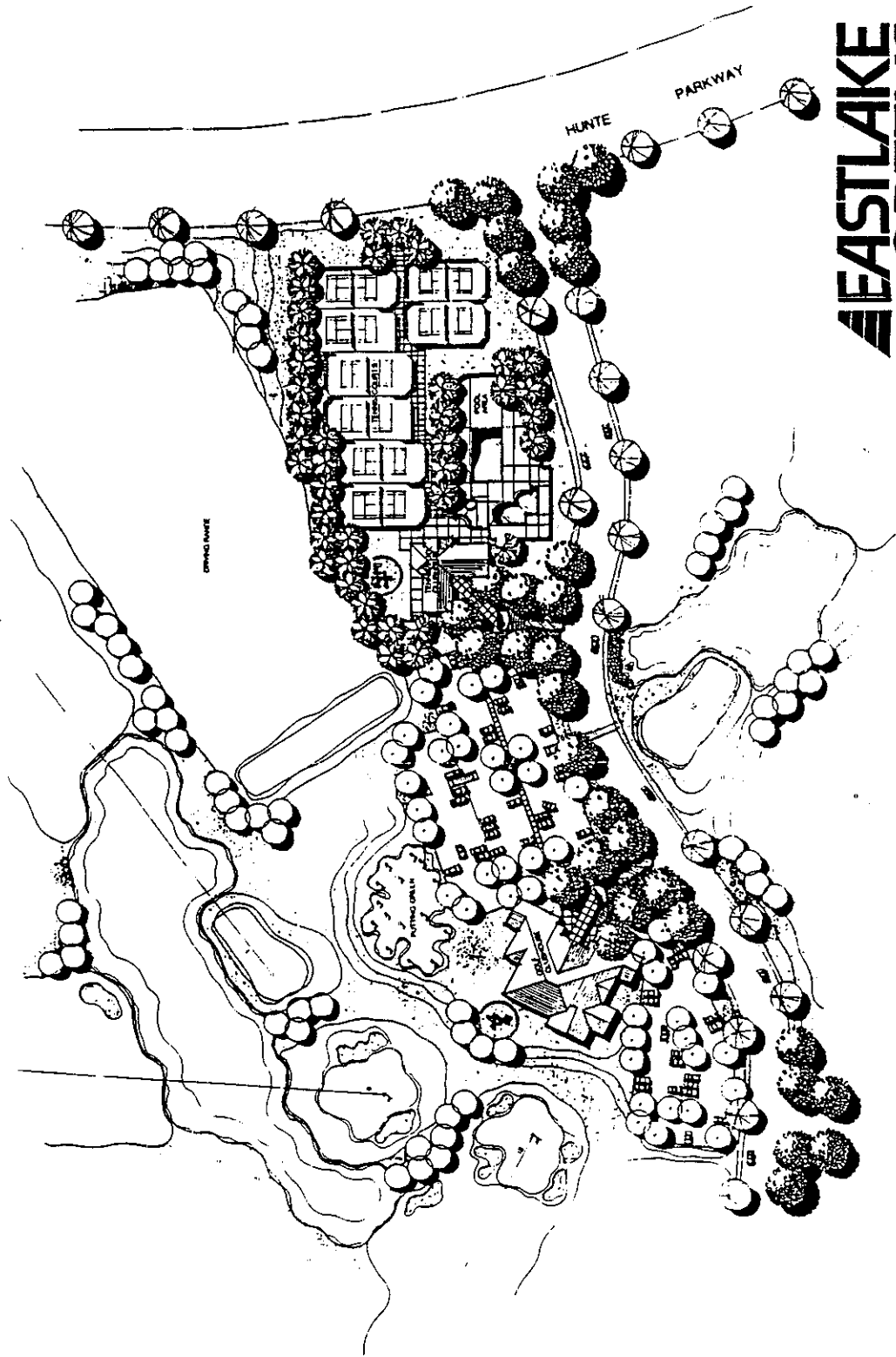


Trail at Public Street



Cross Section B-B

Country Club Concept



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Exhibit 9

City of Chula Vista
3/1/89

The community park is intended to provide facilities to accommodate organized group field sports, picnicking and other active recreational activities. The location of the park adjacent to the high school will permit joint off-street parking as well as field areas for high school physical education programs.

4.6 Neighborhood Park Sites

Four Neighborhood Parks are shown within the EastLake Greens residential neighborhood (Parcels P-2 through P-5). Three are located along the residential collector streets while one is located south of the elementary school site in the Activity Corridor, adjacent to EastLake Parkway. The three internal parks are proposed for private ownership and use, while that in the Activity Corridor will be publicly owned and maintained. The private parks are intended to provide additional recreational opportunities for residents, independent of the golf course and country club facilities.

4.7 Public Park Compliance

New development is required to provide public parkland, improved to City standards, and dedicated to the City, based on established standards. The dedication requirements are specified in Section 17.10.040 of the Chula Vista Municipal Code. The dedication requirement for EastLake Greens is shown in Table 2.

The table indicates that the project will provide park land in excess of that required. In addition to the provision of park land, the ordinance specifies a standard level of improvement to be provided. Improvements provided by the developer which exceed this standard will be credited to the project. Excess land or improvements provided may be credited as land, improvement cost, or any combination thereof, using the provisions of the ordinance to determine equivalence.

4.8 Park and Open Space Implementation

All of the open space, private and public parks will be controlled through select open space easements and/or dedication to the City. Maintenance of the public community park will be provided by the City. Access controls and maintenance of the golf course and club house facilities will be the responsibility of the operator and independent of the homeowners association. Maintenance of private parks and open space areas will be provided by property owners through homeowner associations or similar mechanisms. Open Space and/or Landscape maintenance Districts may be established to ensure proper management and operation of public right-of-way improvements.

TABLE 2

EastLake Greens
Parkland Dedication Standards

<u>DWELLING TYPE</u>	<u>PARKLAND/DU</u>	<u>DU/PARK ACRE</u>
Single Family	423 sf/du	103 du/ac
Attached/PUD	366 sf/du	119 du/ac
Duplexes	325 sf/du	134 du/ac
Multiple-family	288 sf/du	151 du/ac

Based upon the parkland dedication standards, the following requirements will apply to EastLake Greens SPA:

<u>No. of DU</u>	<u>Type of Unit</u>	<u>Park Area/DU</u>	<u>Total Park Ac.</u>
1550	Single Family	423 sf/du	15.1
773	Attached/PUD*	366 sf/du	6.5
110	Duplex	325 sf/du	0.8
<u>1010</u>	Multi-family	288 sf/du	<u>6.7</u>
3443 du			29.1

*Assumed "type of unit" for Attached/PUD includes SFD Condos Actual Parkland required for SFD Condos may vary from the above and will be determined at the Design Review and/or tentative map processing stage.

<u>Parcel</u>	<u>Park Type</u>	<u>Acres</u>	<u>Projected Excess/Deficit % Credit*</u>	<u>Acres</u>
P-1	Community Park	15.1	85.4%	12.9
P-2	Neighborhood Park	3.2	50%	1.6
P-3	Neighborhood Park	11.8	85%	10.0
P-4	Neighborhood Park	3.7	50%	1.9
P-5	Neighborhood Park	3.0	50%	1.5
	Golf Course/Public Trails	1.1	100%	<u>1.1</u>
	TOTAL CREDIT			29.0

Projected Park Excess/Deficit -0.1*

*Actual Park excess/deficit will be based on units developed and the Final Park Plans to be approved by the Director of Parks & Recreation. The amount of excess park credit is only a projection. The actual amount may be higher or lower depending on the actual units constructed and the final park boundaries.

Private open space areas and slopes within "common interest" residential projects will be designated common areas and maintained by homeowners' associations. For detached residential projects, major open space slopes will be a single lot or lots, with open space easements protecting the slopes from development.

CHAPTER FIVE - PUBLIC FACILITIES

5.1 Introduction

The comprehensive plan for public facilities is a distinguishing feature of the EastLake Greens SPA Plan. This portion of the plan outlines the necessary public facilities to enable the community to function properly. The companion Public Facilities and Financing Plan for EastLake Greens describes the "backbone" facilities in more detail and assigns the responsibility for financing all required facilities.

Facility needs and locational requirements have been identified and capacities have been determined based upon projected land uses and their distribution.

5.2 Roads

A comprehensive plan of streets and highways to provide vehicular access into and within EastLake is described in Chapter Three. The Public Facilities Financing Plan details their phasing and financing.

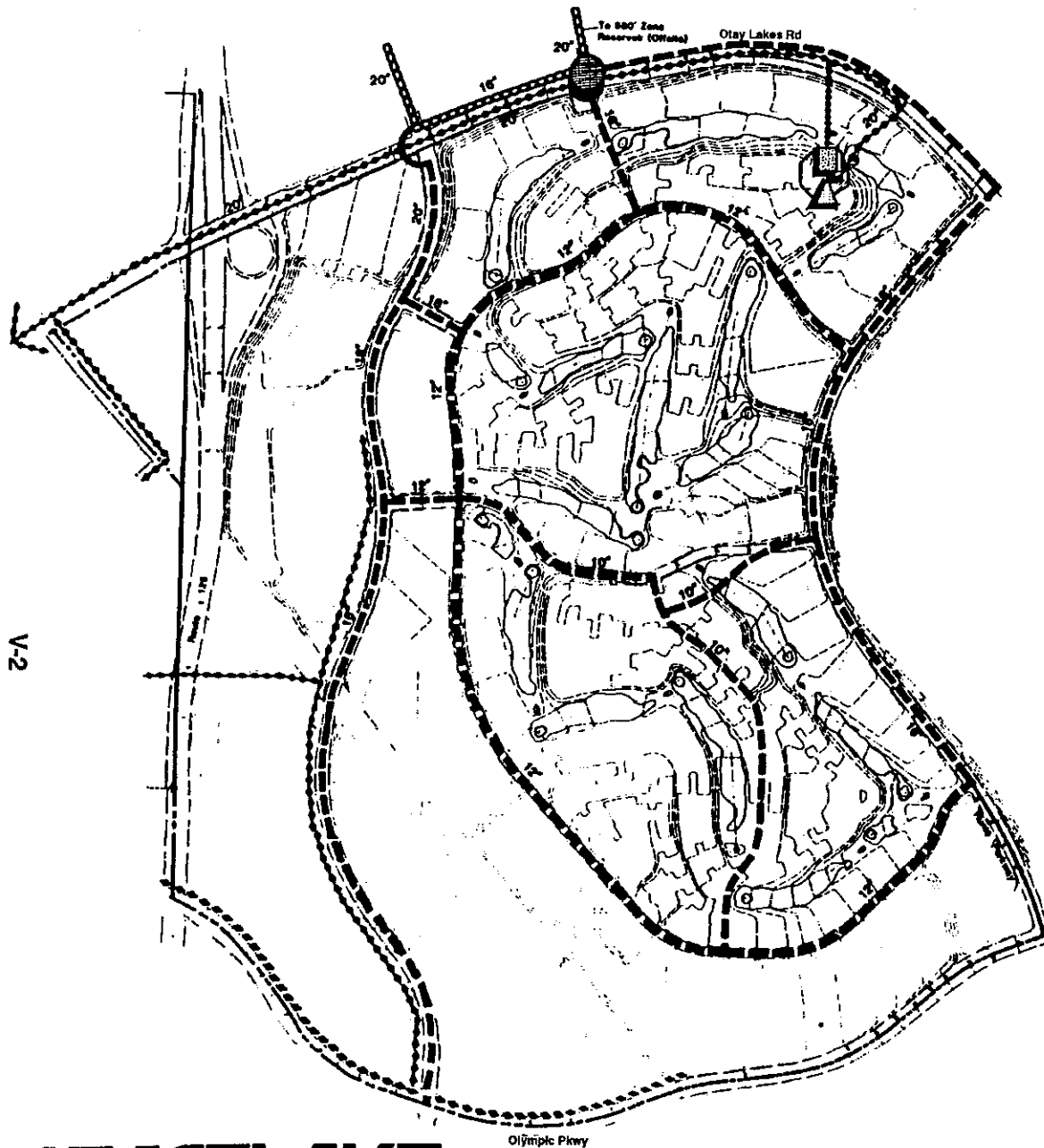
5.3 Domestic Water Supply

EastLake is located within the boundaries of the Otay Water District (OWD), which is responsible for providing local water service. Otay is a member of the County Water Authority and the Metropolitan Water District of Southern California.

The ultimate average annual domestic water demand for EastLake Greens SPA is estimated to be 1.92 mgd, as calculated in Table 3. The golf course will be irrigated with reclaimed water and is not expected to contribute to the domestic water demand unless sufficient reclaimed water is not available. The Domestic Water Plan, Exhibit 10, depicts the water service system proposed for EastLake Greens.

The EastLake Greens SPA will be served from the 980' elevation reservoir and pump station constructed as a part of EastLake I. Minimum pressures of 40 psi during peak hour flow and 20 psi during fire flow conditions will be maintained in the on-site domestic water distribution system within the project. Design fire flows used in sizing the water system are shown on Table 4.

Domestic Water Plan



Pump Station
(Pumps from 711' Zone to 880 Zone)



Reservoir
(serves 711' Zone System)



Existing Reservoir
(serves 711' Zone System)



Existing 711' Zone Water Line



Relocation of Existing 711' Zone Water Line

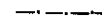


Existing 880' Zone Water Line



Proposed 880' Zone Water Line*

*Design & siting of system subject to engineering refinement.



624 Zone line

V-2

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A Planned Community in
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Exhibit 10



Date: 9-30-98

TABLE 3
EastLake Greens SPA

Domestic Water Demand

<u>LAND USE</u>	<u>UNITS</u>	<u>DEMAND FACTOR</u>	<u>DEMAND (mgd)</u>
Residential	8,444 persons	180 gal/capita	1.59
Village Center/ Public & Quasi Pub.	36.7 ac	2799 gal/ac	.10
Commercial/Prof. & Admin	75.4 ac	1,250 gpd/ac	.09
Parks (net irrigated)	28.0 ac	3 feet/year	.08
Schools (net irrigated)	26.0 ac	2.5 feet/year	<u>.06</u>
			1.92 mgd

TABLE 4
EastLake Greens SPA

Fire Flow Standards

<u>LAND USE</u>	<u>FIRE FLOW (gpm)</u>
Residential	
Low Density	1500
High Density	3500
Village Center	5000
High School	4000

The basic objective in planning water facilities for EastLake Greens is to maximize the flexibility and efficient use of existing and planned improvements with respect to project needs and costs.

Major supply facilities for EastLake Greens include all distribution mains of 12 inches or larger, and all transmission mains, booster pumping stations and water storage facilities. A detailed analysis of the total water supply requirements and planned improvements is contained in the EastLake Greens Water System Subarea Master Plan prepared by NBS/Lowry.

5.4 Reclaimed Water Supply

Reclaimed water is available for irrigation purposes from Otay Water District's Jamacha Wastewater Reclamation Plant. These facilities are currently providing reclaimed water to the SDG&E Miguel Substation for irrigation purposes.

A 20-inch reclaimed water supply line was constructed in conjunction with the EastLake Employment Center on Lane Road from the northerly EastLake boundary to Telegraph Canyon road. This pipeline will be extended north to the reuse area and tied into the existing OWD storage ponds. This reclaimed water pipeline can then supply the demands shown in Table 5 in EastLake Greens and other portions of the community.

TABLE 5
EastLake Greens SPA

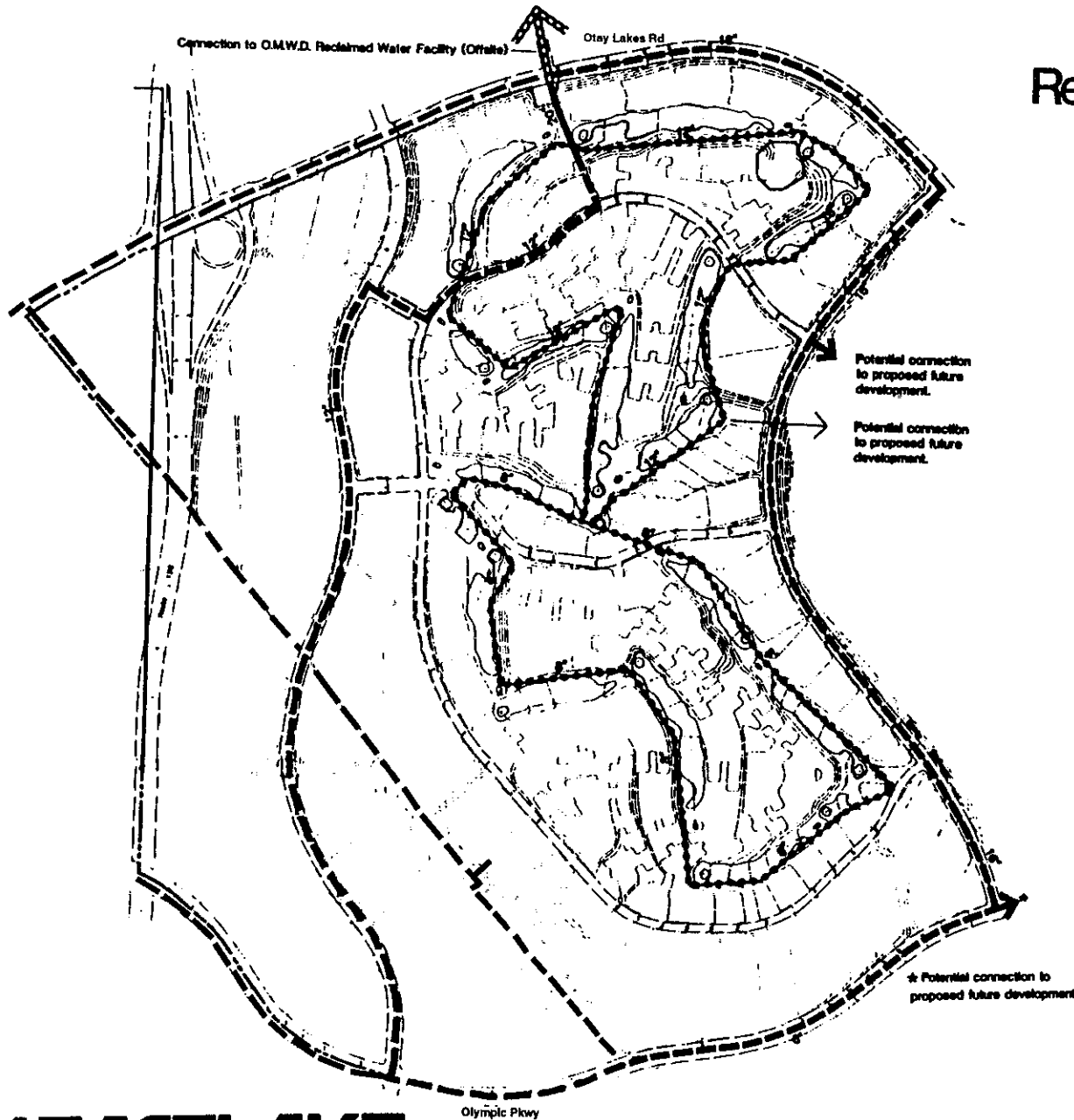
EastLake Reclaimed Water Demands

<u>EASTLAKE GREENS</u>	<u>ACRES</u>	<u>FLOW COEFFICIENT</u>	<u>DEMAND (AFY)</u>
OS-6 & 7	10.8	2.0 feet/yr.	22
Golf Course Turf	130.0	3.5 feet/yr.	244
Golf Course Slopes	30.6	2.5 feet/yr.	<u>77</u>
TOTAL GREENS			554 ac-ft/yr

Projected Demand for Land Swap Areas = 25.19 gpm

The proposed reclaimed water distribution system to serve these uses is shown on Exhibit 11. It should be noted that the system is sized to accommodate future reclaimed water uses in development areas to the east of EastLake Greens. There are also some additional irrigation demands such as the school sites that could potentially be served with reclaimed water instead of domestic, but these have been included in the domestic system.

Reclaimed Water Plan



- Existing 20" Pipeline
- Proposed Pipeline* (private)
- Proposed Pipeline* (public)

*Design and siting of system subject to engineering refinement

* Potential connection to proposed future development.

EASTLAKE GREENS

A Planned Community in the City of Chula Vista



Exhibit 11

5.5 Waste Water Facilities

EastLake Greens SPA is divided into three separate drainage basins. These drainage basins are (1) Telegraph Canyon; (2) Salt Creek; and (3) Poggi Canyon. Telegraph Canyon is the largest basin within the Greens. The majority of EastLake Greens will sewer to the existing City of Chula Vista 15-inch trunk sewer in Telegraph Canyon Road.

Only one parcel, R-9, drains naturally to Poggi Canyon down Orange Avenue. This parcel will be pumped on an interim basis to the Salt Creek basin.

One alternative under consideration for the area tributary to Salt Creek, the southeastern portion of EastLake Greens, is to pump it back into the Telegraph Canyon basin and make improvements downstream to accommodate the additional flows. Another alternative would be construction of an on-site water reclamation plant, appropriately configured to minimize growth inducing impacts, in Salt Creek southeast of the SPA. A third alternative would be to sewer it down a new trunk sewer to the Otay River Valley and then westerly in the Otay River Valley to the City's existing collection system.

The ultimate average wastewater flow for EastLake Greens SPA is .912 mgd as shown on Table 6.

TABLE 6
EastLake Greens SPA

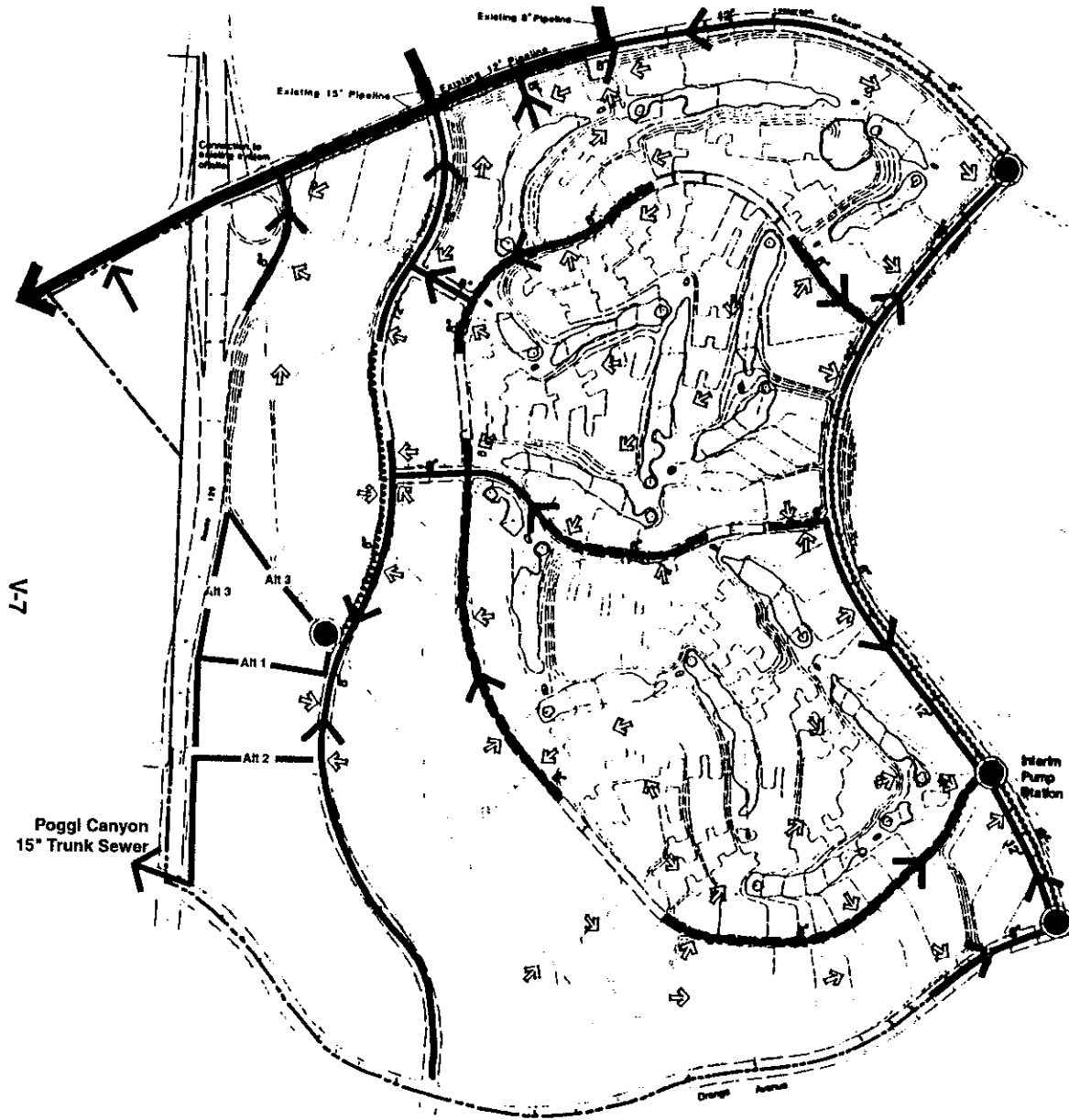
Average Wastewater Flow

<u>LAND USE</u>	<u>UNITS</u>	<u>FLOW COEFFICIENT</u>	<u>FLOW (mgd)</u>
Residential	8444 persons	80 gal/capita	.694
Village Center/ Comm./Office	186.9 acres	2500 gal/acre	.217
Public/QP	17.1 acres	1500 gal/acre	.026
High School	2,400 students	20 gal/student	.048
Elementary Sch.	600 students	15 gal/student	.009
TOTAL			.994 mgd

The planned wastewater collection system for EastLake Greens SPA is shown on Exhibit 12. The interim pump station at Hunte Parkway and Telegraph Canyon Road will allow the development of the first phase of EastLake Greens and defer the need for the off-site sewer down Salt Creek and Otay River Valley or the on-site water reclamation plant until the later phases of EastLake Greens development.

The interim pump station to serve parcel R-9 will be abandoned when an off-site trunk sewer is extended up Orange Avenue.

Waste Water System



- Proposed Pipeline*
- Existing Pipeline
- 6" Force Main
- Pump Station
- Direction of Collection Flow

* Design and sizing of system subject to engineering refinement.

EASTLAKE GREENS

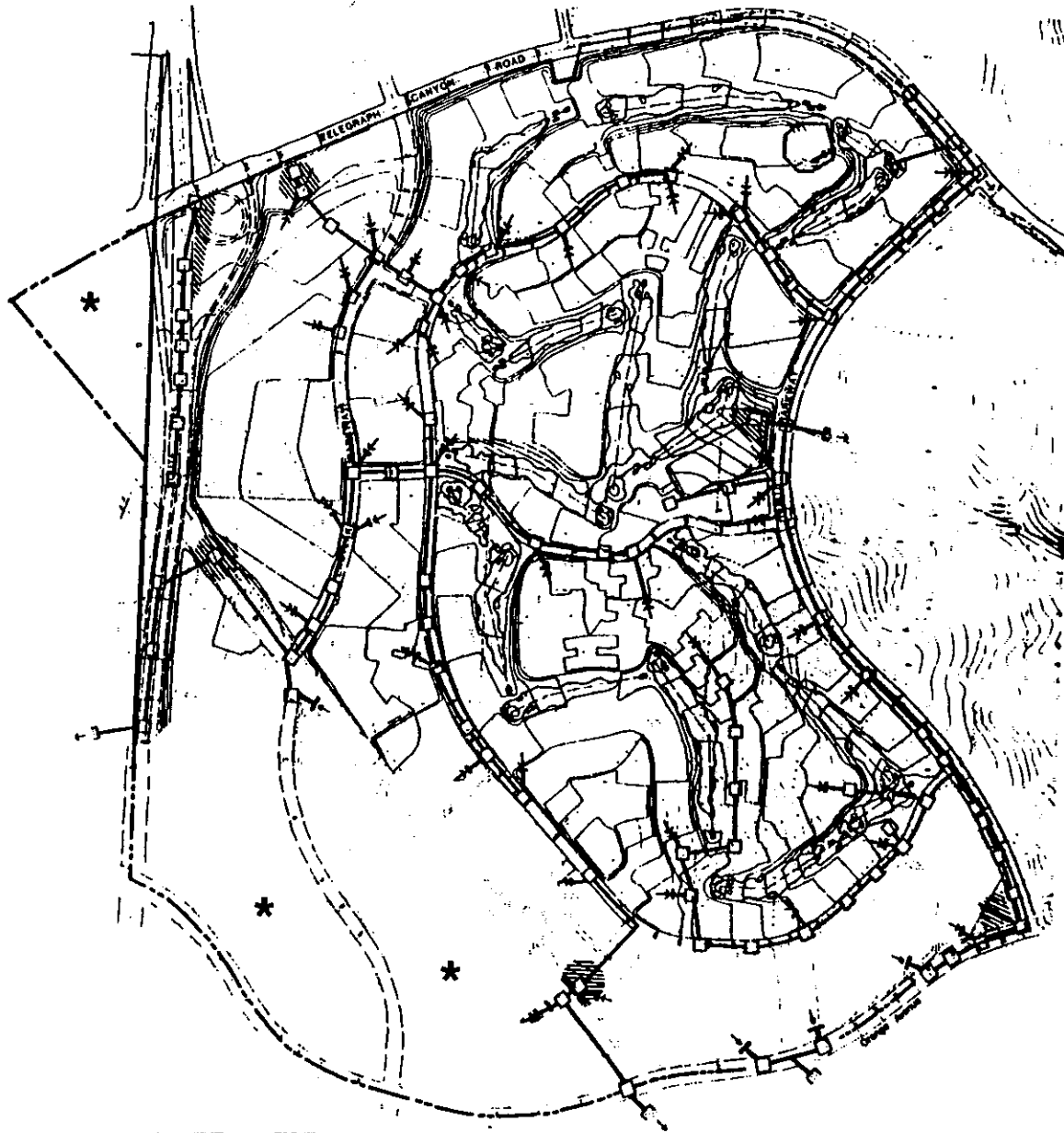
A Planned Community in
the City of Chula Vista

Exhibit 12



Storm Water Plan

V-8



- Proposed Storm Drain and Inlet*
- Proposed Outlet*
- Detention Center*
- * On-site facilities determined with Tract Map

Design and sizing of system subject to engineering refinement.

EASTLAKE GREENS

A Planned Community in
the City of Chula Vista

Exhibit 13



5.6 Storm Water Drainage

The storm drain system proposed for the EastLake Greens SPA is illustrated in Exhibit 13. On-site runoff is collected in the depicted system, detained in several locations, and discharged to undeveloped off-site areas to the east, south, and west.

5.7 Schools - General

One objective of the EastLake Greens SPA Plan is to provide the schools necessary to serve community needs in a manner which relates directly to the planned neighborhood structure of the project. The location of schools is intended to contribute to the sense of community, provide reduced maintenance costs with combined school/park complexes, and provide flexibility to respond to changing student populations as the community matures.

The EastLake Greens SPA is located within the Sweetwater Union High School District and the Chula Vista City School District. The Board of Trustees of the Sweetwater Union School District and the Board of Education of the Chula Vista City School District have each formed Community Facilities (Mello-Roos) Districts for the purpose of financing school facilities within EastLake Greens through the use of special taxes and the issuance of bonds.

5.7.1 Elementary Schools

One elementary school site has been provided in the EastLake Hills neighborhood, north of East "H" Street in EastLake I. A second site is to be provided in the EastLake Greens neighborhood.

The EastLake Greens SPA provides a 10.0 acre site, Parcel S-2, along EastLake Parkway, but accessed from the internal loop collector. This school is currently scheduled for construction when enrollment in the first EastLake elementary school reaches approximately 900 students. The site will be reserved for acquisition by the school district, as provided in the Public Facilities Financing Plan.

5.7.2 Secondary Schools

The Sweetwater Union School District provides secondary education for the area. Existing schools in the area include Bonita Vista High School and Junior High School, both located near the intersection of East "H" Street and Otay Lakes Road.

Available capacity in the secondary school system is projected to be filled soon. A site for a new high school to serve students from EastLake and other projects in the vicinity has been reserved within the EastLake Greens SPA. The 49.2 acre site, Parcel S-1, is located along EastLake Parkway, adjacent to the Community Park.

Construction of this facility is also subject to the provisions of the Public Facilities Financing Plan.

5.8 Police and Fire Service

Both police and fire services are provided by the City of Chula Vista, EastLake Greens SPA is east of police patrol beat 32, which is currently served by one patrol car 24 hours a day. Although no new police facilities will be necessitated by the project, an expansion of personnel and equipment will be necessary to service project residents.

5.9 Library Service

The City operates a central library, which is located at 4th and "F" Streets in central Chula Vista, to serve the entire community. Growth in eastern Chula Vista raises questions as to how library service is to be provided within the Eastern Territories and in what locations. Smaller branch libraries or a large facility to serve the area east of I-805 merit consideration.

A Library Service Master Plan has recently been completed which suggests a branch library in the eastern area of the City should be considered. Rancho del Rey SPA I, a recently approved project approximately one mile to the west of EastLake, reserves a site for a City library along East "H" Street. In addition, the EastLake Village Center Master Tentative Map reserves a 1 acre site for a library within EastLake I.

CHAPTER SIX - COMMUNITY DESIGN

6.1 Community Character

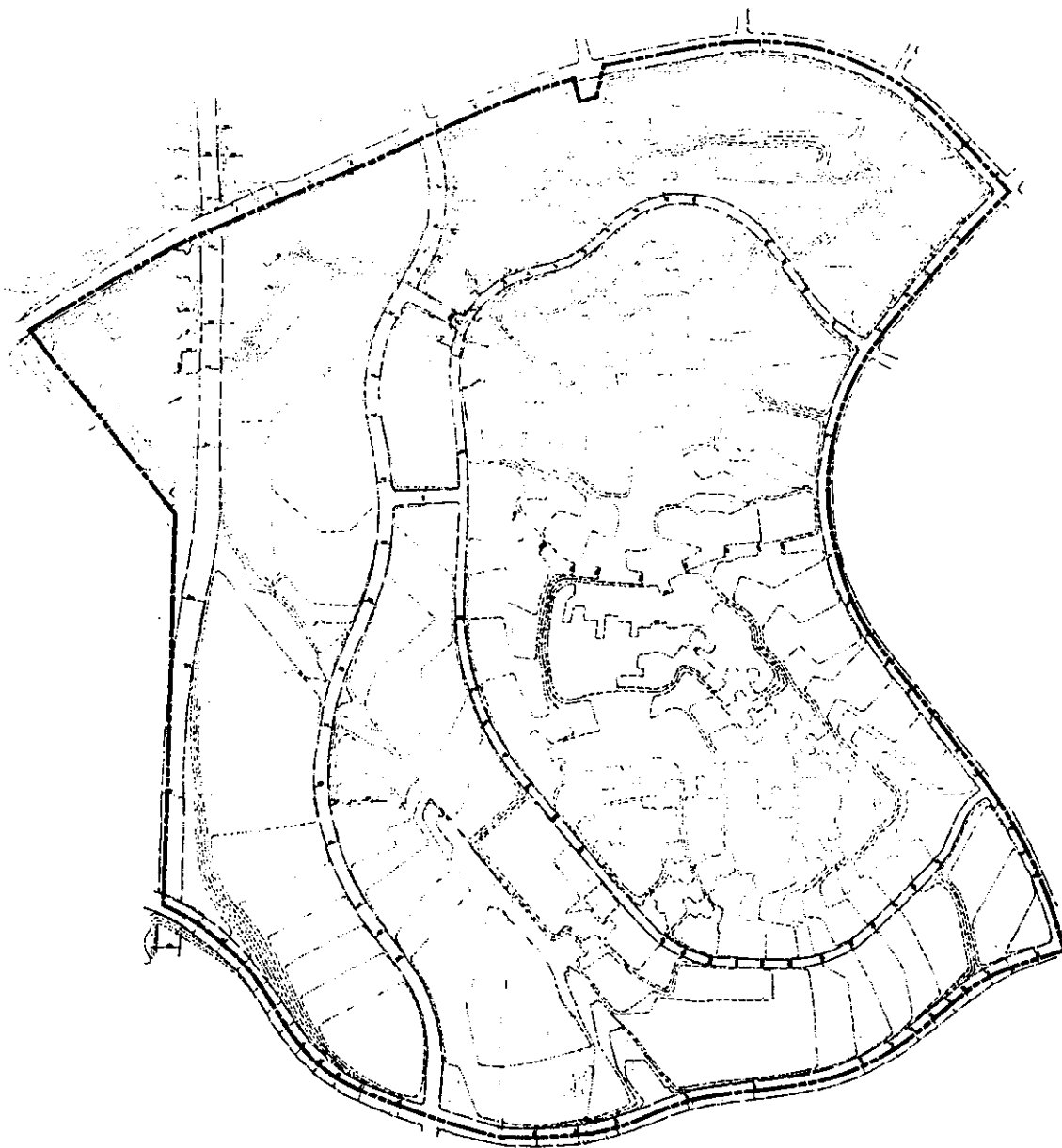
All aspects of the development shall be subject to full design review including architecture, site planning, landscaping, signing, grading and land use and zoning review. These guidelines are intended as a guide for the development of the site as contrasted to absolute standards.

6.2 Grading

The Grading Plan is intended to provide a preliminary grading concept, identification of slope banks and maintenance provisions.

1. General: The preliminary grading design is as indicated on the Grading Concept, Exhibit 14. Final detail design should reflect the following:
 - a. Standards, General: Grading within EastLake Greens shall be subject to Chapter 15.04 - Excavation, Grading and Fills of the Municipal Code.
 - b. Grading Design: It is the intent of this SPA that graded areas will be contoured to blend with natural landform characteristics. Rounding both vertical and horizontal intersections of graded lanes, obscuring slope drainage structures with a variety of plant material massing, incorporating the use of variable slope ratios for larger slope banks, use of landscape planting for erosion control and to obscure man-made banks, and other similar techniques should be used. Artificially appearing slope banks with rigid angular characteristics should be avoided.
2. Slope Banks:
 - a. Cut and Fill Slope Construction: Slope banks in excess of five feet in height should be constructed at a gradient of 2 to 1 (horizontal to vertical) or flatter unless otherwise approved by the City Engineer.
 - b. Erosion Mitigation: According to actual field conditions encountered, erosion potential on slopes should be reduced with berms at the tops of all slopes; paved interceptor ditches and terrace drains; and vegetation. Vegetation should consist

GRADING PLAN



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Exhibit 14

of drought-tolerant native or naturalized species, requiring little or minimal irrigation, deep rooted and well suited to the particular soil. Spray on applications and coatings, jute or hemp mesh are effective in stabilizing soils. Final plans should be based on the coordinated input of a licensed landscape architect.

- c. Maintenance: The application of any grading permit should provide assurance acceptable to the City Engineer that landscaped slope banks will have adequate maintenance to ensure continued viability of landscaping. Generally, except for private lots, slope banks which exceed ten feet in height should be maintained by a homeowners' or property owners' association.

6.3 Building Scale and Variety

Buildings within the development should have a variety of sizes, shapes, colors and materials used to promote interest in the built environment. A portion of the Village Center (within EastLake I) may be stacked residential units to give the center of the community a distinguishing focal point. Parcels designated R-MH and R-H on the General Development Plan will also contain stacked residential units.

6.4 General Landscape Concept

The purpose of the General Landscape Concept is to provide a comprehensive framework for individual site landscape plans. It will assure that all individual projects will conform to an overall landscape scheme which will result in a totally planned landscaped community.

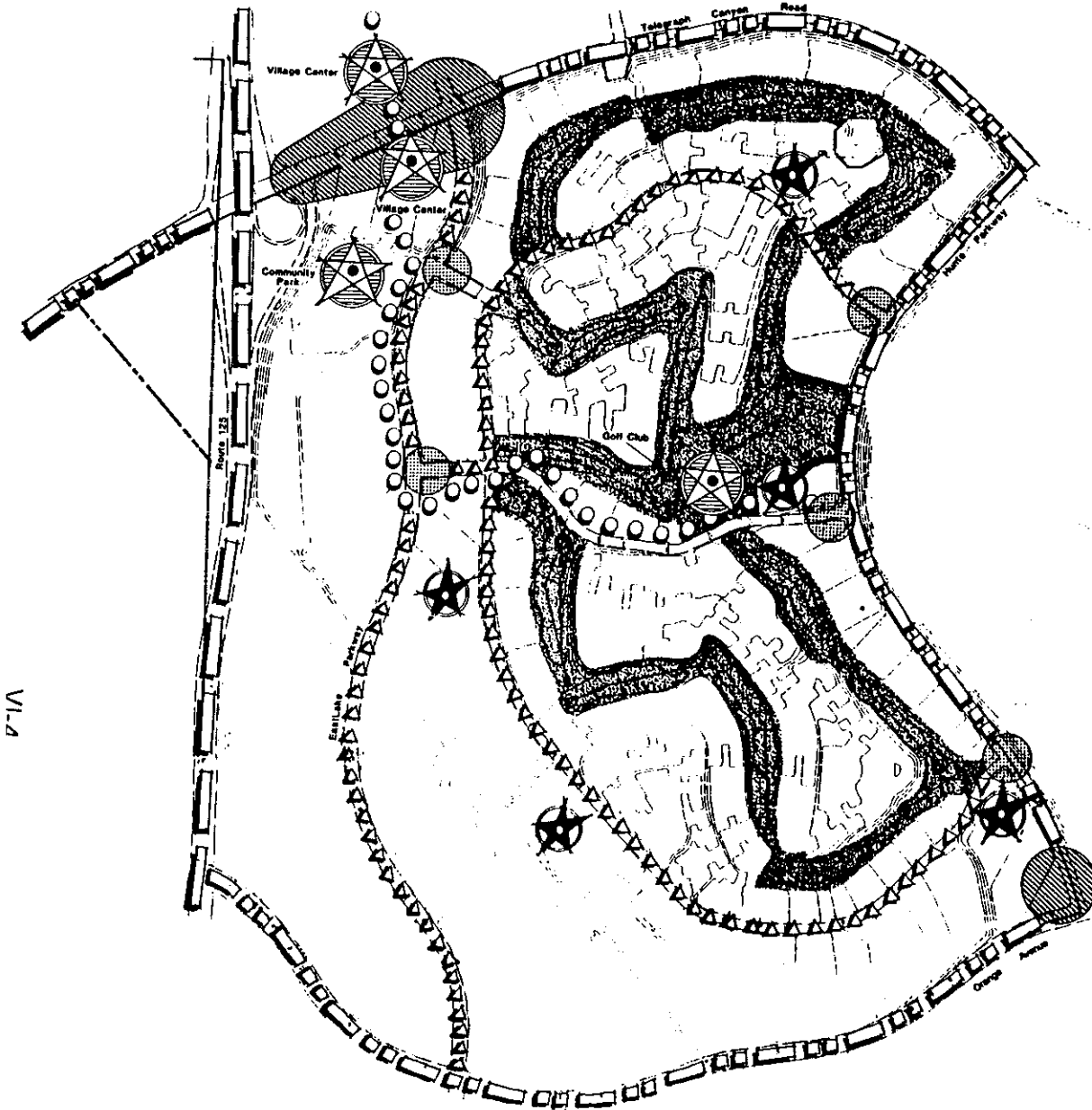
The General Landscape Plan, Exhibit 15, provides a general design framework which allows latitude and flexibility to each individual project while maintaining the overall goals and objectives of the community.

6.4.1 Landscape Components

The intent of the landscape concept is to reinforce the design pattern established by the Land Use Plan. This pattern consists of a residential district and an Activity Corridor/Village Center District enhanced by a series of paths, edges and landmarks. Dominant trees have been selected to create distinct identities and visual continuity.

- a. District Concept - Each district or neighborhood shall have a dominant tree.

General Landscape Plan



- Paths**
- Route 125
 - Thematic Corridor
 - Arterials (Scenic Buffer)
 - District Interior Streets
- Entry/Edges**
- Community Entry
 - Neighborhood Entry
- Landmarks**
- Major
 - Minor
- Special Landscape Zone**
- Golf Course

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b. Paths - The hierarchy of paths is as follows:

- The thematic corridor provides the common thread to link the various community elements together. The thematic corridor will have its own dominant tree.
- Major thoroughfares (e.g., SR-125 and Telegraph Canyon Road). A separate dominant tree will be used in the median.
- Major internal streets within a district. The dominant tree for the district will apply.

Supplemental trees may be introduced to provide contrast and a transition into surrounding areas. This landscape approach will provide strong visual directions and connections throughout the site, while providing the necessary contrast to create an interesting experience as one travels through the community.

- c. Edges - Edges will be strongly defined by landscaping. This will create the appropriate delineation of one district or area to another.
- d. Entries - These are common points of entry and significant intersections. The hierarchy of entries is as follows:
- Community Entry
 - Neighborhood Entry

A tree which differs from the adjacent path and district trees will be to provide a distinct accent statement and sense of arrival at entries.

- e. Landmarks - Each landmark, whether major or minor, will have a distinct landscape character (similar to the district concept). As an example, all parks may have a common theme tree, so that parks are easily recognized and highlighted throughout the community.

The entire EastLake Community shall be designed to include a well-balanced landscape palette. Plant material intensity classifications will vary from highly manicured areas to naturalized and native areas. These classifications are mapped in Exhibit 16, Landscape Intensity Classifications.

6.4.2 Landscape and Irrigation Standards

Landscape and irrigation installation shall conform to the City of Chula Vista Landscape Manual. Standard details will be followed to assure uniformity and a high quality of materials and workmanship. Materials and equipment shall be standardized for ease of maintenance and storage. Reclaimed water should be considered wherever safe and feasible.

6.4.3 Landscape Maintenance

Maintenance responsibilities are intended to be assigned as follows:

a. Individual Private Property Owner Maintenance

The individual property owner will be responsible for maintaining landscaping within privately owned areas.

b. Homeowner Association Maintenance

The majority of landscape maintenance responsibility will be with the Homeowner Associations. These associations will maintain all landscape areas not maintained by the private property owner or a public agency. These areas include all common areas such as private recreation areas, including the private golf course, common open space, street and entry landscaping. Landscaping in street medians and exterior slopes shall be maintained by a Landscape Maintenance District.

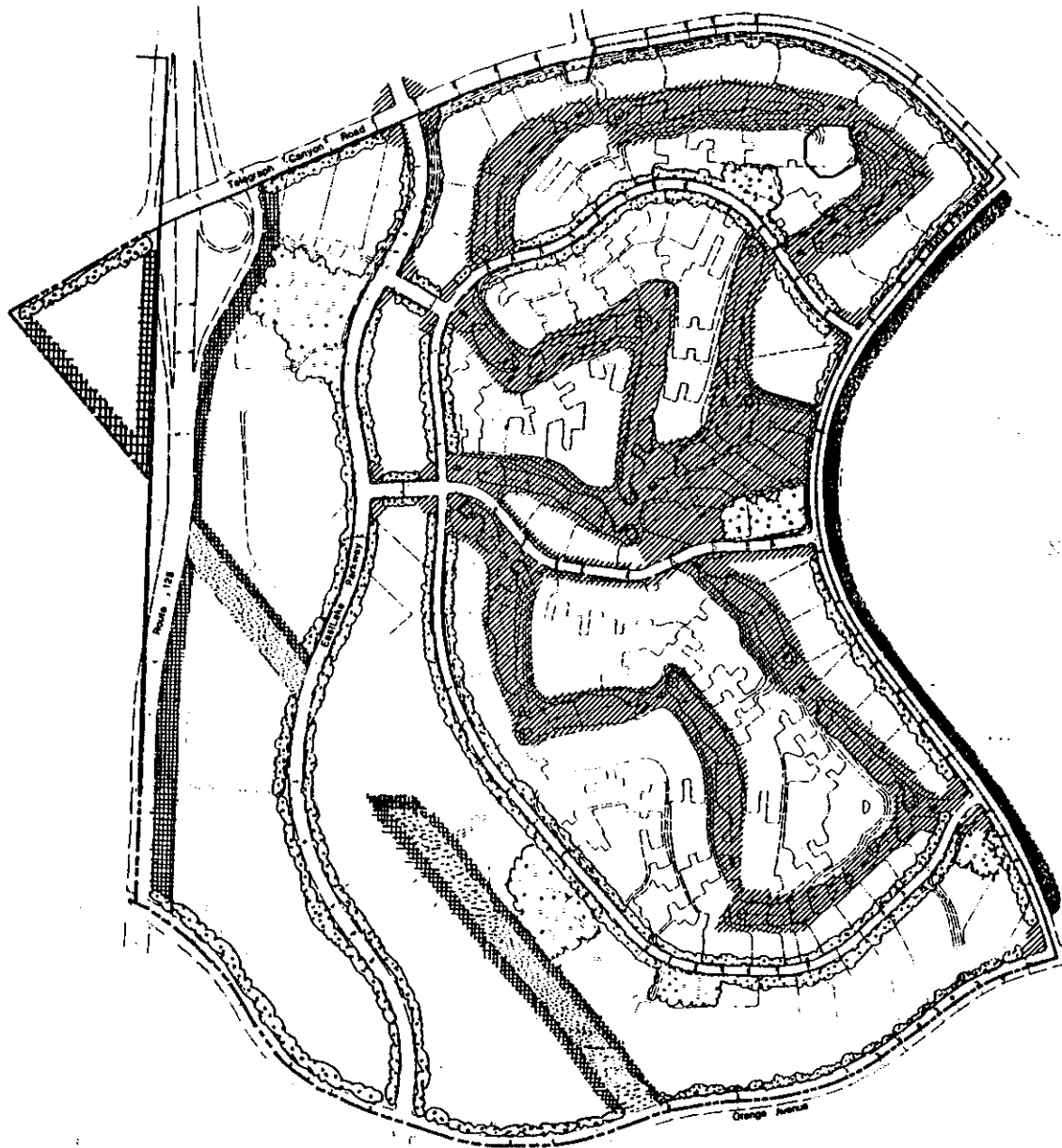
Specific maintenance responsibilities will be determined with tract map approval.

6.4.4 Landscape Intensity Classification






Landscape areas have been classified based on their intensity of maintenance and water requirements (see Exhibit 16). These classifications are generally described as follows:

- a. Native Areas - These are existing vegetated areas undisturbed by construction operations. Natural rainfall only is required for irrigation. Periodic clean-up and grubbing of seasonal growth may be required.
- b. Naturalized Areas - These are newly planted areas provided with temporary irrigation systems. Once plants become established, they shall be capable of surviving with no artificial irrigation.
- c. Drought Tolerant Areas - These are newly planted areas provided with permanent irrigation systems. Water demand will be low, requiring substantially less irrigation than ornamental areas.

VL7



Landscape Intensity

-  Natural
-  Naturalized
-  Drought Tolerant
-  Ornamental
-  Managed

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- d. Ornamental Areas - These are areas and corridors with a high degree of visual impact. Plant materials will require regular maintenance and watering.
- e. Manicured Areas - These are ornamental areas that require "special" attention due to their significance.

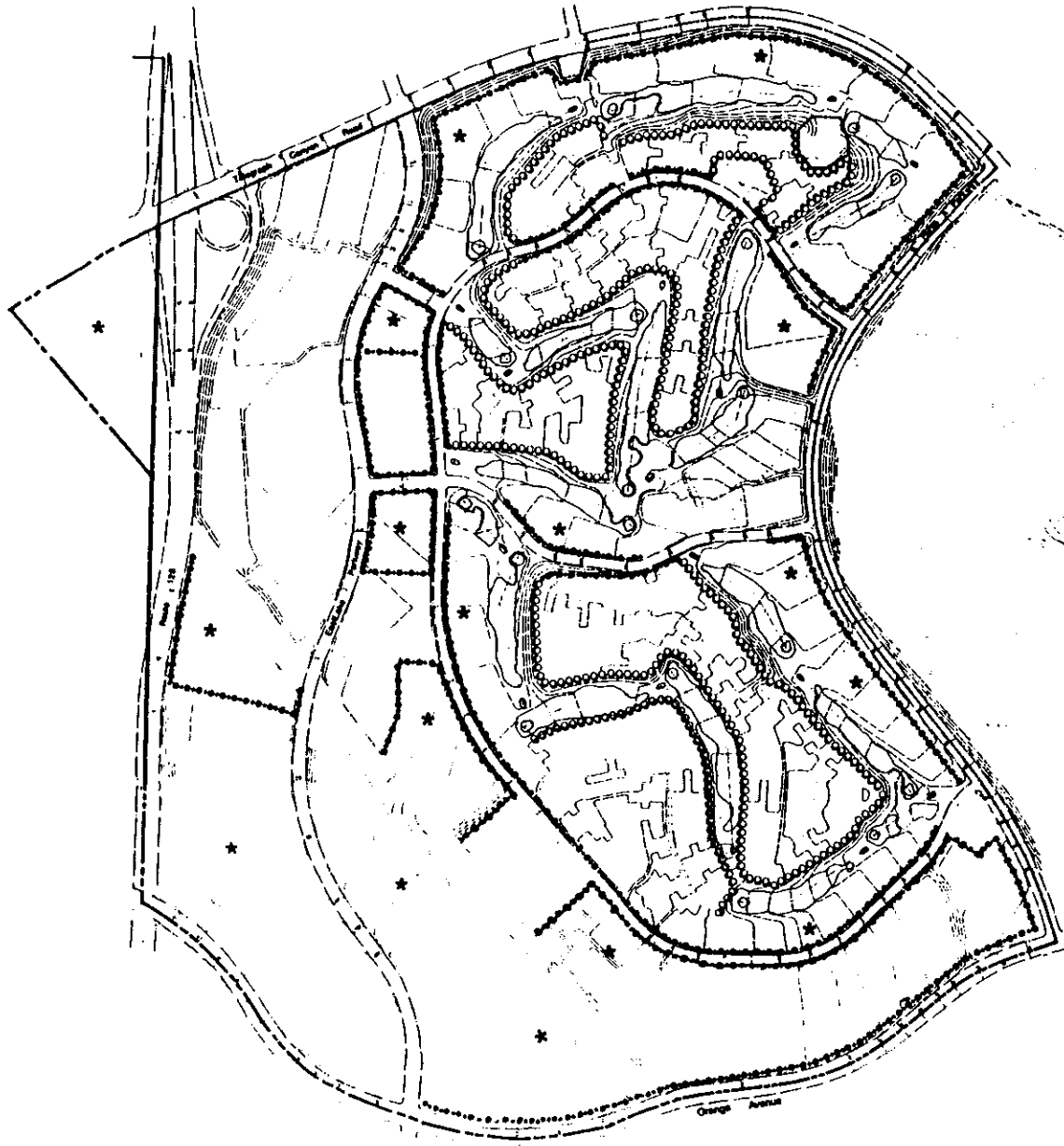
6.5 Exterior Fencing

Placement of community fencing is illustrated in Exhibit 17. The need for and location of all fencing shall be established through Site Plan Review for those projects required to complete such review (indicated by "*" on the exhibit). The community fencing locations designated in Exhibit 17 will be evaluated in that review. If it is determined that a fence is to be provided at the indicated locations, it shall conform to the community design standard. If no fence is required, none need be constructed.

Exterior fences should be provide along major roadways based upon the following guidelines:

1. Walls should be made of a textured surface material that is compatible with the design of the neighborhood area.
2. The monotony of a long wall should be broken by visual relief through periodically recessing the wall or constructing pilasters.
3. Landscaping, such as trees, shrubs or vines, should be used to soften the appearance of the wall.
4. Walls which serve as a subdivision exterior boundary should be up to six feet in height from the highest finished grade.
5. Walls used as rear or side yard walls should be constructed up to six feet in height depending upon the conditions that exist.
6. Combined solid fencing, walls and open fencing may be used to create interest. Masonry walls are required only where necessary for noise attenuation.
7. Fencing design should avoid long continuous runs. Jogging the fence line to avoid monotony is encouraged.
8. Earth berms to substitute and supplement the fencing should be used whenever practical.
9. Sound wall fencing, where required, should be used to mitigate adverse noise impacts on residential units.

Fencing Plan



- Golf Course View Fence
- Community Theme Fence
- ★ Fencing to be established by Site Plan Review process

Note: Refer to BPA text for Design Standards for fencing. Fencing types may be combined and fencing lines varied to create interest. Other fencing will be established by Tract Maps and Site Plans.

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Land Planning
San Diego, CA (619) 225-7000
Date: 8/16/94
6/16/97

Exhibit 17

10. Landscape planting should be used to supplement and soften fencing and obscuring long lengths of fence with vines and shrubs is encouraged.

6.6 Signage

The purpose of a planned sign program is to provide a continuity of design which will contribute to an integrated, well-planned, high quality environment. All signs with the EastLake Greens SPA will be designed and constructed in accordance with the standards of the comprehensive sign program which has been prepared for the EastLake Planned Community. Community and neighborhood entry sign locations are identified in Exhibit 18.

6.6.1 Permanent Signs

Permanent signs include:

a. Community Entry signs

Entry signs should be a large scale, monument type sign, creating a major statement. Materials used should be compatible with landscape and hardscape elements. Entry sign could be illuminated.

b. Neighborhood Entry signs

Neighborhood entry sign should relate its use of materials and styling to the neighborhood thematic treatment.

c. Identification Signs for parks, libraries, schools, etc.

Sign should be low key, monument type sign, with single or double face. Materials will be consistent with the thematic treatment for the major neighborhood or district in which it exists.

d. Street Name Signs

A sign to identify street names and inform the viewer, through symbolic graphics, that it is a street within EastLake. The EastLake theme logo, colors, and letter-style will be used.

e. Community Trail Signs

A sign to identify and direct traffic, vehicular and pedestrian, to special community trails such as bicycling and jogging. Form should be small scale, freestanding, consistent with community signs.

6.6.2 Temporary Signs

Temporary signs will be used to identify and direct traffic to specific neighborhoods and products during construction and sales periods. These signs will be subject to permit approval for specific periods of time.

Temporary signs include:

a. **Neighborhood/Product Directional Signs**

A sign to direct vehicular traffic to specific neighborhoods and/or products in the context of the merchandising program. Constructed of painted plywood panels on wood support posts.

b. **Product Identification Signs**

A sign to identify a specific residential product, sales complex or informational center.

c. **Secondary Directional Signs**

A small sign to direct the viewer to specific areas within a product such as parking, sales office and models. Consisting of painted plywood panel(s) on wood support posts. Installed with bottom of sign not more than 12 inches above finished grade.

d. **Future Facility Sign**

A sign which informs the viewer, through symbol and verbal reinforcement, of the various future building sites in EastLake indicating opening dates, building names and phone numbers. They consist of painted plywood sign panels supported on wood posts.

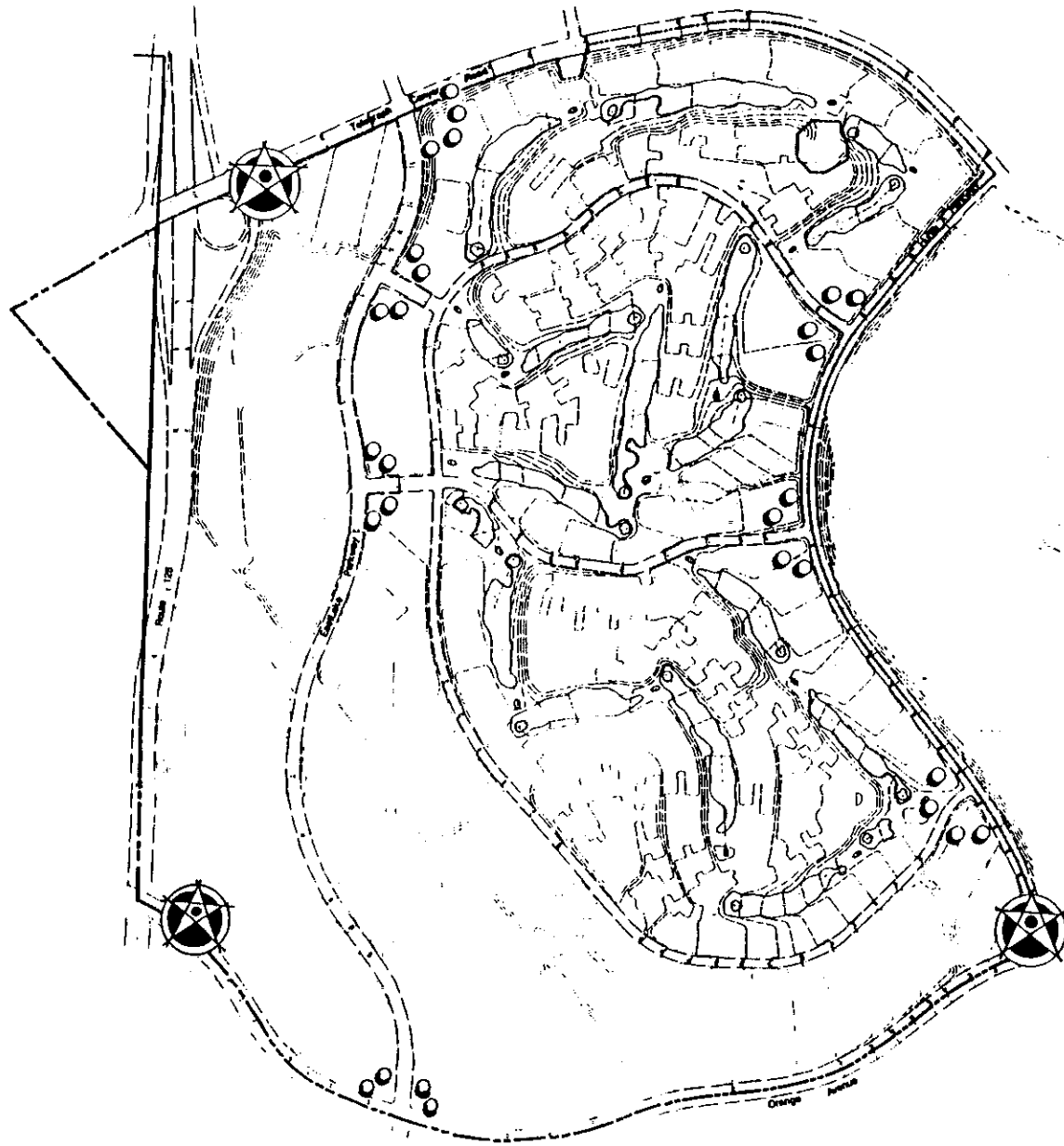
6.7 Design, Orientation and Setbacks - Single Family Detached Areas

Single family detached housing includes a range of housing types from custom or semi-custom golf course frontage homes on 7,000 square foot lots to "wide and shallow" lots for cottage homes in off golf course locations.

Tract subdivision construction in single family detached areas should be based upon the following criteria:

1. A minimum of three housing plans should be provided, each with a minimum of three facade treatments, which vary entry, window type and treatment of exterior materials and colors.

Signage Plan



Community Entry Sign



Neighborhood Entry Sign

Note: Monument signs are proposed to be located within an open space lot established at the Tract Map level.

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EASTLAKE GREENS

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Date: 4/20/95

6/16/97

Exhibit 18

2. Generally, at least one housing plan should be two-story and one plan one-story or two-story with one-story elements and character.

3. Roof style, material and height should be varied.

Single family detached residential lots and setbacks should encourage variety in the design, orientation and placement of homes, whenever practical.

4. Front yard building setbacks should be varied to avoid a monotonous pattern of houses.

5. Front yard building setbacks should be varied to create greater solar access, provide more useful private open space in side yards, and avoid monotonous pattern of homes.

6. The appropriateness of lots backing to other than major arterial will be reviewed with individual tract maps or site plans. When deemed appropriate, lots backing up to collector streets should be set back from the street right-of-way to permit adequate landscaped buffers along the street frontages.

6.7.1 Additional Guidelines for Single Family Detached lots under 5,000 square feet:

6.7.1: Fee Simple Single Family Lots under 5,000 square feet shall be subject to the City of Chula Vista Design Manual for Small Lot Single Family Detached Housing.

6.7.2: Single Family Detached Homes in condominium/cluster developments shall be reviewed on a case by case basis to determine the applicability of Design Manual guidelines intended for Single Family Homes on small individual lots.

2. Generally, at least one housing plan should be two-story and one plan one-story.
3. Roof style, material and height should be varied.

Single-family detached residential lots and setbacks should encourage variety in the design, orientation and placement of homes, wherever practical.

4. Front yard building setbacks should be varied to avoid a monotonous pattern of houses.
5. Side yard setbacks should be varied to create greater solar access, provide more useful private open space in side yards, and avoid monotonous pattern of houses.
6. The appropriateness of lots backing to other than major arterials will be reviewed with individual tract maps or site plans. When deemed appropriate, lots backing up to collector streets should be set back from the street right-of-way to permit adequate landscaped buffers along the street frontage.

6.8 Design and Orientation - Single Family Attached and Multiple Family

Various types of multiple family units and single-family attached areas are planned for EastLake Greens to provide a greater variety in design and life-style preference.

The following unit types are anticipated within EastLake Greens:

- Zero-Lot Line Homes: One or two story detached or attached homes where either a single structure is built on a single side lot line or two structures share a single wall astride a side lot line, thus increasing the usable side yard area.
- Patio Homes: Attached and detached homes clustered in a courtyard fashion, often in zero-lot line ownership and individually oriented toward an outdoor patio area.
- Town Houses: One and two story attached units in buildings with 4 to 8 or more units that are the traditional "Southern California Condominium". These may have individual fee ownership lots or condominium ownership.
- Flats: The traditional apartment-type building where an individual unit is typically situated on a single level and may have others above or below.

Building orientation in multiple family housing should consider indoor and outdoor privacy, solar access and overall aesthetic appearance.

1. Buildings should be oriented in such a way as to create courtyards and open space areas, thus increasing the aesthetic appeal of the area.
2. Building design should incorporate variety in the type of materials, colors, units, heights and facades.
3. Textured materials such as stucco, rough sawn wood and split faced block are encouraged.
4. Buildings with roof overhangs are encouraged to give a traditional residential appearance.
5. Building facades should include relief to avoid a monotonous line.
6. Uncovered stairwells should be precluded from general streetscape view through the use of wing walls, landscaping or other means.
7. Private spaces such as patios or balconies are encouraged for each unit.
8. Solid walls or fences, not less than 5 feet in height, should be provided along property lines adjoining access or parking areas, except where adjacent to another multiple family housing area.

6.9 Site Planning and Design Guidelines

A comprehensive set of design guidelines and site planning criteria have been prepared. They are provided in a separate text entitled "EastLake Greens SPA - Design Guidelines" and should be consulted during the review of individual projects within the EastLake Greens neighborhood. Project standards for minimum lot size, setbacks, street frontage, etc. are established in the PC District Regulations.

6.10 Precise Plan Guidelines - Village Center Areas

A precise plan should be prepared for each Village Center area prior to any building construction. The plan for the area at Telegraph Canyon Road and EastLake Parkway should directly relate to the Village Center included in the EastLake I SPA.

1. Village Center(s) should have an integrated design theme for the establishment of the community's primary commercial activity area.
2. Individual site planning should consider the planning of adjoining parcels to ensure visual and functional compatibility.

3. Site planning submittals for development review should include the location of landscaping, parking areas, access, signage and structures on adjoining parcels.
4. The site plan should illustrate compatibility with the planning of adjoining parcels in the areas of building configuration, building design, landscaping material, parking configuration and access.
5. The site planning of signs should consider visibility, location and integration with the overall design theme of the Village Center.
6. The proportion, size and shapes of commercial structures should be compatible with adjacent buildings.
7. The use of projection and architectural details should enhance the facade of commercial structures by providing relief and variety.
8. Roofs and rooflines should complement the building proportion and also be compatible with adjacent structures.

6.11 Lighting

1. Street Lighting: All street lighting shall conform to City standards and shall be approved by the City Engineer.
2. Theme and Commercial Lighting: Lighting for business enterprises, recreation facilities, signs, walkways shall be reviewed and approved by the City on a case-by-case basis as an element of Site Plan Review. The Site Plan shall include the design and type of lighting proposed and the time of use. Any lighting for recreation facilities, signs or business enterprises which will illuminate a residential area past the hour of 10:00 p.m., shall be clearly identified on said site plan for specific consideration. Any such lighting which illuminates a residential area that has not been approved by the City on a Site Plan or other permit shall not be permitted.

6.12 Scenic Highways

The City of Chula Vista General Plan designates Telegraph Canyon Road and Orange Avenue as scenic highways. Telegraph Canyon Road extends approximately 4.5 miles from Interstate 805 east to EastLake Greens. Orange Avenue has not been extended to the vicinity of EastLake Greens.

6.12.1 Scenic Corridor Guidelines

Telegraph Canyon Road, Orange Avenue, Hunte Parkway and future State Route 125 should be treated as scenic highways.

Where feasible, the City should maintain a landscaped corridor adjacent to the ultimate right-of-way line along all scenic highways associated with EastLake Greens. The corridor should be landscaped and maintained to enhance the scenic roadway area and placed within an open space easement or made part of the road right-of-way, consistent with the provisions of the Scenic Highways section of the General Plan Land Use Element Update. Such a corridor is depicted conceptually on the Site Utilization Plan, Exhibit 3.

Any new residential development backing upon a scenic roadway shall have decorative solid walls and/or landscaped earthen berms, or otherwise landscaped to implement the scenic highways policies of the General Plan. The silhouette of structures as viewed from the scenic roads is important. To avoid a walled-in effect, the use of single-story structures is encouraged. Where two-story structures are within 100 feet of the curb, additional tree planting or second story elevation enhancement should be provided.

There shall be a landscape buffer along the full length of Orange Avenue within EastLake Greens. This landscape buffer shall average 75' from the back of curb. Residential structures, including fences, shall not be permitted within this buffer. A landscape design for this scenic highway buffer shall be submitted for approval by the City's Landscape Architect prior to, or concurrently with, the first Site Plan approval adjacent to Orange Avenue (Parcels R-10 & R-12).

A scenic corridor is also depicted internal to the project at the western end of parcel R-28 to maintain entry views to the club house. Improvements, such as a recreation area, which maintain visual access are permitted in this area, along with appropriate landscaping.

EastLake II

Planned Community (PC)

District Regulations

Regulations for the following SPA Plans:

EastLake I

(including: EastLake Hills, EastLake Shores, Business Center I, & Village Center North Supplemental SPA Plan)

EastLake Business Center II SPA Plan

EastLake II SPA Plan

(Consolidation of EastLake Greens & Trails)

Ordinance No. 3018
Resolution No. 2005-288
Adopted August 23, 2005

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Amended December 18, 2007
By Ordinance No. 3100

Amendments Prepared by:
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INTRODUCTION

These Planned Community (PC) District Regulations are adopted pursuant to Title 19, Zoning, of the Chula Vista Municipal Code and are intended to implement and integrate the Chula Vista General Plan, the General Development Plan, and the Sectional Planning Area Plans (SPAs) for EastLake I, Salt Creek I, EastLake Greens and EastLake Trails (Refer to Exhibit 2 in Chapter I, Section I.1) These regulations set forth the development and use standards for all property within EastLake II General Development Plan Area by establishing:

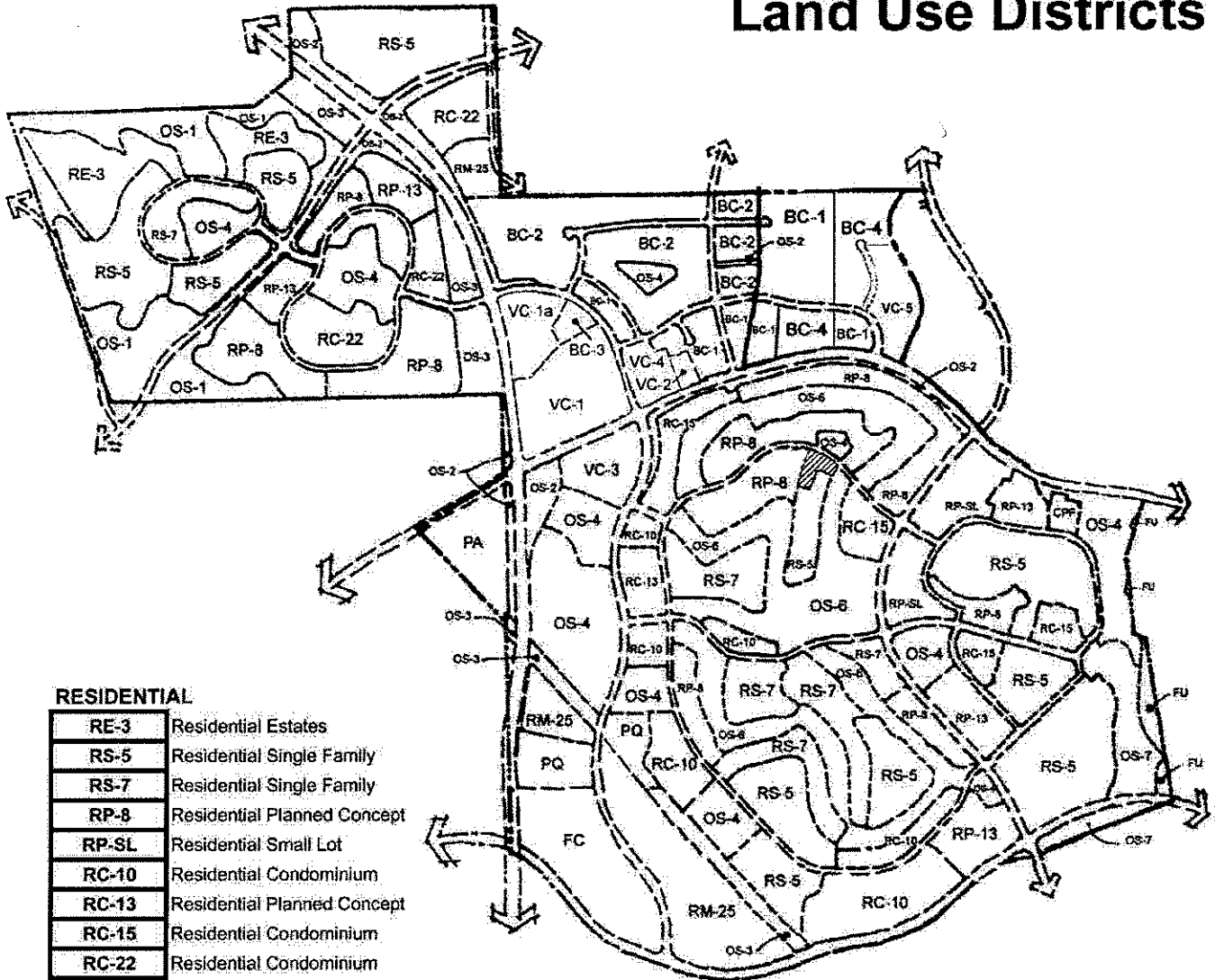
- setbacks;
- building heights;
- parking requirements;
- landscape requirements;
- use restrictions;
- animal regulations;
- density of development;
- lot size, width and depth;
- fencing requirements; and,
- signing regulations.

The PC District Regulations, along with the various SPA Plans, delineate precisely the allowable use of the property

The PC District Regulations are organized into four basic land use districts:

- Residential;
- Village Center and Commercial;
- Business Center; and,
- Special Purpose

Land Use Districts



RESIDENTIAL

RE-3	Residential Estates
RS-5	Residential Single Family
RS-7	Residential Single Family
RP-8	Residential Planned Concept
RP-SL	Residential Small Lot
RC-10	Residential Condominium
RC-13	Residential Planned Concept
RC-15	Residential Condominium
RC-22	Residential Condominium
RM-24	Residential Multi-Family
RM-44	Residential Multi-Family

VILLAGE CENTER & COMMERCIAL

VC-1	Village Center (Retail)
VC-1a	Village Center (Retail)
VC-2	Village Center (Prof. Admin./Ltd. Retail)
VC-3	Village Center (Retail)
VC-4	Village Center (Retail)
VC-5	Village Center (Retail)
FC	Freeway Commercial
PA	Professional & Administrative

BUSINESS CENTER

BC-1	Business Center (Manufacturing Park District)
BC-2	Business Center (Manufacturing Service District)
BC-3	Business Center (Core District)
BC-4	Business Center (Core Professional District)

SPECIAL PURPOSE

OS-1	Open Space
OS-2	Open Space
OS-3	Open Space
OS-4	Open Space
OS-5	Open Space
OS-6	Open Space
OS-7	Open Space
FU	Future Urban District
PQ	Public/Quasi-public District
CPF	Community Purpose District
(GH)	Guest House Land Use District Overlay (Refer to Section II.3D in PC Dist. Regs.)

SECTION I . GENERAL PROVISIONS

I . 0 Purpose and Scope

For the purpose of promoting and protecting the public health, safety and welfare of the people of the City of Chula Vista, to safeguard and enhance the appearance and quality of development of EastLake II, and to provide the social, physical and economic advantages resulting from comprehensive and orderly planned use of land resources, these Planned Community District Regulations defining land use districts and regulations within those districts are hereby established and adopted by the City Council

I . 1 Private Agreements

The provisions of this ordinance are not intended to abrogate any easements, covenants, or other existing agreements which are more restrictive than the provisions of this ordinance

I . 2 Repeal of Conflicting Ordinances

Whenever the provisions of this ordinance impose more restrictive regulations upon construction or use of buildings or structures, or the use of lands or premises than are imposed or required by other ordinances previously adopted, the provisions of this ordinance or rules or regulations promulgated hereunder shall govern

I . 3 Establishment of Land Use Districts

A. Division of EastLake II into Land Use Districts

In order to classify, regulate, restrict and separate the use of land, buildings and structures, and to regulate and limit the type, height and bulk of buildings and structures in the various districts, and to regulate the areas of yards and other open area abutting and between buildings and structures, and to regulate the density of population, EastLake II GDP is hereby divided into the following Land Use Districts:

Residential Land Use Districts

RE-3	Residential Estate
RS-5	Residential Single Family
RS-7	Residential Single Family
RP-8	Residential Planned Development
RP-13	Residential Planned Development
RP-SL	Residential Planned Development
RC-10	Residential Condominium
RC-15	Residential Condominium
RC-22	Residential Condominium
RM-25	Residential Multi-Family
RM-44	Residential Multi-Family

Village Center and Commercial Land Use Districts

VC-1	Village Center
VC-2	Village Center
VC-3	Village Center
VC-4	Village Center
VC-5	Village Center
FC	Freeway Commercial
PA	Professional and Administrative

Business Center Land Use Districts

BC-1	Business Center Manufacturing Park
BC-2	Business Center Manufacturing Service
BC-3	Core District
BC-4	Core District

Special Purpose Land Use Districts

OS-1	Open Space
OS-2	Open Space
OS-3	Open Space
OS-4	Open Space
OS-5	Open Space
OS-6	Open Space
OS-7	Open Space
PQ-1	Quasi-Public Facilities
CPF	Community Purpose Facilities

B. Adoption of Land Use Districts - Maps

Said several Land Use Districts and boundaries of said Districts and each of them hereby are established and adopted as shown, delineated and designated on the EastLake II Planned Community District Regulations Land Use Districts Map of the City of Chula Vista, San Diego County, which map, together with all notations, references, data, district boundaries and other information thereon, is made a part hereof and adopted concurrently herewith

C Filing

The original of the EastLake II Planned Community District Regulations Land Use District Map shall be kept on file with the City Clerk and shall constitute the original record. A copy of said Map shall also be filed with the Planning Department.

D Changes to the Land Use District Map

Changes to the boundaries of the land use districts shall be made by ordinance and shall be reflected on the EastLake II Planned Community District Regulations Land Use District Map. Minor changes resulting from the approval of a tract map may be made to the land use district map as an administrative matter.

I . 4 Clarification of Ambiguity

If ambiguity arises concerning the appropriate classification of a particular use within the meaning and intent of this ordinance, or if ambiguity exists with respect to matters of height, yard requirements, area requirements or land use district boundaries as set forth herein, it shall be the duty of the Director of Planning and Building to ascertain all pertinent facts and forward said findings and recommendations to the Planning Commission, or on appeal, to the City Council and if approved by the Commission or, on appeal, by the City Council. Thereafter, the established interpretation shall govern.

Should any provision of these regulations conflict with those of the Municipal Code, the requirements herein shall apply.

I . 5 Effects of Regulations

The provisions of this ordinance governing the use of land, buildings, and structures, the size of yards abutting buildings and structures, the height and bulk of buildings, the density of population, the number of dwelling units per acre, standards of performance and other provisions hereby are declared to be in effect upon all land included with the boundaries of each and every land use district established by this ordinance.

I . 6 Enforcement

A Enforcement by City Officials

The City Council, the City Attorney, the City Manager, the Director of Public Safety, the Building Official, the Director of Planning and Building, the City Clerk and all officials charged with issuance of licenses or permits, shall enforce the provisions of this ordinance. Any permit, certificate or license issued in conflict with the provisions of this ordinance shall be void.

B Actions Deemed a Nuisance

Any building or structure erected hereafter, or any use of property contrary to the provisions of a duly approved Design Review, Site Plan, Variance, Conditional Use Permit or Administrative Permit and/or this ordinance shall be and the same hereby is declared to be unlawful and a public nuisance per se and subject to abatement in accordance with local ordinance.

C Remedies

All remedies concerning this ordinance shall be cumulative and not exclusive. The conviction and punishment of any person hereunder shall not relieve such persons from the responsibility of correcting prohibited conditions or removing prohibited buildings, structures, signs or improvements, and shall not prevent the enforced correction or removal thereof.

D Penalties

Any person, partnership, organization, firm or corporation, whether as principal, agent, employee or otherwise, violating any provision of this ordinance or violating or failing to comply with any order or regulation made hereunder, shall be guilty of an infraction and, upon conviction thereof, shall be punishable as provided by local ordinance.

I . 7 Definitions

For the purpose of this Ordinance, certain words, phrases and terms used herein shall have the meaning assigned to them by Title 19 of the City of Chula Vista Municipal Code.

When not inconsistent with the context, words used in the present tense include the future; words in the singular number include the plural; and, those in the plural number include the singular. The word "shall" is mandatory; the word "may" is permissive.

Any aspect of land use regulation within EastLake II General Development Plan Area not covered by these district regulations or subsequent plan approvals, shall be regulated by the applicable section of the Chula Vista Municipal Code (CVMC).

SECTION II . RESIDENTIAL DISTRICTS

II .0 Purpose

In addition to the objectives outlined in Section I 0 (Purpose and Scope), the Residential Districts are included in the Planned Community District Regulations to achieve the following purposes:

- To reserve appropriately located areas for family living at a broad range of dwelling unit densities consistent with the General Plan and with sound standards of public health, safety and welfare;
- To ensure adequate light, air, privacy and open space for each dwelling;
- To minimize traffic congestion and avoid the overloading of public services and utilities by preventing construction of buildings of excessive bulk or number in relation to the land area around them;
- To protect residential properties from noise, illumination, unsightliness, odors, smoke and other objectionable influences; and,
- To facilitate the provision of utility services and other public facilities commensurate with anticipated population, dwelling unit densities and service requirements

II .1 Land Use District Grouping

To facilitate the establishment of permitted use and development standards which are applicable to more than one land use district, land use groups are herein established. The following land use groups are established and shall be identified by the designation indicated below:

<u>Land Use Group Designation</u>	<u>Land Use District Included in Group</u>
RE	RE-3
RS	RS-5 and RS-7
RP	RP-8, RP-13 and RP-SL
RC	RC-10, RC-15 and RC-22
RM	RM-25 and RM-44

II .2 Permitted Uses

The following uses shall be permitted where the symbol "P" appears and shall be permitted subject to a Conditional Use Permit where the symbol "C" appears. Uses where the symbol "A" appears shall be permitted subject to an Administrative Review. Uses where the symbol "N" appear shall not be permitted. Uses where the symbol "a" appears are only permitted as an accessory use to a basic permitted use.

<u>Land Use</u>		<u>Land Use Group</u>				
		<u>RE</u>	<u>RS</u>	<u>RP</u>	<u>RC</u>	<u>RM</u>
A	<u>Residential Uses</u>					
1.	Single family dwellings	P	P	P	P	P
2.	Duplex dwellings	N	N	P	P	P
3.	Guest dwellings or accessory living quarters	A	N	N	N	N
4.	Mobile homes on individual lots which are certified under the National Mobile home Construction and Safety Standards Act of 1974	P	P	P	P	P
5.	Group residential, including but not limited to, boarding or rooming homes, dormitories, and retirement homes	N	N	C	A	A
6.	Multiple dwellings	N	N	A	P	P

<u>Land Use</u>	<u>Land Use Group</u>				
	<u>RE</u>	<u>RS</u>	<u>RP</u>	<u>RC</u>	<u>RM</u>
7 Townhouse dwellings	N	N	P	P	P
B <u>Agricultural Uses</u>					
1. All types of horticulture	P	P	P	P	P
2. Agricultural crops	A	A	A	A	A
3. Animal raising or grazing	A	N	N	N	N
4. Keeping of three (3) dogs and/or three (3) cats (over the age of four months)	P	P	P	P	P
C <u>Public and Quasi-Public Uses</u>					
1 Day nurseries, day care schools and nursery schools (Children under 12 subject to City Standards)	C	C	C	C	C
2 Convalescent homes	C	C	C	C	C
3 Churches, convents, monasteries and other religious places of worship (subject to requirements of Section 19.58 110 CVMC)	C	C	C	C	C
4 Essential public services including but not limited to: schools, libraries, museums, parks, public works facilities and other civic uses	C	C	C	C	C
5. Public utility and public service substations, reservoirs, pumping plants and similar installations	C	C	C	C	C
6. Recreational facilities including but not limited to: country clubs, tennis and swim clubs, golf courses, racquetball and handball. (Sites for such facilities which are 2 acres or less in size shall be subject to Administrative Review only)	C	C	C	C	C
7 Recreational courts, including but not limited to: tennis, basketball, and similar uses	A	A	A	A	A
D. <u>Home Occupations</u>					
1 Home occupations subject to the provisions of Section VI.1	A	A	A	A	A
E. <u>Accessory Uses</u>					
1. Accessory structures and uses located on the same site as a permitted use	A	A	A	A	A
2 Accessory structures and uses located on the same site as a conditional use	A	A	A	A	A
F <u>Temporary Uses</u>					
1 Temporary uses as prescribed in Section VI 0	A	A	A	A	A

II.3 Property Development Standards: Residential Districts

- A. The following Property Development Standards shall apply to all land and buildings, other than accessory buildings, permitted in their respective residential land use districts. The use of the symbol "SP" indicates that the standard is established by the approval of a Site Plan/Tentative Tract Map. Dimensions and

standards are minimums. Minor variations may be permitted subject to site plan or tract map approval providing that the minimums specified herein are maintained as average minimums. Lot widths and depths are herein maintained as average minimums. Lot widths and depths are typical minimums but may vary slightly with irregularly shaped lots and site specific conditions. The parking standards for a planned Senior Citizen or "affordable" residential development may be reduced from those specified herein for the district in which it is located by the Director of Planning.

B. Large Day Care

The City of Chula Vista has established specific requirements for operating a large day care facility, including:

1. A large day care facility shall not be within 1,200 feet of another such facility on the same street as measured from the exterior boundaries of the property.
2. An area shall be provided for the temporary parking of at least two vehicles for the safe loading and unloading of children. In most cases, the driveway in front of a two-car garage will satisfy this requirement.
3. A usable rear yard play area of 1,200 sq. ft. shall be provided. Outdoor play activity shall not be allowed in the front or exterior side yard of the home.
4. Play areas shall be designed and located to reduce the impact of noise on surrounding properties. The Zoning Administrator may impose reasonable requirements to alleviate noise, including but not limited to installation of a six-foot high block wall around the perimeter of the rear yard.

Residential Property Development Standards

		Land Use Group/District						
		RE	RS	RP			RC	RM
Site Condition				RP-8	RP-13	RP-SL		
1	Lot area (in net 000's square feet)	8	5	3*	3*	2.5	SP	SP
2	Lot Width (in feet) (Attached Products in RP district)	70	50	38	38	50	SP	SP
3	Lot depth (in feet)	100	100	90	50	50	SP	SP
4	Lot coverage (percent)	40	50	SP	SP	SP	SP	SP
5	Front yard setback: (garage) a) To direct entry garage b) To side entry garage (single story garage in RS district)	20 20	20 15 10	SP SP SP	20 SP 10	20 10	SP SP SP	SP SP SP
6	Front yard setback: (main residence)	20	20	SP	SP	10	SP	SP
7	Side yard setback: a) to adjacent residential lot (min. total/one side) b) to adjacent street (corner lot)	15/5	10/5 **	SP	SP	10/5	SP	SP
8	Rear yard setback	20	15	SP	SP	10	SP	SP
9	Building height (maximum in feet) (2 1/2 story max. RE, RS, & RP districts)	28***	28***	28***	28***	28***	45	45
10	Parking spaces per unit: (g=garage; c=carport; op=open) SF Detached Units SF Attached Units MF Units (1 bedroom units) MF Units (2 bedroom units) MF Units (3+ bedroom units)	2g	2g	2g 1g+1c	2g 1g+1c	2g 1g+1c	2g 1g+1c 1c+0.5op 1c+1op 1c+1.5op	2g 1g+1c 1c+0.5op 1c+1op 1c+1.5op

Notes:

Refer to paragraph II.3E for detached structure overlay standards.

* May be modified for attached units with Site Plan Approval

** RS & RS-5 District only; 13/3 in RS-7 District.

*** May be increased to 35 feet with Site Plan Approval.

C. Group Parking Standards for RC and RM Land Use Groups

The parking requirements include 0.5 spaces for guest parking. This requirement may be reduced to 0.3 space per unit by the Zoning Administrator which would result in a reduction of the standards set forth in the table. If more than one space per dwelling unit is assigned to the dwelling unit, then the required guest parking spaces shall be marked and clearly identified as guest parking. The guest parking spaces shall not be permitted to be assigned to individual dwelling units.

D. Special Requirements

- 1 Front yard setbacks shall be measured from the right-of-way of the fronting street. The front yard setback may be reduced, subject to site plan approval, within the RP, RC and RM districts. If the front yard setback is reduced to less than twenty (20) feet, and the dwelling unit is located on a street, cul-de-sac, or court containing more than twelve (12) dwelling units, then the garage shall be equipped with an automatic garage door opener.
- 2 The allowable building area for each lot shall be as permitted in the table below. The maximum building area for single family detached and attached products shall be the square footage listed or that permitted by the percentage of lot area, whichever is greater. Homeowner additions shall be allowed only where consistent with these standards. A 300 square foot open patio (covered but open on three sides) shall be permitted on each residential lot and shall be exempt from inclusion in this calculation.

E. Detached Structure Overlay Standards

- 1 The Detached Structure Overlay Standards shall only apply to those areas depicted on the Land Use Districts map as "Detached Structure Overlay."
- 2 Uses Permitted: A Guest House as defined in Section 10.04.106 CVMC, except as further defined as follows: A "Guest house" means detached living quarters of a permanent type of construction, without kitchen or cooking facilities and intended for use by occasional guests and occupants of the main building. Use by occasional guests shall not exceed 90 days for any one guest over a one year period. A guest house shall not be separately rented, let, or leased, whether compensation is direct or indirect.
- 3 Site Development Standards: Shall be as indicated for the base residential land use district, except that the front setback may be reduced to 15 feet if approved by the Director of Planning.

Permitted Building Area

<u>District</u>	<u>Square Footage</u>	<u>Lot Area Percentage (FAR)</u>
RE & RS-5	4,500	50%
RS-7	3,900	50%
RP-SL & RP-8	2,900	55%
RP-13	2,300	55%

All residential development north of Otay Lakes Road, within the EastLake I SPA, shall be exempt from this maximum building area standard. RP-13 parcels in the Greens SPA are limited to 2,000 square feet.

II.4 Performance Standards: Residential Districts

In all Residential Districts, the following performance standards shall be met:

- A. Air conditioners, antennas, ham radio antennas, solar panels, heating, cooling, ventilating equipment and all other mechanical, lighting or electrical devices shall be so operated and located so that they do not disturb the peace, quiet and comfort of neighboring residents and shall be screened, shielded and/or sound buffered from surrounding properties and streets. All equipment shall be installed and operated in accordance with all other applicable ordinances. Heights of said equipment shall not exceed the required height of the zone in which they are located. Private, individual satellite dish antennas greater than three (3) feet in diameter are subject to a Conditional Use Permit. Community or association operated satellite dish antennas may be allowed subject to a Conditional Use Permit.

- B Required front and exterior side yards shall be landscaped and shall consist predominantly of trees, plant materials, ground cover and decorative rocks, except for necessary walks, drives and fences. All required landscaping shall be permanently maintained in a healthy and thriving condition, free from weeds, trash and debris. Landscaping requirements may be met by either installation by the builder or developer, or for single family development, requirements through CC&R's that individual homeowners install their front yard landscaping within one year of occupancy, or sooner if required by CC&R's.
- C All utility connections shall be designed to coordinate with the architectural elements of the site so as not to be exposed except where required by utility provider. Pad-mounted transformers and/or meter box locations shall be included in the site plan with any appropriate screening treatment. Power lines and cables shall be installed underground.
- D The acceptable outdoor noise exposure level, measured at the property line, for each residential district is provided in the table below (See Chapter 19.66 CVMC for definitions and additional details)

Exterior Noise Limits*

<u>Receiving Land Use District</u>	<u>7 a.m. – 10 p.m.</u>	<u>10 p.m. – 7 a.m.</u>
RE, RS, RP	55 dbA	45 dbA
RC, RM	60 dbA	50 dbA

*Environmental Noise – L_{eq} in any hour

*Nuisance Noise – not to be exceeded at any time

- E The maximum permissible dwelling unit interior noise levels are provided in the table below

Interior Noise Limits*

<u>Time Interval</u>	<u>Any Time</u>	<u>1 min. in 1 hour</u>	<u>5 min. in 1 hour</u>
7 a.m. – 10 p.m.	55 dbA	50 dbA	45 dbA
10 p.m. – 7 a.m.	45 dbA	40 dbA	35 dbA

- F Energy Conservation. Buildings shall be located on the site to provide adjacent buildings adequate sunlight for solar access when practical. Buildings should be designed to minimize energy consumption requirements, including but not necessarily limited to, the following conservation considerations:
- Co-generation;
 - South facing windows;
 - Eave coverage for windows;
 - Double glazed windows;
 - Earth berming against exterior walls;
 - Greenhouses; and,
 - Deciduous shade trees
- G In the RC and RM districts, including the conversion of apartments to condominiums where permitted, the following performance standards shall be met:
- 1 Masonry walls or fences six (6) feet in height, from the highest finished grade, shall be required where needed for noise attenuation and/or privacy
 - 2 Where a lot fronts on more than one street, it shall be considered to have multiple frontages and shall be required to meet special side yard setbacks
 - 3 When an RC and/or RM lot is adjacent to any single family zone, a minimum of fifteen (15) feet of landscaping shall be maintained on the RC and/or RM lot between such uses
 - 4 Lockable, enclosed storage shall be provided in the carport area; substitutions may be approved by the Director of Planning;
 - 5 Conveniently located common laundry facilities shall be provided for units which do not have individual hook-ups

6. Conveniently located and well screened trash enclosures shall be provided for all dwelling units.
7. Recreation vehicle (including campers, boards and trailers) parking areas shall be provided, fully screened from view or the development CC&R's shall prohibit all parking of recreation vehicles

II . 5 Accessory Structures: Residential Districts

Accessory Buildings and Structures: Accessory buildings and structures, attached or detached, used either wholly or in part for living purposes, shall meet all of the requirements for location of the main structure as constructed or required by the District, whichever is less restrictive; except as herein provided

- A. Enclosed accessory buildings or structures that are attached to the main building shall not be allowed to encroach into the required rear yard setback. Open structures may be allowed to encroach into the rear yard setback subject to approval by the Director of Planning
- B. A detached accessory structure shall meet the setback requirements of the main building for the front and street side yard areas.
- C. A detached accessory structure may be located within an interior side or rear yard provided that such structure is located no closer than five (5) feet to an interior side or rear lot line and is at least six (6) feet from the main structure and does not exceed one story in height
- D. Porches, steps, architectural features such as eaves, awnings, chimneys, balconies, stairways, wing walls or bay windows may project not more than four (4) feet into any required front or rear yard area, and not into any required side yard more than one-half of said required side yard

II . 6 Walls and Fences: Residential Districts

In any required front or side yard adjacent to a street, a wall, fence or hedge shall not exceed forty-two (42) inches in height, except as provided herein:

- A. A wall, fence or hedge not more than six (6) feet in height may be maintained along the interior side or rear lot line, provided that such wall, fence or hedge does not extend into a required front or side yard adjacent to a street except for noise attenuation as required by the City and as herein provided
- B. A wall, fence or hedge adjacent to a driveway or street providing vehicular access to an abutting lot or street shall not exceed forty-two (42) inches in height within the front or side yard setback area of the lot. Corner cut-offs may be required to maintain a reduced height in special circumstances for safety and visibility
- C. Fiberglass or bamboo sheeting or other similar temporary material shall not be permitted as a fencing material on street frontages.

II . 7 Signs: Residential Districts

No sign or outdoor advertising structure shall be permitted in any residential district except as provided in Section VII.

SECTION III . VILLAGE CENTER & COMMERCIAL DISTRICTS

III.0 Purpose

In addition to the objectives outlined in Section I 0 (Purpose and Scope), the Village Center and Commercial Districts are included in the Planned Community District Regulations to achieve the following purposes:

- To provide appropriately located areas for office uses, retail stores, service establishments and wholesale businesses, offering commodities and services required by residents of the City and its surrounding market area;
- To provide an opportunity for commercial and quasi-public community support facilities;
- To encourage office and commercial uses to concentrate for the convenience of the public and for a more mutually beneficial relationship to each other;
- To provide adequate space to meet the needs of modern commercial development, including off-street parking and loading areas;
- To minimize traffic congestion and to avoid the overloading of utilities by preventing the construction of buildings suited to the amount of land around them;
- To protect commercial properties from noise, odor, smoke, unsightliness, and other objectionable influences incidental to industrial uses; and
- To promote high standards of site planning, architectural and landscape design for office and commercial developments within the City of Chula Vista

III.1 Permitted Uses: Village Center Districts

The matrix of land uses on the following pages indicates the relative permissive status using the following symbols:

"P"	=	Permitted
"C"	=	Permitted subject to Conditional Use Permit approved by the Chula Vista Planning Commission.
"A"	=	Permitted subject to Conditional Use Permit by the Zoning Administrator
"a"	=	Permitted Accessory Use to a Permitted or Conditional Use
"N"	=	Use Not Permitted
"P/N"	=	First symbol before "/" is the permissive status if all required discretionary applications for implementation have been submitted prior to December 31, 2004. Second symbol after "/" is the permissive status if all applications have not been submitted prior to December 31, 2004.
"P ₁ "	=	Subject to Zoning Administrator review and approval

<u>Land Use</u>		<u>Land Use District</u>					
		<u>VC-1</u>	<u>VC-1a</u>	<u>VC-2</u>	<u>VC-3</u>	<u>VC-4</u> ¹	<u>VC-5</u> ^{2,3}
A.	<u>Administrative and Professional Services</u>	P	P	P	P	P	P
B	<u>General Commercial Uses</u>						
1	Antique shops (no outdoor storage)	P	P	N	P	N	P
2	Apparel stores	P	P	P/N	P	P	P
3	Art, music and photographic studios and supply stores	P	P	P/N	P	P	P
4	Appliance stores and repair (no outdoor storage)	P	N	P/N	P	P	P
5	Arcades and electronic games (see Section VI 4)	C	C	P/N	C	P	A
6	Athletic and health clubs	C	C	C	C	C	A
7	Automobile and/or truck services, sales, rental agencies	A	N	N	A	N	A
8	Bakeries - retail	P	P	P	P	P	P
9	Barber and beauty shops	P	P	P	P	P	P
10	Bicycle shops, non-motorized	P	P	P	P	P	P
11	Blueprint and photocopy services	P	N	P	P	P	P
12	Book, gifts and stationery stores	P	P	P	P	P	P
13	Candy stores and confectioners	P	P	a	P	a	P
14	Car Wash subject to provisions of Section 19 58 060 CVMC	C	N	N	C	N	C
15	Catering establishments	P	P	N	P	N	P
16	Cleaners	P	P	P/N	P	P	P
17	Commercial recreation facilities not otherwise listed	C	C	C	C	C	C
18	Eating and drinking establishments:						
a	Bars, nightclubs cabarets	C	C	N	N	N	C
b	Restaurants, coffee shops, delicatessens:						P
	1) with alcoholic beverages and/or entertainment	C	C	C	C	C	ZA

		Land Use District					
<u>Land Use</u>		<u>VC-1</u>	<u>VC-1a</u>	<u>VC-2</u>	<u>VC-3</u>	<u>VC-4</u> ¹	<u>VC-5</u> ^{2,3}
	2) without alcoholic bev	P	P	P	P	P	P
	3) with outdoor seating*	P	P	P	P	P	P
c	Snack bars and refreshment stands contained within a building	P	P	P	P	P	P
d.	Fast food restaurants with drive-in or drive-through (subject to Site Plan and Arch Review by the Zoning Administrator)	C	N	N	C	N	C
19	Equipment rental (enclosed building)	P	N	P	P	P	P
20	Feed and tack stores (no outside storage)	P	P	N	P	N	P
21	Financial Institutions with drive thru	P	N	P	N	P	P
22	Florists' shops	P	P	P	P	P	P
23	Food stores, supermarkets, drug stores	P	P	N	P	N	P
24	Furniture stores	P	P	N	N	N	P
25	Gasoline service stations	C	N	N	C	N	N
26	Hardware stores:						
	a. > 10,000 square feet	P	N	N	P	N	P
	b. < 10,000 square feet	P	P	N	P	N	P
27	Hobby shops	P	P	P/N	N	P	P
28	Hotels and motels (and accessory uses, including restaurant, bar, shops)	P	N	P	N	P	P
29	Janitorial services/supplies	P	N	N	P	N	P
30	Jewelry stores	P	P	P	P	P	P
31	Junior department, department stores, discount and membership department stores						
	a. > 50,000 square feet	P	N	P/N	N	P	P
	b. < 50,000 square feet	P	P	P/N	N	P	P
32	Kiosks, and moveable vendors, including photo sales, located in parking lot	C	C	C	C	C	A

<u>Land Use</u>		<u>Land Use District</u>					
		<u>VC-1</u>	<u>VC-1a</u>	<u>VC-2</u>	<u>VC-3</u>	<u>VC-4</u> ¹	<u>VC-5</u> ^{2,3}
33	Liquor stores	C	C	N	C	N	A
34	Medical and dental offices, clinics	P	P	P	P	P	P
36	Motorcycle sales and services including motorized bicycles	A	N	N	A	N	A
	a. Show room only, without service	A	P	N	A	N	A
37	Newspaper and magazine stores	P	P	a	P	N	P
35	Mortuaries	N	N	N	N	N	N
38	Nurseries and garden supply stores in screened area	P	P	N	P	N	P
39	Office suites, general	P	P	P	P	P	P
40	Office supplies/stationery stores	P	P	P	P	P	P
41	Parking facilities (commercial)	N	N	C	C	C	N
42	Pharmacies	P	P	P	P	P	P
43	Photocopying services	P	P	P	P	P	P
44	Printing shops	P	P	P	P	P	P
45	Recycling drop-off bins	A	N	N	A	N	N
46	Retail stores and shops	P	P	P/N	P	P	P
47	Sign painting shops (encl bldg)	P	N	N	P	N	P
48	Stamp and coin shops	P	P	P/N	P	P	N
49	Swimming pool supplies	P	P	P/N	P	P	P
50	Television, stereo and radio stores including sales and repair	P	P	P/N	P	P	P
51	Theaters	A	A	N	N	N	A
52	Tire sales and services	A	N	N	A	N	N
53	Travel agencies	P	P	P	P	P	P
54	Veterinary offices and animal hospitals	A	A ¹	C	A	C	A
	¹ . Overnight animal boarding for non-medical purposes is prohibited.						

C. Public and Semi-Public Uses

1	Day nurseries, day care schools (subject to provisions of the Municipal	A	A	A	A	A	A
---	---	---	---	---	---	---	---

Land Use	Code)	Land Use District					
		<u>VC-1</u>	<u>VC-1a</u>	<u>VC-2</u>	<u>VC-3</u>	<u>VC-4</u> ¹	<u>VC-5</u> ^{2,3}
2	Convalescent homes and hospitals	C	N	N	C	N	N
3	Clubs and lodges including YMCA, YWCA and similar youth group uses	A	N	N	N	N	A
4	Libraries	P	P	N	P	N	N
5	Educational institutions	C	C	C	C	C	A
6	Hospital, medical care facilities	N	N	N	N	N	N
7	Post office	P	P	N	P	N	N
8	Religious institutions	N	N	C	N	N	N
9	Group care facilities and residential retirement hotels	C	C	N	C	N	N
10	Utilities, public and private	P	N	N	P	N	N
11	Uses determined to be similar and consistent with the purposes of this chapter	C	P ₁	C	C	C	C
D <u>Accessory Uses</u>							
1	Accessory structures and uses located on the same site as a permitted use	P	P	P	P	P	P
2	Accessory structures and uses located on the same site as a conditional use	A	A	A	A	A	A
E <u>Temporary Uses</u>							
1	Temporary uses as prescribed in Section VI 0	P	P	P	P	P	P

¹The VC-4 is a "Project Specific Land Use," district intended only to accommodate an approximately 98,500 square-foot Kohl's department store substantially similar retail operation as Kohl's store located in Temecula, California store (31870 Redhawk Parkway, Temecula California 92592), 16,800 square feet for retail shops and restaurants. The Project Specific Land Use District will be in effect only until July 15, 2006 unless the following two requirements are met:

- 1) commence construction of the Kohl's department store no later than July 15, 2005. For purposes of this land use designation, "commence construction" means the date of commencement contained within a contract for the construction of the Kohl's building and related site improvements which has been entered into by Kohl's Department Stores; and
- 2) Kohl's department store is open for business no later than July 15, 2006

In the event that Kohl's has not commenced construction by July 15, 2005, the VC-4 "project specific land use" designation will revert back to VC-2 land use district. Furthermore, in the event that the Kohl's department store is not open for business by July 15, 2006, the VC-4 "project specific land use" designation will revert back to VC-2 land use district.

²All land uses within the VC-5 Land Use District must comply with the applicable parking standards outlined in section VIII.2 of the East Lake Business Center II PC District Regulations minus 15% reduction

³Prior to the issuance of a business license or building permit for a new or existing tenant, the Parking Availability Table (see sample below) shall be updated, to the satisfaction of the City, to reflect the required number of parking spaces for the new use or additional floor area to insure that the new parking demand does not exceed the total number of parking spaces provided

Sample Parking Availability Table

Permitted Land Use	Total Gross Floor Area by Use (s.f.)	Total Restaurant Seats	Parking Ratio (1 space / X s f)	Restaurant Parking Ratio (spaces per seat)	Required Parking (spaces)	15% Reduction	Total Parking Provided	Excess Parking Spaces
Furniture Showroom								
Medical, Dental Office								
Professional Office								
Retail								
Restaurant								
TOTAL								

III 2 Property Development Standards: Village Center Districts

The property development standards that shall apply to all land and buildings permitted in the Village Center Districts shall be those indicated on an approved site plan submitted pursuant to Section 19.14 420 through Section 19.14 480 inclusive in Title 19 of the Chula Vista Municipal Code

The following property development standards apply to all land and buildings other than accessory buildings authorized in VC-1, VC-2 and VC-5 districts Any legal lot may be used as a building site

A General Requirements

The following requirements are minimums unless otherwise stated:

		<u>VC-1</u>	<u>VC-2</u>	<u>VC-5</u>
1.	Setback from Otay Lakes Road ¹	50 feet	50 feet	50 feet
2.	Setback from Fenton Avenue** ²	NA	20 feet	20 feet
3.	Setback from SR-125 ²	50 feet	NA	NA
4.	Setback from EastLake Parkway ⁴	30 feet	30 feet	NA
5.	Building height, maximum ³	45 feet	45 feet	35 feet
6.	Side Yard Setback			10 feet
7.	Rear Yard Setback			10 feet

¹As measured from edge of curb may be modified with approval of DRC.

²As measured from right-of-way.

³Architectural features may exceed height with Design Review Approval

⁴As measured from R/W May be modified with Design Review Approval.

III 3 Performance Standards: Village Center Districts

- A. Required front and street side yards shall be landscaped. Said landscaping shall consist predominantly of plant materials except for necessary walks and drives. All planting and irrigation shall be in accordance with the City's Landscape manual. All required landscaping shall be permanently maintained in a healthy and thriving condition, free from weeds, trash and debris.
- B. The noise level emanating from any commercial use or operation shall not exceed the standards established in the Chula Vista Municipal Code.
- C. All ground mounted mechanical equipment, including heating and air conditioning units and trash receptacle areas, shall be completely screened from surrounding properties by use of a wall or fence, or shall be enclosed within a building. No material or equipment so screened shall have a height greater than that of the enclosing wall, fence or building. Structural and design plans for any screening required under the provisions of this section shall be approved by the Director of Planning.
- D. All roof appurtenances including, but not limited to, air conditioning units, and mechanical equipment shall be shielded and architecturally screened from view from on-site parking areas, adjacent public streets and residential uses within the Village Center.
- E. Reciprocal ingress and egress, circulation and parking arrangements shall be required to facilitate the ease of vehicular movement between adjoining properties.
- F. Lighting. All light sources shall be shielded in such a manner that the light is directed away from streets or adjoining properties. Illuminators should be integrated within the architecture of the building. The intensity of light at the boundary of any Village Center District shall not exceed seventy-five (75) foot lamberts from a source of reflected light.
- G. All utility connections shall be designed to coordinate with the architectural elements of the site so as not to be exposed except where required by utility provider. Pad mounted transformers and/or meter box locations shall be included in the site plan with an appropriate screening treatment.

- H Except where otherwise approved on a site plan, outdoor storage and/or sales areas shall be entirely enclosed by solid walls not less than six (6) feet in height to adequately screen outdoor storage areas. Stored materials shall not be visible above the required walls.
- I. Air Pollution There shall be no emission on any site, for more than one minute in any hour, of air contaminants which, at the emission point or within a reasonable distance of the emission point, are as dark or darker in shade as that designated as No. 1 on the Ringelman Chart as published in the United States Bureau of Mines Information Circular 7718.
- J Odor No use shall be permitted which creates odor in such quantities as to be readily detectable beyond the boundaries of the site.
- K Energy Conservation. Buildings should be located on the site to provide adjacent buildings adequate sunlight for solar access when practical. Buildings should be designed to minimize energy consumption, including but not necessarily limited to the following conservation measures:
- Cogeneration;
 - South facing windows;
 - Eave coverage for windows;
 - Earth berming against exterior walls; and,
 - Deciduous shade trees
- L Land Use Compatibility: Notwithstanding the range of uses permitted in the permitted use matrix, areas designated VC-3 that are also designated as Public/Quasi-Public on the General Development Plan shall be limited to those uses determined by the Zoning Administrator to be compatible with the Public/Quasi-Public designation.

III.4 Permitted Uses: Commercial Districts

The matrix of land uses on the following pages indicates the relative permissive status using the following symbols:

"P"	=	Permitted
"C"	=	Permitted subject to Conditional Use Permit approved by the Chula Vista Planning Commission.
"A"	=	Permitted subject to Conditional Use Permit by the Zoning Administrator
"a"	=	Permitted Accessory Use to a Permitted or Conditional Use
"N"	=	Use Not Permitted.

<u>Land Use</u>		<u>Land Use District</u>	
		<u>FC</u>	<u>PA</u>
A	Administrative and Professional Services	P	P
B	General Commercial Uses		
1	Antique shops (no outdoor storage)	P	N
2	Apparel stores	P	N
3	Art, music and photographic studios and supply stores	P	N
4	Appliance stores and repair (no outdoor storage)	P	N
5	Arcades and electronic games (see Section VI.4)	C	N
6	Athletic and health clubs	C	C
7	Automobile and/or truck services, sales, rental agencies;	C	N
8	Bakeries - retail	P	N
9	Barber and beauty shops	P	N
10	Bicycle shops, non-motorized	P	N
11	Blueprint and photocopy services	P	a
12	Book, gifts and stationery stores	P	N
13	Candy stores and confectioners	P	a
14	Car Wash subject to provisions of Section 19 58 060 CVMC	C	N
15	Catering establishments	P	N
16	Cleaners	P	N
17	Commercial recreation facilities not otherwise listed	C	N
18	Eating and drinking establishments:		
a	Bars, nightclubs cabarets	C	N
b	Restaurants, coffee shops, delicatessens:		
1)	with alcoholic beverages and/or entertainment	C	N
2)	without alcoholic beverage	C	a
c	Snack bars and refreshment stands contained within a building	P	a
d	Fast food restaurants with drive-in or drive-through	P	N
19	Equipment rental (in enclosed building only)	P	N
20	Feed and tack stores (no outside storage)	P	N
21	Florists' shops	P	a
22	Food stores, supermarkets, drug stores	P	N
23	Furniture stores (<10,000 sf)	P	N
24	Gasoline service stations	C	N
25	Hardware stores (<10,000 sf)	P	N
26	Hobby shops	P	N

<u>Land Use</u>	<u>Land Use District</u>	
	<u>FC</u>	<u>PA</u>
27 Hotels and motels (and accessory uses, including restaurant, bar, shops)	P	N
28 Janitorial services/supplies	P	N
29 Jewelry stores	P	N
30 Junior department, department stores, discount and membership department stores	P	N
31 Kiosks, and moveable vendors, including photo sales, located in parking lot	C	N
32 Liquor stores (package, off-sale only)	C	N
33 Medical and dental offices, clinics	P	P
34 Mortuaries	C	N
35 Motorcycle sales and services including motorized bicycles	P	N
36 Newspaper and magazine stores	P	a
37 Nurseries and garden supply stores in screened area	C	N
38 Office suites, general	P	P
39 Office supplies/stationery stores	P	a
40 Parking facilities (commercial)	C	C
41 Pharmacies	P	a
42 Photocopying services	P	a
43 Printing shops	P	a
44 Recycling drop-off bins	C	N
45 Retail stores and shops	P	N
46 Retail distribution centers and manufacturer's outlets which require extensive floor areas for the storage and display of merchandise, and high volume, warehouse-type sale of goods	P	N
47 Stamp and coin shops	P	N
48 Swimming pool supplies	P	N
49 Television, stereo and radio stores including sales and repair	P	N
50 Theaters	C	N
51 Tire sales and services	C	N
52 Travel agencies	P	P
53 Veterinary offices and animal hospitals	C	N
54 General offices, financial institutions, Real Estate offices, institutional offices	P	P
55 Any other retail business or service establishment supplying commodities or performing services determined by the Planning Commission to be of the same general character as the above mentioned permitted retail businesses or service uses and open during similar normal business hours	P	N

<u>Land Use</u>		<u>Land Use District</u>	
		<u>FC</u>	<u>PA</u>
C	Public and Semi-Public Uses		
1	Day nurseries, day care schools (subject to provisions of the Municipal Code)	C	C
2	Convalescent homes and hospitals	C	N
3	Clubs and lodges including YMCA, YWCA and similar youth group uses	C	C
4	Libraries	C	C
5	Educational institutions	C	C
6	Hospital, medical care facilities	C	C
7	Post office	P	P
8	Religions institutions	C	N
9	Group care facilities and residential retirement hotels	C	N
10	Utilities, public and private	C	C
11	Any other public or semi-public use determined by the Planning Commission to be of the same general character as other uses permitted by this section	C	C
D	Accessory Uses		
1	Accessory structures and uses located on the same site as a permitted or conditional use	P	P

III.5 Property Development Standards: Commercial Districts

The following property development standards apply to all land and buildings other than accessory buildings authorized in this district. Any legal lot may be used as a building site, except no building permit shall be issued for any lot having a lot size less than 6,000 square feet. Each building site shall have a minimum 20 foot wide vehicular access to the street

A. General Requirements

The following requirements are minimums unless otherwise stated:

	<u>FC</u>	<u>PA</u>
1. Lot area, net	1 ac *	1 ac *
2. Lot width (in feet)	100	150
3. Lot depth (in feet)	150	150
4. Front yard setback (in feet)	20	25
5. Side yard setback each side (in feet)	10	10
6. Public street setback (in feet)	20	20
• Otay Lakes Road	20	20
• Olympic Parkway	75**	n/a
7. Rear yard setback (in feet)	10***	10***
8. Building height, maximum	45 feet	45 feet

* Map for condominium development does not need to meet lot area requirement. Minimum lot area may be reduced to 10,000 sf for master planned building complexes, subject to approval of a Site Plan. Such Site Plan shall be for a total site of no less than 60,000 sf.

** As measured from edge of sidewalk/curb

*** Increase to 50 feet when abutting residential district

Note: Minor deviations may be approved by the Zoning Administrator with Site Plan Approval.

III.6 Performance Standards: Commercial Districts

- A. Required front and street side yards shall be landscaped. Said landscaping shall consist predominantly of plant materials except for necessary walks and drives. All planting and irrigation shall be in accordance with the City's Landscape Manual. All required landscaping shall be permanently maintained in a healthy and thriving condition, free from weeds, trash and debris.
- B. The noise level emanating from any commercial use or operation shall not exceed the standards established in the Chula Vista Municipal Code.
- C. All ground mounted mechanical equipment, including heating and air conditioning units and trash receptacle areas, shall be completely screened from surrounding properties by use of a wall or fence, or shall be enclosed within a building. No material or equipment so screened shall have a height greater than that of the enclosing wall, fence or building. Structural and design plans for any screening required under the provisions of this section shall be approved by the Director of Planning.
- D. All roof appurtenances including, but not limited to, air conditioning units, and mechanical equipment shall be shielded and architecturally screened from view from on-site parking areas, adjacent public streets and residential uses within the Village Center.
- E. Reciprocal ingress and egress, circulation and parking arrangements shall be required to facilitate the ease of vehicular movement between adjoining properties.
- F. Lighting. All light sources shall be shielded in such a manner that the light is directed away from streets or adjoining properties. Illuminators should be integrated within the architecture of the building. The intensity of light at the boundary of any Commercial District shall not exceed seventy-five (75) foot lamberts from a source of reflected light.

- G. All utility connections shall be designed to coordinate with the architectural elements of the site so as not to be exposed except where required by utility provider. Pad mounted transformers and/or meter box locations shall be included in the site plan with an appropriate screening treatment.
- H. Except where otherwise approved on a site plan, outdoor storage and/or sales areas shall be entirely enclosed by solid walls not less than six (6) feet in height to adequately screen outdoor storage areas. Stored materials shall not be visible above the required walls. Permanent outdoor sales areas shall be screened to improve site aesthetics when viewed from a distance, but the screening materials are not required to be solid or opaque, and may allow filtered close-range views of the materials for sale. Screening materials and design shall be consistent with the architecture/materials of the adjacent building.
- I. Air Pollution. There shall be no emission on any site, for more than one minute in any hour, of air contaminants which, at the emission point or within a reasonable distance of the emission point, are as dark or darker in shade as that designated as No. 1 on the Ringelman Chart as published in the United States Bureau of Mines Information Circular 7718.
- J. Odor. No use shall be permitted which creates odor in such quantities as to be readily detectable beyond the boundaries of the site.
- K. Energy Conservation. Buildings should be located on the site to provide adjacent buildings adequate sunlight for solar access when practical. Buildings should be designed to minimize energy consumption, including but not necessarily limited to the following conservation measures:
 - 1 Cogeneration;
 - 2 South facing windows;
 - 3 Eave coverage for windows;
 - 4 Earth berming against exterior walls; and,
 - 5 Deciduous shade trees

SECTION IV. BUSINESS CENTER DISTRICTS

IV.0 Purpose

In addition to the objectives outlines in Section I 0 (Purpose and Scope), the Business Center Districts are included to provide for a quality working environment and to achieve a harmonious mixture of uses which might otherwise be considered incompatible when located in close proximity. Activities are intended to promote employment opportunities in manufacturing, service, research and development, engineering and wholesale trade. In addition, the Business Center Districts are included to advance the following objectives:

- To reserve appropriately located areas for industrial use and protect these areas from intrusion by dwellings and other non-harmonious uses;
- To protect residential and commercial uses from noise, odor, dust, smoke, light intrusion, truck traffic and other objectionable influences and to prevent fire, explosion, radiation and other hazards incidental to certain industrial activities;
- To promote sufficient open space around industrial structures to protect them from hazard and to minimize the impact of industrial operations on nearby residential or commercial districts; and
- To minimize traffic congestion and avoid overloading utilities by restricting construction of buildings of excessive size in relation to the amount of land around them

A Business Center Manufacturing Park District (BC-1)

This district is intended as an area for modern industrial, research, and administrative facilities which can meet high performance and development standards

B Business Center Manufacturing Service District (BC-2)

This district is intended as an area for light industrial and limited service commercial uses which can meet high performance and development standards

C. Business Center Core Districts (BC-3 and BC-4)

These districts are intended as an area for modern light industrial, administrative and service uses as a transition from the Village Center Commercial Districts and the BC-1 & BC-2 Districts

The Business Center District areas (BC-1, BC-2, BC-3 and BC-4) of the EastLake Business Center have been included and constitute a portion of the High Tech/Bio Tech Zone, an area of the City of Chula Vista, the territory of which is shown on the Land Use Districts exhibit, within which certain qualifying high technology, bio-technical and bio-medical uses are encouraged to locate by providing to those businesses economic and land use processing incentives.

IV.1 Permitted and Conditional Uses: Business Center Districts

The following uses shall be permitted uses where the symbol "P" appears and shall be permitted uses subject to a Conditional Use Permit where the symbol "C" appears. Uses where the symbol "A" appears shall be subject to an Administrative Review. Uses where the symbol "N" appears are not permitted. Uses where the symbol "a" appears are only permitted as an accessory use to a basic permitted use. Uses where the symbol "A" appears shall be subject to an Administrative Design Review/Conditional Use Permit or Variance

<u>Land Use</u>		<u>Land Use District</u>			
		<u>BC-1</u>	<u>BC-2</u>	<u>BC-3</u>	<u>BC-4</u>
A	Manufacturing				
1.	Manufacturing, compounding, assembly or treatment of articles or merchandise from the following previously prepared typical materials such as canvas, cellophane, cloth, cork, felt, fiber, fur, glass, leather, paper (no milling), precious or semi-precious stones or metals, plaster, plastics, shells, textiles, tobacco, wood, and yarns; novelty items (not including fireworks or other	P	C	C	C

Land Use		Land Use District			
		BC-1	BC-2	BC-3	BC-4
	explosive type items)				
2	Electrical and related parts; electrical appliances, motors and devices; radio, television, phonograph and computers; electronic precision instruments; medical and dental instruments; timing and measuring instruments; audio machinery; visual machinery; cosmetics, drugs, perfumes, toiletries and soap (not including refining or rendering of fat or oils)	P	C	C	C
3	Furniture upholstery	P	C	C	C
4	Rubber and metal stamp manufacturing	P	C	C	C
5	Laboratories; chemical	C	C	C	C
6	Laboratories; dental, electrical, optical, mechanical and medical	P	P	P	P
7	Bottling plants	P	P	P	P
8	Cement products manufacturing	N	C	N	N
9	Pharmaceuticals; laboratories and manufacturing	P	P	P	P
B Storage and Wholesale Trades					
1.	Mini-storage, public storage and storage warehouses	C	P	N	N
2.	Moving and storage firms	C	P	N	N
3.	Building materials and lumber storage yards and/or contractors' yards	N	C	N	N
4	Building equipment storage, sales, rentals	N	C	N	N
5	Automobile fleet storage	C	C	N	N
6	Trailer, truck, or bus terminal	C	C	C	N
C Services					
1.	Animal hospital or veterinary clinic and/or office	P	P	P	P
2.	Automobile and/or truck services including but not limited to: sales, rental agencies, body repair, painting and car washes	N	C	N	N
3	Blueprinting and photocopying	P	P	P	P
4	Cleaning and dyeing plant	N	C	C	C
5.	Distributors, showrooms and automobile offices	P	P	P	P
6.	Eating and drinking establishments:				
a	Bars	C	C	C	C
b	Restaurants, coffee shops, delicatessens:				
	1) With alcoholic beverages	C	C	C	C
	2) Without alcoholic beverages	A	A	A	A
c	Snack bars, take-out only; refreshment stands within a building	P	P	P	P

Land Use			Land Use District			
			BC-1	BC-2	BC-3	BC-4
	d	Fast food restaurants with drive-in or drive-through	C	C	N	N
7.		Furniture sales, new and used (no outdoor sales or display)	P	P	P	P
8.		Gasoline dispensing and/or automobile service station	C	C	N	N
9.		Kennels	N	C	N	N
10		Heliports	C	C	C	C
11		Motels, hotels and convention centers	C	C	C	C
12		Newspaper publishing, printing, and distribution, general printing and lithography	P	P	P	P
13		Offices, businesses, medical, professional, real estate and research	P	P	P	P
14		Retail commercial when in conjunction with a permitted or conditional use	P	P	P	P
		Commercial recreation facilities	N	N	C	C
		Janitorial services/supplies	N	N	C	C
		Medical facilities, offices, clinics, convalescent homes, hospitals, group care, and similar related facilities.	N	N	C	C
D High-Technology Uses						
		Research, development and manufacturing of advanced technology products (such as but not limited to systems, subsystems, components, peripherals and accessories), inclusive of prototype and experimental products, utilized in the fields of aerospace, avionics, computers, electronics, advanced materials, defense industries, communications, energy and environmental systems, transportation, telecommunication, optics/laser, fiber optics, optoelectrics, video, imaging, magnetics, oceanography, and other related fields	P	P	P	P
E Bio-Technical Uses						
		Research, development and manufacturing of health care, food safety, nutrition, agriculture productivity and industrial and environmental improvement products, inclusive of prototype and experimental products involving use of organic, chemical, and biological processes	P	P	P	P
F Bio-Medical Uses						
		Research, development and manufacturing of organic drug delivery systems and diagnostic and therapeutic products, inclusive of prototype and experimental products, utilized in the field of medical care	P	P	P	P
G Public and Semi-Public Uses						
1.		Day nurseries, day care schools and nursery schools	A	A	A	A

Land Use			Land Use District			
			<u>BC-1</u>	<u>BC-2</u>	<u>BC-3</u>	<u>BC-4</u>
	2	Post offices and post office terminals	A	C	C	C
	3	Public utility pumping stations, equipment building and installation	A	A	A	A
	4	Public utility service yards	N	C	C	C
	5	Educational institutions, libraries, public or private including vocational schools	C	C	C	C
	6	Clubs, Churches, and lodges, including YMCA, and similar youth group uses.	C	N	A	A
H. Other						
	1.	Uses determined to be similar and consistent with the purpose of this chapter	C	C	C	C
I. Accessory Uses						
	1	Accessory structures and uses located on the same lot as permitted or conditional use	P	P	P	P
	2	Incidental services for employees on a site occupied by a permitted or conditional use, including day care, recreational facilities, showers and locker rooms	P	P	P	P
	3.	Watchman's or caretaker's living quarters only when incidental to and on the same site as a permitted or conditional use	A	A	A	A
J Temporary Uses						
	1	Temporary uses as prescribed in Section VI O	P	P	C	A

IV.2 Property Development Standards: Business Center Districts

The following property development standards apply to all land and buildings other than accessory buildings authorized in this district. Any legal lot may be used as a building site, except no building permit shall be issued for any lot having a lot size less than 6,000 square feet. Each building site shall have a minimum 20 foot wide vehicular access to the street.

A General Requirements

The following requirements are minimums unless otherwise stated:

	<u>BC-1</u>	<u>BC-2</u>	<u>BC-3</u>	<u>BC-4</u>
1 Lot area, net ¹	1 ac.	1 ac.	1 ac.	1 ac.
2 Lot width (in feet)	100	150	150	150
3 Lot depth (in feet)	150	150	150	150
4 Front yard setback (in feet)	20	25	25	25 ⁵
5 Side yard setback each side (in feet)	10	15	15	15 ⁵
6 Public street setback (in feet)	20	20	20	20 ⁵
7 Rear yard setback (in feet) ²	10	10	10	10 ⁵
8 Building height, maximum	35 feet or 2 stories, whichever is less ^{3 & 4}	35 feet or 2 stories, whichever is less ^{3 & 4}	60 feet ^{3 & 4}	35 feet ⁵
9 Lot coverage (percent, net)	60	70	70	70

¹ Map for condominium development does not need to meet lot area requirement. Minimum lot area may be reduced to 10,000 sf for master planned building complexes, subject to approval of a Precise Plan. Such Precise Plan shall be for a total site of no less than 60,000 sf.

² May be reduced to zero (0) with Site Plan approval for the purpose of this provision, lot means the minimum lot width and depth specified in the above minimum property development standards. Rear yard setback shall be a minimum of 20' along the northern boundary of the Business Center II SPA abutting Rolling Hills Ranch.

³ Height limit for buildings on lots within Business Center II, that are not adjacent to the external boundary of the Business Center II SPA, may be considered to be increased subject to subsequent environmental analysis of the project specific Design Review application. For the purpose of this provision, "lot" means the minimum lot width and depth specified in the above minimum property development standards.

⁴ Additional building height, up to 60', may be approved with Design Review approval, and must be consistent with the Design Guidelines established for this planning area.

⁵ Height limit for buildings within the BC-4 District may be increased to 76 feet with approval of the Design Review Committee and provided that buildings taller than 35 feet comply with the following additional requirements:

A The building setbacks adjacent to residential district and scenic highways shall increase at a ratio of 1:1 and shall be measured from property line (except along Otay Lakes Road shall be measured from top of slope, regardless of where property line is located).

B Building design shall be subject to the design criteria contained in the Eastlake Business Center II Design Guidelines

The Design Review Committee, at their discretion, may authorize minor deviations from the building setback ratio, if the architectural composition, style and overall concept, merits such deviation.

B Special Requirements

1. Along all street frontages situated across from any residentially zoned property, a minimum three foot high landscaped earthen berm shall be constructed along all other lot lines adjacent to residential districts, a maximum eight (8) foot high wall may be constructed if required following Director of Planning review. Fences should blend in with the site's architecture.
2. Streetscapes shall be enhanced to provide an easy transition from the street to the building. Patios, circulation and parking spaces can be included in setback areas to help buffer adjoining parcels from one another.
3. Reciprocal ingress and egress, circulation and parking arrangements shall be required where possible and feasible to facilitate vehicular movement between adjoining properties and to limit superfluous driveways.

IV.3 Performance Standards: Business Center Districts

- A In all Business Center Districts the required setbacks shall be landscaped. Landscaping shall consist predominantly of plant materials and shall be irrigated by automatic sprinklers. All planting and irrigation shall be in accordance with the City's Landscape Manual. All landscaping shall be permanently maintained in a clean, healthy and thriving condition, free of weeds, trash and debris.
- B All ground mounted mechanical equipment, including heating and air conditioning units and trash receptacle areas, shall be completely screened from surrounding properties by use of a parapet, wall or fence, or shall be enclosed within a building. Exposed gutters, downspouts, vents, louvers and other similar elements shall be painted to match the surface to which they are attached unless they are used as part of the design theme.
- C All utility connections shall be designed to coordinate with the architectural elements of the site so as not to be exposed except where required by utility provider. Pad-mounted transformers and/or meter box locations shall be included in the site plan with an appropriate screening treatment.
- D Lighting. All light sources shall be shielded in such a manner that the light is directed away from streets and adjoining properties. Illuminators shall be integrated within the architecture of the building. The intensity of the light at the boundary of any Business Center District shall not exceed seventy-five (75) foot lamberts from a source of reflected light.
- E Electrical Disturbance, Heat and Cold, Glare. No use except a temporary construction operation shall be permitted which creates changes in temperature or direct glare, detectable by the human senses without the aid of instruments, beyond the boundaries of the site. No use shall be permitted which creates electrical disturbances that affect the operation of any equipment beyond the boundary of the site.
- F Fire and Explosive Hazard. All uses involving inflammable and explosive materials shall be subject to initial and continued compliance with all applicable State regulations contained in the California Code of Regulations and the Uniform Fire Code.
- G Noise. The acceptable outdoor noise exposure levels, measured at the property line, for the Business Center districts are given in the following table. (See amended Chapter 19.66 CVMC for definitions and additional details.)

Exterior Noise Limits*

<u>Receiving Land Use District</u>	<u>10 p.m. - 7 a.m.</u>
BC-1, BC-2, BC-3 & BC-4	70 dbA

*Environmental Noise - Leg in any hour

*Nuisance Noise - not exceeded at any time

- H Odor. Any use involving the creation or emission of odorous gases or other odorous matter shall be subject to initial and continuous compliance with all applicable County regulations including, but not limited to, Rule 51 of the San Diego County Air Pollution Control District (APCD) regulations.
- I Radioactivity. Any use involving radioactive materials shall be subject to initial and continued compliance with all applicable State regulations including, but not limited to, Title 17 of the California Code of Regulations and Uniform Fire Code.
- J Vibration. No use except a temporary construction operation shall be permitted which generates inherent and recurrent ground vibration perceptible, without instruments, at the boundary of the lot on which the use is located.
- K In any Business Center District, the conversion of a project to condominium ownership shall meet all the requirements of the zone to the maximum extent possible. Specific City Council waiver shall be required where the zone requirements cannot be met.
- L Air Pollution. Emission of air contaminants shall be subject to initial and continued compliance with all applicable County regulations including, but not limited to, Rule 50 of the San Diego County Air Pollution Control District (APCD) regulations.
- M Outdoor Storage Areas shall be entirely enclosed by solid walls not less than eight (8) feet in height to adequately screen views from the external boundaries of the property.

N Energy Conservation. Buildings shall be located on the site to provide adjacent buildings adequate sunlight for solar access when practical. Buildings should be designed to minimize energy consumption, including, but not necessarily limited to the following conservation measures:

- Cogeneration;
- South facing windows;
- Eave covering for windows;
- Earth berming against exterior walls; and,
- Deciduous shade trees

O. Toxic Materials. Any use involving hazardous materials shall be subject to initial and continued compliance with all applicable State regulations including, but not limited to, those contained in the California Code of Regulations, State Health and Safety Codes, and the Uniform Fire Code.

P Liquid or Solid Waste. The discharge or deposit of liquid or solid wastes shall be subject to the provisions of Section 19 66.150 CVMC

NOTE: With the exception of the Uniform Building Code and Uniform Fire Code, the above referenced State and County regulations shall not be administered by City departments/agencies

SECTION V. SPECIAL PURPOSE DISTRICTS

V.0 Purpose

These districts are intended for general agriculture, open space, public and quasi-public uses. Only those additional uses which are complementary to, and can exist in harmony with, open space are permitted. For the open space districts, there is no lot size limitation and it is the intent that these districts may be applied to a portion of a lot provided that the remainder of the lot meets the requirements for which it is zoned.

In addition to the objectives outlined in Subsection 1.0 (Purpose and Scope), the Open Space District is included in the Planned Community District Regulations to achieve the following purposes:

- To preserve open space for the conservation of natural resources;
- Maintain the natural character of the land;
- Provide for public/quasi-public and recreational uses;
- Conserve areas of historic and community significance for the enjoyment of future generations;
- Provide for private use of land under limited development; and
- Promote public health and safety.

V.1 Permitted and Conditional Uses: Open Space Districts

The following uses shall be permitted uses where the symbol "P" appears and shall be permitted uses subject to a Conditional Use Permit where the symbol "C" appears. Uses where the symbol "A" appears shall be subject to an Administrative Review. Uses where the symbol "N" appears are not permitted.

<u>Land Use</u>	<u>OS-1</u>	<u>OS-2</u>	<u>OS-3</u>	<u>OS-4</u>	<u>OS-5</u>	<u>OS-6</u>	<u>OS-7</u>
Agriculture - Interim	A	A	A	A	A	A	A
Arboreta (horticultural garden)	A	A	A	P	A	P	P
Christmas tree sales	A	N	A	A	A	A	A
Commercial equestrian facilities	N	N	N	N	N	N	A
Conference facilities	N	N	N	N	N	C	C
Field crops	A	N	A	A	A	N	A
Fruit and vegetable stands	N	N	C	N	A	N	A
Golf course/Country Club	N	N	N	N	N	P	A
Health Club/Spa	N	N	N	P	N	P	P
Heliport	N	N	N	N	C	C	C
Hotel/Motel/Lodging facilities	N	N	N	N	N	C	C
Incidental concessions	N	N	N	P	P	P	P
Parks and recreation facilities	P	P	P	P	P	P	P
Public and quasi-public uses	C	C	A	C	P	A	A
Temporary tract signs and offices	A	A	A	A	A	A	A
Tree farming	A	A	A	A	A	A	A
Utilities (public and private)	P	P	P	P	P	P	P

V. 2 Permitted and Conditional Uses: Quasi-Public Facilities (PQ),

The following uses shall be permitted uses where the symbol "P" appears and shall be permitted uses subject to a Conditional Use Permit where the symbol "C" appears. Uses where the symbol "A" appears shall be subject to an Administrative Review. Uses where the symbol "N" appears are not permitted. Uses where the symbol "a" appears are only permitted as an accessory use to a basic permitted use.

<u>Land Use</u>	<u>PQ</u>
Agriculture - Interim	A
Arboreta (horticultural garden)	P
Christmas tree sales	A
Church/Religious Institution	P
Church related schools	C
Club, lodge, fraternal organization	A
Community Facility	P
Crops, Field	N
Fruit and vegetable stands	C
Grading and Infrastructure Improvements	P
Incidental Concessions	A
Parks and Recreation Facilities	P
Public and Quasi-public uses	P
Temporary tract signs and offices	A
Utilities (public and private)	P
Senior Care and recreation	P
Day Care Facilities	a
Recreation, non-profit, such as ball fields ¹	P

¹ Subject to the requirements outlined in Section 19.48.040 (B) (6) (d) CVMC

V. 3 Community Purpose Facilities (CPF) District Regulations

Lands designated "CPF" shall be subject to the applicable provisions in Title 19 of the Chula Vista Municipal Code for "Community Purpose Facilities", including, but not limited to, Section 19.48.020 through 19.48.025.

Permitted and Conditional Uses: Community Purpose Facilities (CPF) Districts

The following uses shall be permitted uses where the symbol "P" appears and shall be permitted uses subject to a Conditional Use Permit where the symbol "C" appears. Uses where the symbol "A" appears shall be subject to an Administrative Review. Uses where the symbol "N" appears are not permitted. Uses where the symbol "a" appears are only permitted as an accessory use to a basic permitted use.

	<u>CPF</u>
1 Boy Scouts, Girl Scouts and other similar organizations	C
2 Social and human service activities, such as Alcoholics Anonymous	C
3 Services for homeless	C
4 Services for military personnel during the holidays	C
5 Senior care and recreation	C
6 Worship, spiritual growth and development, and teaching of family values	C
7 Day care facilities that are ancillary to any of the above	C
8 Private schools that are ancillary to any of the above	C
9 Interim uses, subject to the findings outlined in 19.48.025(E)	C
10 Recreation facilities, such as ballfields, for non-profit organizations serving the local community, subject to the requirements outlined in 19.48.004 (B)(6)(d)	C

V. 4 Property Development Standards: Special Purpose Districts

A The following regulations shall apply to the site of a Permitted or Conditional Use. The requirements are minimum unless otherwise stated

1 Density - Maximum Dwelling unit per legal lot	0
2 Lot width (in feet)	None Required
3 Lot depth (in feet)	None Required
4 Front yard setback (in feet)	20
5 Rear yard setback (in feet)	20
6 Side yard setback (in feet) each side	20/10
7 Building height	35 feet or two stories, whichever is less

V. 5 Signs: Special Purpose Districts

Signs approved as a component of a SPA Plan (or Comprehensive Sign Program) shall be permitted within open space districts included within the SPA. Other signs shall be permitted only as provided in Section VII of these regulations

SECTION VI. SPECIAL USES AND CONDITIONS

The provisions of this ordinance shall apply to the uses and conditions hereinafter enumerated. Where this section prescribes regulations more restrictive than the land use district in which a use or conditional use is permitted, the provisions of this section shall apply.

VI.0 Temporary Uses

The provisions of this Section shall be known as the Temporary Use Regulations and shall provide regulations for the uses hereinafter enumerated. Where this Section prescribes regulations more restrictive than the zone in which a use or conditional use is permitted, the provisions of this Section shall apply. Temporary uses are subject to approval by the Director of Planning, except as noted.

A. Temporary Uses Listed

1. Circuses, rodeos, parades or similar outdoor entertainment or enterprises, subject to not more than five (5) calendar days of operation in any calendar year. Requests exceeding these limitations will require the submittal and approval of a conditional use permit.
2. Christmas tree sales lots, Halloween pumpkin sales, and other holiday sales subject to not more than forty (40) calendar days of site occupation and operation in any calendar year.
3. Subdivision sales offices, sales information centers, sales pavilions, and model home complexes located within the subdivision, subject to the following minimum requirements:
 - a. Offices shall be no closer than one vacant lot to an existing dwelling unit not part of the subdivision, trailers may be used for no more than ninety (90) calendar days or until such time as the subdivision sales offices have been completed, whichever is less;
 - b. An AC paved parking lot shall be provided with sufficient parking spaces to accommodate said use;
 - c. Offices shall be allowed for a maximum of four years;
 - d. Faithful performance bonding in an amount appropriate to guarantee removal and/or conversion of the sales office and attendant facilities shall be required; and,
 - f. Other conditions that the Director of Planning deems necessary to assure that the sales office will not constitute a nuisance or be objectionable to the residential uses in the neighborhood.
4. Outdoor art and craft shows and exhibits, subject to not more than three (3) calendar days of operation or exhibition in any sixty (60) calendar day period.
5. Contractors' offices and storage yards on the site of an active construction project.
6. Mobile home residences for security purposes on the site of an active construction project.
7. Outdoor display and sales located within commercially zoned properties not to exceed more than five (5) calendar days in any sixty (60) calendar days and subject to appropriate conditions of the Planning Department.
8. Seasonal retail sales of agricultural products (fruit and vegetable stands) for periods of less than ninety (90) days, if said products are raised on the premises.
9. Temporary use of properly designed mobile trailer units for classrooms, offices, banks, etc., for periods not to exceed ninety (90) days subject to Administrative Review. Requests for such uses of more than ninety days duration shall require approval of a Conditional Use Permit by the Planning Commission. Such units shall meet all necessary requirements of building, fire and health codes.
10. For any agricultural and animal husbandry activity or project (4-H, FFA, or similar) conducted for educational purposes or school credits, a permit may be granted in any district when the Director of Planning determines that such use will not cause a public nuisance relative to sanitation and health conditions.

- 11 Charitable or school sponsored drop-off bins for recycling of cans, newspapers or similar items, or for drop-off of clothes and small items. Bins shall be located in the parking lots of businesses or other public or semi-public property on a temporary basis when written permission is granted by the property or business owner. Said bins shall be kept in a neat and orderly manner.
- 12 Additional uses determined to be similar to the foregoing in the manner prescribed by Section I 4 of these regulations.

B. Permits and Bonds

All temporary uses shall be subject to the issuance of a Temporary Use Permit by the Director of Planning and other necessary permits and licenses, including but not limited to building permits, sign permits, and solicitors or vending licenses. In the issuance of such a permit, the Director of Planning shall indicate the permitted hours of operation and any other conditions, such as walls or fences and lighting, which are deemed necessary to reduce possible detrimental effects to surrounding developments and to protect the public health, safety and welfare. Prior to the issuance of a permit for a temporary use, except those listed under C, F, G, K and L above, a cash deposit may be required to be deposited by the City. This cash deposit shall be used to defray the costs of clean-up of the property by the City in the event the Permittee fails to do same.

C. Extension or Modification of Limits

Upon written application, the Director of Planning may extend the time within which temporary uses may be operated, or may modify the limitations under which such uses may be conducted if the Director of Planning determines that such extension or modification is in accord with the purposes of the zoning regulations.

D. Condition of Site Following Temporary Usage

Each site occupied by a temporary use shall be left free of debris, litter, or any other evidence of the temporary use upon completion or removal of the use, and shall thereafter be used only in accord with the provisions of the zoning regulations.

E. Fee

The application shall be accompanied by a fee established by the Master Fee Schedule to cover the cost of processing the application prescribed in this section. This fee may be waived by the approving authority for charitable groups that do not need any public services.

VI. 1 Home Occupations

- A.** Home occupations may be permitted only when in compliance with the conditions listed herein. A permit must be issued by the Director of Planning prior to operation of such use. The fee shall be in accordance with the Master Fee Schedule.

- 1 There shall be no stock in trade or exterior storage of materials in the conduct of a home occupation.
- 2 A home occupation shall be conducted entirely within a dwelling; if in an attached or a detached garage, it shall not impede the use of said garage for vehicle storage.
- 3 Electrical or mechanical equipment which creates visible or audible interference in radio or television receivers or causes fluctuations in line voltage outside the dwelling unit, shall be prohibited.
- 4 Only the residents of the dwelling unit may be engaged in the home occupation.
- 5 There shall be no sale of goods on the premises.
- 6 The establishment and conduct of a home occupation shall not change the principal character or use of the dwelling unit involved.
- 7 There shall be no signs other than those permitted by this ordinance.
- 8 The required residential off-street parking shall be maintained.

9. A home occupation shall not create vehicular or pedestrian traffic in excess of that which is normal for the land use district in which it is located
10. No vehicles or trailers (including pick-up trucks and vans) or construction or other equipment, except those normally incidental to residential use, shall be kept on the site

VI .2 Recreational Courts

Construction of recreation courts, including necessary fencing and lighting, may be permitted subject to administrative review and a finding that adjacent properties will not be unduly affected

Recreation courts shall meet the following minimum standards:

- A. A maximum 20-foot high fence (measured from the finished grade of the court) shall be allowed. Fences shall include a screening material which screens the court activity from off-site view and which improves the appearance of the fence
- B. Setbacks for the court shall be:
 - Side yard: 10 feet
 - Rear yard: 10 feet
- C. Maximum of eight (8) lights permitted, height not to exceed 22 feet All lights and light fixtures shall be certified by a qualified lighting engineer to:
 - 1 Be designed, constructed, mounted and maintained such that, the light source is cut off when viewed from any point five (5) feet above the ground measured at the lot line.
 - 2 Be designed, constructed, mounted and maintained such that the maximum illumination intensity measured at the wall of any residential building on abutting property shall not exceed 2 foot candle above ambient levels
 - 3 Be used between 7:00 a.m. and 10:00 p.m.
- D. The surface area of any recreational court shall be designed, painted, colored and/or textured to reduce the reflection from any light incident thereon
- E. Landscaping shall be installed as required between the fence and the property line

VI .3 Kennels - Commercial and Non-commercial

The following regulations are established for operation and maintenance of commercial and non-commercial kennels in the Manufacturing Service Land Use Districts pursuant to Section IV 1 C 9.

- A. Animal runs shall meet the following minimums:
 - 1 Minimum sizes:
 - 3'0" x 5'0" for small size animals
 - 3'0" x 9'0" for medium size animals
 - 9'0" x 9'0" for large size animals
 2. Animal runs shall be constructed and/or coated with non-porous material to discourage the breeding of ticks and other similar pests
 - 3 All animal runs and animal holding areas shall have concrete or other durable flooring sloped for proper drainage
 4. All animal runs shall be provided with adequate enclosures to provide protection from inclement weather
 - 5 All animal runs shall be provided with drains sufficient to control drainage and daily washing of the runs.
 6. All animal runs shall be washed down daily to control odor, flies and the breeding of ticks, fleas, bacteria and other similar pests

- B. All kennels shall be served by sewer and/or all excrement produced by said kenneled animals shall be dispersed on a regular basis so as to control flies and odor, or stored in an enclosed container and dispersed on a regular basis.
- C. All noise shall be sound attenuated so that the noise level measured at the property line is within the ambient level for the land use district in which the site is located
- D. No animal runs, exercise areas or keeping of the kenneled animals for commercial and non-commercial purposes shall be located within the required front, street side or side yards of the land use district in which the site is located

VI. 4 Arcades

- A. In order to minimize adverse effects that arcades and electronic games may have on the neighborhood or area in which it is located, the following regulations are established. Arcades may be permitted only in the Village Center Commercial land use district subject to a conditional use permit and to the conditions listed herein:
 - 1. All such facilities shall provide parking with ingress and egress designed so as to minimize traffic congestion; shall be not less than twenty feet away from any adjacent residential zone; and shall show that adequate controls or measures will be taken to prevent offensive noise and vibration. Should the Municipal Code be amended to provide additional regulation of these uses, such amendments shall apply to arcade or similar uses within EastLake II.
 - 2. The operation of four or less machines shall be permitted provided their operation is ancillary to the use of the building and said use does not materially alter the principal use of such a building. The operation of four or less machines where they are the principle use may be approved by the Director of Planning where, in his judgment, the location does not constitute a traffic or safety hazard to the public or abrogate the intent of the regulations contained in this section

SECTION VII. COMPREHENSIVE SIGN REGULATIONS

VII.0 Purpose

The provisions of Sections VII 0 through VII 3, inclusive, shall be known as the Comprehensive Sign Regulations. It is the purpose of these provisions to establish a comprehensive system for the regulation of on-site and off-site signs.

The City of Chula Vista recognizes the need for signs as a means to identify businesses within the community. However, the City also recognizes that signing is an important design element of the physical environment. Regulations consistent with the goals and objectives of the community are necessary to ensure that the character and image the community is striving for can be attained.

It is the purpose of this chapter to make EastLake II attractive to residents, visitors, and commercial, industrial and professional businesses while maintaining economic stability through an attractive signing program. Specifically, the purposes of this chapter are to:

- Protect the general public health, safety and welfare of the community;
- Reduce possible traffic and safety hazards through good signing;
- Direct persons to various activities and uses, in order to provide for maximum public convenience;
- Provide a reasonable system of sign regulations, to ensure the development of a high quality visual environment;
- Encourage signs which are well designed and pleasing in appearance and to provide incentive and latitude for variety, good design relationship to the business or use it identifies, and spacing between signs and buildings;
- Encourage a desirable urban character which has a minimum of clutter;
- Enhance the economic value of the community and each area, business and use thereof, through the regulation of such elements as size, number, location design and illumination of signs; and,
- Encourage signs which are well located, and take in to account the service and usage of adjacent areas

VII.1 Permit Requirement and Review

A Sign Permit Required

A sign permit shall be required in accordance with Section 19 60.030 of the Municipal Code for any sign except as follows; provided, however, any signage in excess of the specific exemption listed below is prohibited:

1. Permanent window signage not exceeding twelve (12) square feet per business frontage and limited to the name of the business, service, or use, hours of operation, address and emergency information, except exposed neon tubing signs advertising products for sale on the premises, are permitted as permanent signs
2. Temporary advertising signage painted on the window or constructed of paper, cloth, or similar expendable material affixed on the window, wall or building surface, provided that all of the following conditions are met:
 - a. The total area of such signs shall not exceed twenty-five (25) percent of the window area; however, in all cases, twelve (12) square feet per business frontage is permitted.
 - b. Such signs shall be affixed to the surface for no more than thirty (30) continuous calendar days but for not more than sixty (60) days each calendar year, to promote a particular event or sale of product or merchandise.
3. Real Estate Signs for Residential Sales: One (1) sign per street frontage not exceeding four (4) square feet in area and five (5) feet in height, provided it is unlit and is removed within fifteen (15) days after the close of escrow or the rental or lease has been accomplished. Signs placed on the rear street frontage are prohibited. Open House signs not exceeding four (4) square feet in area

and five (5) feet in height are permitted for directing prospective buyers to property offered for sale.

4. Political signs: Political signs having to do with any issue, ballot measure, political statements and expressions, or candidate in any Municipal, County, State or Federal election shall be permitted subject to the following provisions and any other applicable provisions within this chapter.
 - a. Any person, party or group posting signs in the City shall abide by the provisions herein set forth.
 - b. All political signs shall be placed, erected, constructed, painted or assembled, no earlier than thirty (30) calendar days prior to the election and shall be removed no later than ten (10) calendar days following the date of the election
 - c. A political sign shall not exceed thirty-two (32) square feet in total area for one side; double-faced signs shall not exceed thirty-two (32) square feet per side. No signs shall be placed in a manner that would obstruct visibility of or impede pedestrian or vehicular traffic, or to endanger the health, safety, or welfare of the community
 - d. All political signs shall not exceed an overall height of eight (8) feet from the finished grade immediately around the sign
 - e. No political signs shall be lighted either directly or indirectly unless said sign is erected, painted or constructed on an authorized structure already providing illumination
 - f. No political sign shall be placed or affixed to a traffic signal, street light, tree, fence, utility pole or existing sign, nor shall be posted on any public property or in the public right-of-way, if in the opinion of the Director of Planning, said sign impedes or renders dangerous public access to any public improvement, including but not limited to utility poles and fire hydrants; or obstructs the vision of any sign designed to regulate, control or assist public or private transportation or obstructs the vision of any user of a public right-of-way.
 - g. No political sign shall be posted in violation of any provisions of this chapter. Further, the Director of Planning or his designee shall have the right to remove all signs placed contrary to the provisions of this section. Any political sign placed on private property without the consent of said private property owner may be removed by said owner or representative of said owner.
5. Contractor or Construction Signs: For residential projects greater than four (4) dwelling units, commercial and industrial projects, two (2) directory signs shall be permitted on the construction site for all contractors (may include financial institutions, real estate agents, subcontractors, etc.) not exceeding thirty-two (32) square feet each, unless legally required by government contracts to be larger. No sign shall exceed eight (8) feet in overall height and shall be located no closer than ten (10) feet to any property line. Such sign shall be removed upon the granting of occupancy by the City. For all other projects, a total of two (2) signs per development site may be installed with a maximum of four (4) square feet in area and five (5) feet in height for each sign. Such sign(s) shall be removed upon finalization of building permits
6. Future Tenant Identification Sign: Future tenant identification signs may be placed on vacant or developing property to advertise the future use of an approved project on the property and where information may be obtained. Such signs shall be limited to one (1) per fronting street and to a maximum of ninety-six (96) square feet in area and twelve (12) feet in overall height each. Further, such signs shall be placed no closer than ten (10) feet to any property line. Any such sign shall be removed upon finalization of building permits. Where a project has in excess of 600 lineal feet of frontage, one additional sign for each 600 lineal feet is allowed
7. Real Estate Signs for Sale of Commercial or Industrial Property: One (1) sign per street frontage not to exceed thirty-two (32) square feet in area to advertise the sale, lease or rent of such property. No such sign shall exceed eight (8) feet in overall height and shall not be located within the public right-of-way. Where a property has in excess of 600 lineal feet of frontage, one additional sign for each 600 lineal feet is allowed

8. Interior signs within a structure or building when not visible or readable, nor intended to be read from off-site or from outside of the structure or building
9. Identification signs for a business, service or use no greater than four (4) square feet in area may be permitted. Said signs shall not be visible from the public right-of-way, shall be attached to the main building, shall be for pedestrian traffic, and shall not otherwise require a building permit
10. Memorial tablets, plaques, or directional signs for community historical resources, installed by a City recognized Historical Society or civic organization.
11. Convenience signs and secondary directional signs not exceeding four (4) square feet in area (see SPA Plan)
12. Residential building identification signs used to identify individual residences and not exceeding four (4) square feet in area.
13. One name plate per parcel not exceeding four (4) square feet in area for single family residential uses and agricultural uses.
14. Official and legal notices issued by any court, public body, person, or officer or in furtherance of any nonjudicial process approved by state or local law
15. Signs providing direction, warning, or informational signs or structures required or authorized by law or by Federal, State, County, or City authority
16. A single official flag of the United States of America and/or two (2) flags of either the State of California or other states of the United States, counties, municipalities or official flags for nations, and flags of internationally or nationally recognized organizations or the company flag. Flags shall be a maximum of five (5) feet by eight (8) feet unless otherwise specifically approved on a Site Plan.
17. Signs of public utility companies, indicating danger or which serve as an aid to public safety, or which show locations of underground facilities or public telephones
18. Safety signs on construction sites
19. One (1) freestanding time and temperature sign that conveys time and temperature only and not exceeding twelve (12) square feet in area nor fifteen (15) feet in height, or not higher than the roofline, whichever is less, when combined with business identification in accordance with Section VII 3, and counted toward sign area for the freestanding sign
20. One (1) wall mounted time and temperature sign that conveys time and temperature only not exceeding twelve (12) square feet in area shown when combined with business identification in accordance with Section VII 3, and counted toward sign area for the wall sign
21. "No Trespassing", "no parking", and similar warning signs not exceeding four (4) square feet
22. Signs on public transportation vehicles regulated by a political subdivision, including but not limited to buses and taxicabs
23. Signs on licensed commercial vehicles, provided such vehicles are not used or intended for use as portable signs or as may be prohibited in Section VII 1 B.
24. A change of copy conforming to an approved Comprehensive Sign Program. All other changes of copy shall comply with Section VII 1
25. Incidental signs for automobile repair stores, gasoline service stations, automobile dealers with service repairs, motels and hotels, showing notices of services provided or required by law, trade affiliations, credit cards accepted, and the like, attached to a freestanding sign, structure or building; provided that all of the following conditions exist:
 - a. The signs number no more than four (4)
 - b. No such sign project beyond any property line.
 - c. No such sign shall exceed an area per face of four (4) square feet

26. Copy applied to fuel pumps or dispensers by the manufacturer such as fuel identification, station logo and other signs required by the law.
 27. Agricultural signs, either wall or freestanding types, non-illuminated, and not exceeding four (4) square feet for lots two (2) acres or less and sixteen (16) square feet for lots greater than two (2) acres, identifying only the agricultural products grown on the premises. The number of such signs shall be one (1) per street frontage or a maximum of two (2), with all signs to be located below the roofline and freestanding signs to be no higher than eight (8) feet
- B. Prohibited Signs: All signs not expressly permitted are prohibited in all zones, including but not limited to the following:
1. Roof signs
 2. Flashing signs (except time and temperature signs)
 3. Animated signs (conveying the illusion of motion)
 4. Revolving or rotating signs
 5. Vehicle signs (when parked or stored on property to identify a business or advertise a product).
 6. Portable signs (except where permitted in this chapter)
 7. Off-site signs (except temporary subdivision signs)
 8. Signs within the public right-of-way (except those required by a governmental agency). No sign shall be so placed, erected or constructed on a utility pole, traffic device, traffic sign, warning sign, or so as to impede access to any public improvement, or to obstruct the vision of any such signs except as may be permitted in Section VII.1.A.4 of this Chapter.
 9. Signs located on public property except as may be permitted in by Section VII.1.A.4 of this chapter or those required by a governmental agency
 10. Signs within the public right-of-way prohibited by the Streets and Highways Code (Sec. 101 et. seq. and Sec. 1460 et. seq.), the Vehicle Code (Sec. 21400 et. seq.) and the Public Utilities Code (Sec. 7538 et. seq.)
 11. Signs blocking doors or fire escapes
 12. Outside light bulb strings and exposed neon tubing outside of building (except for temporary uses such as Christmas tree lots, carnivals and other similar events with prior approval of the City).
 13. Banners, flags, pennants and balloons (except as permitted in Section VII.A.16 and except for special events as provided for in this chapter in Section VII.2.A.3).
 14. Inflatable advertising devices of a temporary nature, including hot air balloons (except for special events as provided for in this Chapter in Section VII.2.A.3)
 15. Advertising structures (except as otherwise permitted in this chapter)
 16. Statuary (statues or sculptures) advertising products or logos of the business that are located outside of the structure that houses the business
 17. The use of decals, stick-on or transfer letters, or tape on the walls or parapets of buildings, fences, walls or other structures
 18. Readerboard/changeable copy signs, either electric or non-electric except as permitted in this chapter.
 19. Signs which purport to be or are an imitation or resemble official traffic warning devices or signs, that by color, location or lighting may confuse or disorient vehicular or pedestrian traffic. This does not include traffic or directional signs installed on private property to control on-site traffic.
- C. Signs Relating to Inoperative Activities: Signs pertaining to activities or businesses which are no longer in operation, except for temporary closures for repairs, alteration or similar situations, shall be removed from the premises or the sign copy shall be removed within thirty (30) days after the premises has been vacated. Any such sign not removed within the specified time shall constitute a nuisance and shall be subject to removal under the provisions of this chapter and local ordinance

D. Enforcement, Legal Procedures, and Penalties: Enforcement, legal procedures and penalties shall be in accordance with the enforcement procedures established by the Municipal Code. Unauthorized illegal signs may be abated by the City in accordance with local ordinance. If said sign is stored by the City the owner may recover said sign from the City upon payment to the City of any storage and/or removal charge incurred by the City. The minimum charge shall be no less than three dollars (\$3.00) per sign. All signs removed by the City may be destroyed thirty (30) calendar days following removal. If any sign, in the opinion of the Director of Planning, is an immediate threat to the public health and safety, said sign shall be immediately and summarily removed with the cost of said removal charged to the property owner in accordance with local ordinances.

E. Construction and Maintenance:

1. Construction: Every sign and all parts, portions, and materials shall be manufactured, assembled, and erected in compliance with all applicable State, Federal, and City regulations and the Uniform Building Code.
2. Maintenance: Every sign and all parts, portions, and materials shall be maintained and kept in proper repair. The display surface of all signs shall be kept clean, neatly painted and free from rust and corrosion. Any cracked or broken surfaces, and malfunctioning or damaged portions of a sign shall be repaired or replaced within thirty (30) calendar days following notification of the business by the City. Noncompliance with such a request will constitute a nuisance and will be abated. Any maintenance, except a change of copy, which does not involve structural change, is permitted.

VII.2 Sign Regulations

Sign permits may be issued for signs included under this section provided the signs are in compliance with all other applicable laws and ordinances.

A. Signs Permitted in any Land Use District:

The following signs may be permitted in any land use district. These signs are in addition to those signs expressly permitted in each land use district and are subject to the provisions listed:

1. Convenience Signs: On-site signs no greater than six (6) square feet necessary for public convenience or safety may be approved by the Director of Planning or his designee. Signs containing information such as "entrance," "exit," or directional arrows shall be designed to be viewed from on-site or from an area adjacent to the site by pedestrians or motorists. Signs that convey advertising or products shall not be considered a convenience sign.
2. Comprehensive Sign Program for Commercial and Industrial Zones: A Comprehensive Sign Program shall be developed for all commercial and industrial centers consisting of four (4) or more tenant spaces. The purpose of the program shall be to integrate signs with building and landscaping design into a unified architectural unit. This shall be achieved by:
 - a. Using the same background color on all signs.
 - b. Using not more than three (3) different colors for sign lettering.
 - c. Using the same type of cabinet supports, or method of mounting for signs of the same type, or by using the same type of construction material for components, such as sign copy, cabinets and supports, or by using dissimilar signing determined compatible by the Director of Planning.
 - d. Using the same form of illumination for all signs, or by using varied forms of illumination determined compatible by the Director of Planning.
 - e. Allowing the use of different colors for logos.
3. Special Event Signs: Special event signs may be approved for a limited period of time as a means of publicizing special events such as grand openings, new management, inventory sales, Christmas tree lots, parades, rodeos, and fairs that are to take place within EastLake II.
 - a. Community Special Events such as a rodeo or community fair may be permitted the following signage:

- (1) No more than four (4) off-site signs up to thirty-two (32) square feet and eight (8) feet in height to publicize the event indicated above
- (2) Temporary advertising signing consistent with the requirements set forth in Section VII 1.A 2.
- b. Commercial Special Events such as grand openings, Christmas tree lots, painted seasonal holiday window displays, and notice of new management may be permitted the following signage:
 - (1) No more than one (1), thirty-two (32) square foot or smaller, eight (8) feet in height, on-site, freestanding, special event sign
 - (2) All other on-site special event signs can be either wall and window signs, flags, banners and pennants. Inflatable advertising devices of a temporary nature may be permitted. In no case shall any signage, flag, pennant, inflatable device or banner be placed in a location not approved by the Director of Planning

4. On-Site Subdivision Signs:

- a. One (1) temporary, on-site subdivision sign not to exceed 64 square feet total area for two (2) sides or 32 square feet for one (1) side and total overall height of twelve (12) feet may be permitted on each Circulation Element street frontage of the property being subdivided, not to exceed two (2) such signs for all phases of any subdivision; otherwise a maximum of one (1) sign is permitted
- b. Such sign shall be for the identification of a subdivision, price information and the developer's name, address and telephone number.
- c. Such signs shall be removed within ten (10) calendar days from the date of the final sale of the land and/or residences or within twenty-four (24) months, whichever comes first. Extensions of twelve (12) months may be approved by the Director of Planning
- d. Signs shall be maintained in good repair at all times.
- e. A cash deposit of three hundred dollars (\$300) per sign shall be deposited with the sign application to ensure compliance with this chapter and removal of such sign. Said deposit shall be refunded to the applicant upon sign removal by the applicant. If the City is forced to remove any signs, then the cost of removal shall be deducted from the deposit

5. Off-Site Subdivision Directional Sign:

- a. A maximum of four (4) signs may be used to lead customers to the site
- b. Signs shall be made of panels which shall be no longer than seventy-two (72) inches by twelve (12) inches each and shall be grouped on a single, double or four-sided kiosk. Such structure shall contain no more than seven (7) panels per side nor exceed seven (7) feet in height.
- c. A sign kiosk shall be located not less than three hundred (300) feet from an existing approved sign site. Further, each sign may only contain the name of the planned community, subdivision, developer or development logo and a directional arrow
- d. The placement of each sign structure and its copy shall be reviewed and approved by the Director of Planning prior to installation.
- e. All kiosks that are to be placed on private property shall be with prior written consent of the property owner, to allow the City, in the event of noncompliance, to enter said property and remove the sign. A copy of said consent shall be filed with the Department of Planning prior to the acceptance of a sign permit application.
- f. A kiosk location plan shall be prepared showing the site of each kiosk and shall be submitted to and approved by the Director of Planning prior to the acceptance of a sign permit application.

- g Any sign approved for a particular subdivision within EastLake II shall not be changed to another subdivision without prior approval of the Director of Planning
- h There shall be no addition, tag signs, streamers, devices, display boards, or appurtenances added to the sign as originally approved. Further, no other directional signing may be used as posters, portable signs, vehicle signs, trailer signs or temporary subdivision (bootleg) signs
- i All off-site subdivision signs not conforming to this ordinance shall be deemed a public nuisance and removed prior to the program.
- j A three hundred dollar (\$300) cash deposit shall be placed with the City to ensure compliance with this chapter. Any sign placed contrary to the provisions of this chapter may be removed by the City and the cost of removal shall be deducted from said deposit. Additional costs incurred by the City resulting from the removal of illegal signs shall be charged to the developer.
- k Said sign shall be allowed until the units within the subdivision are sold out, or for a period of twenty-four (24) months, whichever occurs first. Extensions of twelve (12) months may be approved by the Director of Planning

VII.3 Sign Design Standards

Each sign shall be designed with the intent and purpose of complementing the architectural style of the main building or buildings, or type of business on the site, and to the extent possible, signs located on commercial sites; but in a predominantly residential area, shall take into consideration compatibility with the residential area

- A Relationship to Buildings: Signs located upon a lot with only one main building housing the use which the sign identifies, shall be designed to be compatible with the predominant visual elements of the building, such as construction materials, color, or other design details. Each sign located upon a lot with more than one main building, such as a shopping center or other commercial or industrial area developed in accordance with a common development plan, shall be designed to be compatible with predominant visual design elements common or similar to all such buildings or the buildings occupied by the "main tenants" or principal uses

The Director of Planning may condition approval of any sign to require such visual elements to be incorporated into the design of the sign where such element(s) is necessary to achieve a significant visual relationship between the sign and building or buildings

- B Relationship to other signs: Where there is more than one (1) freestanding sign located upon a lot, all such signs shall have designs which are complementary to each other by either similar treatment or incorporation of one (1) or more of the following five (5) design elements:

- 1. Type of construction materials (such as cabinet, sign copy, supports);
- 2. Letter style of sign copy;
- 3. Type or method used for supports, uprights or structure on which sign is supported;
- 4. Sign cabinet or other configuration or sign area; or
- 5. Shape of entire sign and its several components

- C Landscaping: Each freestanding sign shall be located in a planted landscaped area which is of a shape, design and size (equal to at least the maximum allowable sign area) that will provide a compatible setting and ground definition to the sign. The planted landscaped area shall be maintained in a neat, healthy and thriving condition

- D Illumination and Motion: Signs shall be non-moving stationary structures (in all components) and illumination, if any, shall be maintained by artificial light which is stationary and constant in intensity and color at all times (non-flashing)

- E Sign Copy: The name of the business, use, serve and/or identifying logo shall be the dominant message on the sign. The use of advertising information such as lists of products (more than one product), is prohibited

- F Relationship to Streets: Signs shall be designed so as not to obstruct any pedestrian, bicyclist or driver's view of right-of-way

SECTION VIII. OFF-STREET PARKING

VIII.0 Purpose

All regulations set forth in this section are for the purpose of providing convenient off-street parking space for vehicles. The parking requirements of this section are to be considered as the minimum necessary for such uses permitted by the respective zone.

The intent of these regulations is to provide adequately designed parking areas with sufficient capacity and adequate circulation to minimize traffic congestion and promote public safety. It shall be the responsibility of the developer, owner or operator of the specific use to provide and maintain adequate off-street parking.

The provisions and standards set forth in this section apply primarily to non-residential uses. The standards for residential uses are included in Section II 3, Property Development Standards: Residential Districts.

VIII.1 General Provisions

- A. Off-street parking facilities, for both motor vehicles and bicycles, shall be provided for any new building constructed, for any new use established, for any addition or enlargement of an existing building or use, and for any change in the occupancy of an existing building.
- B. For additions or enlargement of any existing building or use, or any change of occupancy or manner of operation that would increase the number of parking space required, the additional parking spaces shall be required only for such addition, enlargement, or change and not for the entire building or use, unless required as a condition of approval of a Conditional Use Permit.
- C. The required parking facilities needed for any development shall be located on the same site, or if an irrevocable access and/or parking easement is obtained, the parking may be on an adjacent site. Property within the ultimate right-of-way of a street or highway shall not be used to provide required parking or loading or unloading facilities.
- D. The requirements of this ordinance shall apply to temporary as well as permanent uses.
- E. All required off-street parking spaces shall be designed, located, constructed and maintained so as to be fully usable during workday periods or as needed by the use of the premises.
- F. Where the application of these schedules results in a fractional space then the fraction shall be rounded to the higher whole number.
- G. The parking requirement for uses not specifically listed in the matrix shall be determined by the approval body for the proposed use on the basis of requirements for similar uses, and on any traffic engineering and planning data that is appropriate to the establishment of a minimum requirement.
- H. In the calculation of parking requirements for village centers, off-peak hour uses from the normal operating hours of the center shall not be counted toward the parking requirement.
- I. In situations where a combination of uses are developed on a site, parking shall be provided for each of the uses on the site according to the schedule given in this section. Where residential and commercial uses are mixed, reduced guest parking may be permitted by the Zoning Administrator in consideration of shared parking with the commercial uses.
- J. A maximum of 25 percent (1/4) of the parking spaces required on any site may be provided as "compact" spaces for non-residential uses.
- K. Tandem parking shall not qualify as required parking unless specifically approved by the Planning Commission.
- L. Required parking may be reduced by the Planning Commission with approval of a Conditional Use Permit.
- M. In the VC-5 and BC-4 land use districts, as a condition of any required entitlement or permit, the total number of required parking spaces for a single use or a mix of uses may be satisfied using off-site parking within 500 feet of the subject property(ies) provided:

- i A shared parking agreement is recorded for the duration of the subject uses and need for shared parking.
- ii Demonstration of adequate parking for the proposed mix of uses with complimentary parking use patterns via a parking use or needs survey to the satisfaction of the approving agency.

Any use not sufficiently specified herein, as determined by the Director of Planning, or where the parking for a use may require additional detail, the provisions of Title 19 of the Chula Vista Municipal Code relative to parking shall be applied

VIII.2 Schedule of Off-street Parking Requirements

<u>USE</u>		<u>MINIMUM OFF-STREET PARKING REQUIRED</u>
A	Administrative and Professional Services	1 space/300 square feet of gross floor area; minimum of 4 spaces
B	Shopping Centers and General Commercial Uses except as noted below:	1 space/200 square feet of gross floor area
1	Eating & drinking establishments	1 space/each 25 seats or 1 space/50 square feet of seating area where there are no fixed seats.
a	Fast food restaurants with drive-in or drive through	1 space/each 7 seats plus one (1) space per employee, minimum 15 spaces and an on-site queue line for at least eight (8) vehicles when drive through is included
b	Planned Shopping Centers Complexes (VC-1)	5 spaces per 1000 square feet of building area for all uses (outdoor garden areas and dining patios are not required to provide additional parking)
2	Gasoline dispensing and/or automotive services stations	2 spaces plus four (4) for each service bay
3	Appliance and/or furniture stores	1 space/600 square feet of gross floor area ¹
4	Hotels and motels	1 space per unit plus 1 space for every 25 rooms or portion thereof provided on the same lot
5	Auto and/or truck sales	1/10 the car storage capacity of the facility
6	Medical and dental offices or clinics, veterinary offices or clinics	1 space/200 square feet of gross floor area; minimum of 5 spaces
7	Commercial recreation facilities ²	
a	Bowling alleys, billiard halls	5 spaces/alley plus 2 for each billiard table plus required parking for other uses on the site

¹Parking for furniture stores within the BC-4 and VC-5 Districts shall be provided at a rate of 1 space/1,100 square feet of gross floor area

²Parking may be reduced by Director of Planning when facility is provided as a residential development amenity, recognizing that some local residents will not drive to facilities.

b	Commercial stables	1 space/5 horses boarded on-site
c	Driving range (golf)	1 space/tee plus required parking for any other uses on the site.
d	Golf course (regulation)	6 spaces/hole plus required parking for any other uses on the site.
e	Miniature golf	3 spaces/hole plus required parking for any other uses on the site.
f	Skating rinks	1 space/100 square feet of gross floor area
g	Tennis, handball, and racquetball facilities	3 spaces/court plus required parking for any other uses on the site
h	Theaters	
	(1) Motion picture	1 space/3.5 seats
	(2) Playhouse	1 space/3.5 seats.

C Public and Semi-Public Uses

1	Day nurseries, day care schools	1 space/staff member plus 1 space/5 children or 1 space/10 children if adequate drop-off facilities are provided. Drop-off facilities must be designed to accommodate a continuous flow of passenger vehicles to safely load and unload children. The adequacy of drop-off facilities proposed shall be determined by the Director of Planning.
2.	Convalescent and/or nursing homes (congregate care facilities)	1 space/3 beds
3	Hospitals	1.5 spaces/bed.
4	Educational institutions, private	
a	Elementary and junior high school	1 space per employee plus 5 spaces
b	Senior high schools	1 space per 4 students
c	Colleges and vocational schools	0.5 space/faculty member and employee plus 1 space/3 students.
d	Churches, convents, monasteries, other religious institutions, and other spaces of public assembly	1 space/3.5 seats within the main auditorium or 1 space/45 square feet of gross floor area within the main auditorium where there are no fixed seats
5.	Public Utilities	To be determined by the Director of Planning

D Manufacturing Uses

- | | | |
|---|--------------------------|---|
| 1 | Manufacturing | 1 space per 1.5 employees or 1 space/800 square feet of gross floor area devoted to manufacturing plus the required parking for square footage devoted to other uses, whichever is greater. Ten (10) percent of the spaces provided must be designed for use by carpools. |
| 2 | Research and Development | 1 space/300 square feet of gross floor area. Ten (10) percent of the spaces provided must be designed for use by carpools. |
| 3 | Storage | 1 space/1,000 square feet of gross area for the first 20,000 square feet devoted to storage plus the required parking for square footage devoted to other use. 1 space/2,000 square feet for the second 20,000 square feet. 1 space/4,000 square feet for area in excess of 40,000 square feet. |

E Single Family Residential and Multiple Family Residential Indicated in their respective land use districts.

- | | | |
|---|-------------------------|---|
| 1 | Senior Housing Projects | 1 space/bedroom (may be reduced by City Council). |
|---|-------------------------|---|

F Handicapped Parking Requirements

Handicapped parking requirements are established by the State of California. The parking standards contained in this section are identical to those established by the State. Any future change in the State handicapped parking standards would preempt the requirements given in this section.

1. Handicapped parking for residential uses shall be provided at the rate of one space for each dwelling unit that is designed for occupancy by the handicapped
2. Handicapped parking spaces shall be provided for all uses other than residential at the following rate:

<u>Number of Automobile Spaces Provided</u>	<u>Number of Handicapped Spaces Required</u>
1 - 40	1
41 - 80	2
81 - 120	3
121 - 160	4
161 - 300	5
301 - 400	6
401 - 500	7
Over 500	7 + 1 for each 200 additional automobile spaces provided

3. Handicapped parking spaces required by this section shall count toward fulfilling automobile parking requirements

G Bicycle Parking Requirements

The matrix below contains the minimum bicycle parking requirements. Only those uses identified in the matrix are required to install bicycle parking. Bicycle parking facilities shall be stationary storage racks or devices designed to secure the frame and wheel of the bicycle.

<u>Use</u>	<u>Minimum Bicycle Parking Required</u>
1. Administrative and Professional Services over 20,000 square feet of gross floor area	5 spaces
2. Shopping centers with 50,000 square feet of gross floor area	1 space/33 automobile parking spaces required
3. Eating and drinking establishments	2 spaces
a. Fast food restaurants, coffee shops, delicatessens, etc	5 spaces
4. Medical and dental offices or clinics, veterinary offices or clinics	2 spaces
5. Commercial Recreation	1 space/33 automobile parking spaces required
6. Hospitals	4 spaces
7. Churches	4 spaces

H Motorcycle Off-Street Parking Requirements

Motorcycle parking areas shall be provided for all uses, except residential, at the following rate:

- 1 Uses with 20 to 100 automobile parking spaces shall provide one designated area for use by motorcycles
- 2 Uses with more than 100 automobile parking spaces shall provide motorcycle parking areas at the rate of one motorcycle parking area for every 100 automobile parking spaces provided.

VIII. 3 **Property Development Standards: Off-street Parking**

The following property development standards shall apply to all land, buildings, and uses authorized by the Planned Community District Regulations.

A. General Requirements

The following are minimums unless otherwise stated:

- 1 Residential
 - a Covered in a garage or carport: 10' x 20' each space
 - b Uncovered: 9' x 18 5' each space
- 2 All others shall use Parking Table, on following page.
- 3 Motorcycle parking space: 4 feet by 8 feet.
- 4 Bicycle parking space: 2 feet by 6 feet
- 5 Automobile, handicapped, motorcycle and bicycle: All parking stalls and maneuvering areas shall be paved and permanently maintained with asphalt, concrete, or any other all-weather surfacing approved by the Director of Planning and subject to current city standards
- 6 Striping and Identification
 - a Automobile: All parking stalls shall be clearly outlined with double lines on the surface of the parking facility
 - b Handicapped: All handicapped spaces shall be striped and marked according to the applicable State standards.
 - c Motorcycle: All motorcycle spaces shall have bollards installed and appropriately spaced to prevent automobile usage of the motorcycle area. Motorcycle spaces shall be marked so that they can be clearly identified for motorcycle usage
 - d Bicycle: All bicycle spaces shall be clearly identified

B. Special Requirements

1. Any unused space resulting from the design of the parking area shall be used for landscaping purposes
- 2 All parking lot landscaped islands shall have a minimum inside dimension of four (4) feet and shall contain a twelve (12) inch wide walk adjacent to parking stall and be separated from vehicular areas by a six (6) inch high, six (6) inch wide Portland cement concrete curb
- 3 All landscaping areas shall be irrigated automatically and kept in a healthy and thriving condition free from weeds, debris and trash.
4. All parking facilities shall have lighting in accordance with the current City standards. The lighting shall be designed and installed so as to confine direct rays to the site. Parking lot lights shall be a maximum height of eighteen (18) feet from the finished grade of the parking surface and directed away from the property lines
- 5 All parking facilities shall be graded and drained so as to provide for the disposal of all surface water on the site

- 6 In any R zone except RC and RM, the parking of motorized and non-motorized vehicles shall be subject to the following requirements:
- a. No motorized or non-motorized vehicle shall be parked, stored and kept in the front yard except on land adjacent to the driveway or in the driveway
 - b. If motorized or non-motorized vehicles are to be parked, stored, or kept on the lot, other than as permitted in "a." above, they must be for the personal use of the resident

VIII . 4 Performance Standards: Off-Street Parking

- A All parking facilities required by this ordinance shall be maintained in good operating condition for the duration of the use requiring such facilities. Such facilities shall be used exclusively for the parking of vehicles. The parking facilities shall not be used for the storage of merchandise, or for the storage or repair of vehicles or equipment. Parking facilities shall not be used for the sale of merchandise, except on a temporary basis pursuant to Section VI 0 (Temporary Uses)
- B All shopping centers that use shopping carts shall provide convenient and safe on-site storage areas for the shopping carts
- C Handicap, motorcycle, and carpool parking areas, when required, shall be located within close proximity of the entrance to the facility.

Parking Table

A	B	C	D	E	F	G	A	B	C	D	E	F	G
0°	8'0"	8.0	12.0	23.0	28.3	--	60°	8'6"	20.7	18.5	9.8	59.9	55.6
	8'6"	8.5	12.0	23.0	29.0	--		9'0"	21.0	18.0	10.4	60.0	55.5
	9'0"	9.0	12.0	23.0	30.0	--		9'6"	21.2	18.0	11.0	60.4	55.6
	9'6"	9.5	12.0	23.0	31.0	--		10'0"	21.5	18.0	11.5	61.0	56.0
	10'0"	10.0	12.0	23.0	32.0	--							
20°	8'0"	14.0	12.0	23.4	40.0	31.5	70°	9'0"	21.0	19.0	9.6	61.0	57.9
	8'6"	14.5	12.0	24.9	41.0	32.0		9'6"	21.2	18.5	10.1	60.9	57.7
	9'0"	15.0	12.0	26.3	42.0	32.5		10'0"	21.2	18.0	10.6	60.4	57.0
	9'6"	15.5	12.0	27.8	43.0	33.1							
	10'0"	15.9	12.0	29.2	43.8	33.4							
30°	8'0"	16.5	12.0	16.0	45.0	37.1	80°	9'0"	20.3	24.0	9.1	64.3	62.7
	8'6"	16.9	12.0	17.0	45.8	37.4		9'6"	20.4	24.0	9.6	64.4	62.7
	9'0"	17.3	12.0	18.0	46.6	37.8		10'0"	20.5	24.0	10.2	65.0	63.3
	9'6"	17.8	12.0	19.0	47.6	38.4							
	10'0"	18.2	12.0	20.0	48.4	38.7							
45°	8'6"	19.4	13.5	12.0	52.3	46.5	90°	9'0"	19.0	24.0	9.0	62.0	--
	9'0"	19.8	13.0	12.7	52.5	46.5		9'6"	19.0	24.0	9.5	62.0	--
	9'6"	20.1	13.0	13.4	53.3	46.5		10'0"	19.0	24.0	10.0	62.0	--
	10'0"	20.5	13.0	14.1	54.0	46.9							

*Min. Stall Widths

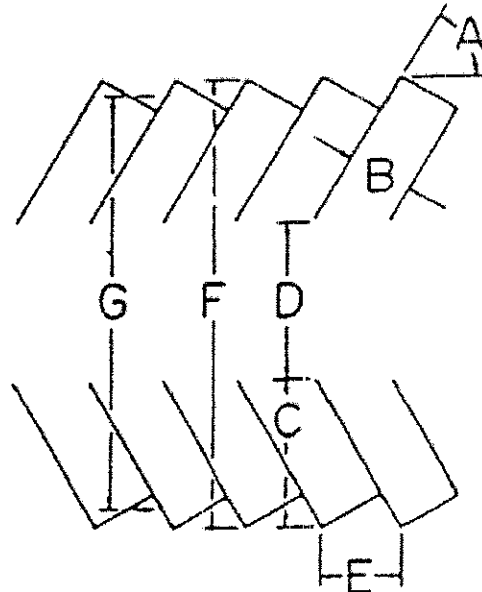
Std.	Compact	
8'0"	7'6"	0°-40°
8'6"	7'6"	41°-60°
9'0"	7'6"	61°-90°

Average gross area required for parking one car at different angles:

0° = 310 sq. ft.	30° = 310 sq. ft.	60° = 260 sq. ft.
10° = 350 sq. ft.	40° = 280 sq. ft.	80° = 275 sq. ft.
20° = 400 sq. ft.	50° = 270 sq. ft.	90° = 275 sq. ft.

- *Note: a) Compact space 7½' X 15' - standard.
b) Add 1' in width for all stalls adjacent to any structures.

A	PARKING ANGLE
B	STALL WIDTH
C	STALL TO CURB
D	AISLE WIDTH
E	CURB LENGTH PER CAR
F	CURB TO CURB
G	STALL CENTER



SECTION IX. ADMINISTRATION

IX.0 Purpose

The Land Use District Map and these Planned Community District Regulations shall be administered as provided for herein.

IX.1 Standard Procedures

- A. General: The Administrative Procedures, Conditional Uses, and Variances, Chapter 19.14 of the Chula Vista Municipal Code, shall be utilized as applicable to the administration of the Planned Community of EastLake II.
- B. High Tech/Bio Tech Zone: Notwithstanding the above provisions, the High Tech/Bio Tech Subcommittee shall act in place of the Planning Commission and Design Review Committee on discretionary applications for high technology, bio technical and bio medical projects located within the High Tech/Bio Tech Zone, as described and established by Ordinance No. 2621, in accordance with the authority vested in the High Tech/Bio Tech Subcommittee by said ordinance.
- C. Sectional Planning Areas (SPA) and Section Planning Areas Plans (SPA Plans) The administration of SPA Plans shall be as provided for in Section 19.48.090 through Section 19.48.130 inclusive of the Chula Vista Municipal Code, except that the Director of Planning may accept less detail or require additional detail to suit the scope of the SPA.

IX.2 Administrative Review

- A. Purpose: Certain uses may vary greatly in its effect depending on the scope, location, or exact circumstances. In order to avoid the permitting of these uses without any formal review, and to relieve the Planning Commission and City Council of formally reviewing uses which have insignificant or compatible effects, an Administrative Review is established.
- B. Application: The Administrative Review is applicable to uses identified on the Permitted Use matrices herein with the symbol "A".
- C. Procedures: The procedure shall be as specified in Section 19.14.030, Zoning Administration - Actions authorized without public hearing, in the Chula Vista Municipal Code; except that in addition, the Zoning Administrator may determine after reviewing the scope, location, or exact circumstances of the proposed use that the formal hearing process of the Conditional Use Permit procedure is warranted. If the Zoning Administrator makes the determination that a Conditional Use Permit is warranted, then the applicant shall be required to comply with the Conditional Use Permit procedures as specified in Sections 19.14.060 through 19.14.110 inclusive in the Chula Vista Municipal Code.

IX.3 Site Plan and Architectural Approval

- A. Purpose: The purpose of site plan and architectural approval is to review proposed projects to determine compliance with the provisions of those regulations and to promote orderly and harmonious development with good design character.
- B. Application: This approval process is applicable to projects within all districts except RE and RS districts, where the Tentative Tract Map approval process may be used. Single family detached units on lots exceeding 5,000 sf (including those in the RE or RS districts) may use the Tentative Map to satisfy the Site Plan Review Requirement. Such single family units on lots larger than 5,000 sf may, at the discretion of the developer, apply for Site Plan Review.
- C. Procedures: The procedures shall be as specified in Section 19.14.420 through Section 19.14.480 inclusive.

IX.4 Other Provisions

In the event that these regulations do not address any particular matter relevant to the proper development and use of property within EastLake II, the provisions of Title 19 of the Chula Vista Municipal Code shall apply.

Design Guidelines for EastLake Greens SPA

**EastLake Greens Residential Design Guidelines
and
Design Guidelines Supplement for “Land Swap” Area**

Project Sponsor:

The EastLake Company
900 Lane Avenue, Suite 100
Chula Vista, California 91914
(619) 421-0127

Prepared by:

Cinti Land Planning
2932 Poinsettia Drive
San Diego, California 92106
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INTRODUCTION

The Design Guidelines for the EastLake Greens SPA Plan are divided into two documents as follows:

Residential Design Guidelines:	These guidelines, adopted in 1989, apply to the all residential development except Parcel R-9.
--------------------------------	--

Design Guidelines Supplement for "Land Swap" Area:	These guidelines, adopted November 24, 1998, apply to the Land Swap Area, specifically Parcels R-9, FC-1 & PA-1.
---	--

RESIDENTIAL DESIGN GUIDELINES

EastLake Greens SPA

DRAFT

May 17, 1989
Revised 5/30/89

Prepared for:
EastLake Development Company
900 Lane Avenue Suite 100
Chula Vista, CA 92013

Prepared by:
Cinti & Associates
1133 Columbia Street #201
San Diego, CA 92101
(619) 239-1815

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INTRODUCTION

Purpose

This document is a manual to guide the design of site plans, architecture, and landscape architecture within the EastLake Greens Sectional Planning Area of the EastLake Planned Community. It illustrates the master developer's philosophy and commitment to a high quality, planned development program.

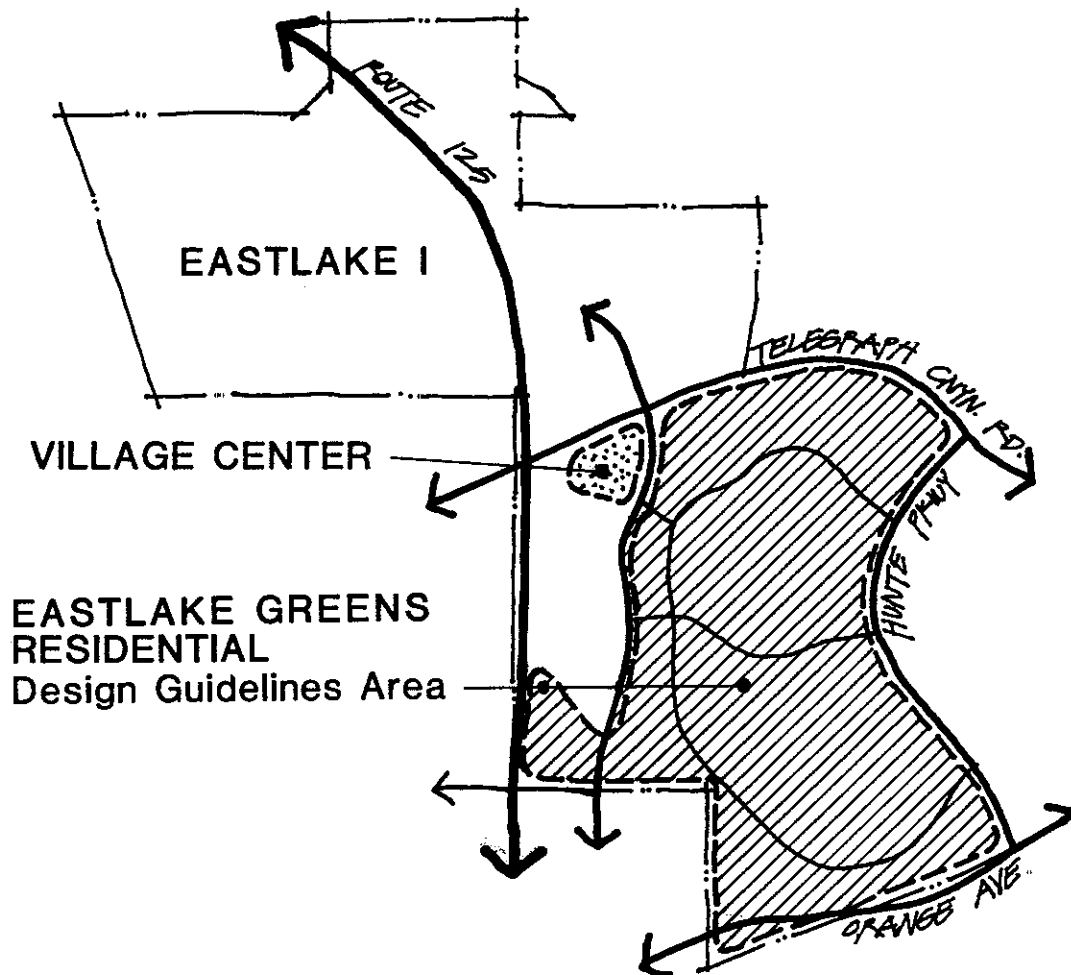
This manual is being provided to ensure that the quality and fundamental concepts established at the master planning stage are maintained in the final phase of detailed planning and design. This manual includes design concepts to guide specific areas of consideration, but more importantly it establishes a design context within which each element is important to the success of the entire program. Just as the entire community can be impacted by a substandard project, carefully crafted design themes and standards can be compromised by inattention to one element of the overall design program. The purpose of this manual is to ensure that all development within EastLake Greens and successive SPAs, will maintain a high standard of design through consistency with these published standards to which all project designers are expected to refer. The standards of these guidelines are consistent with those established for EastLake I.

While it is the intention of the master developer to allow as much freedom as possible for creative design expression at the parcel and individual project levels, it is sometimes mandatory to precisely control the design of areas critical to the success of the overall community; locations where only a limited number of solutions are acceptable.

This manual addresses the design issues relevant to residential development within the SPA. A separate manual will be prepared for the Village Center area. The applicable areas are depicted on the following page.

Organization

This document is organized in six chapters. This introductory chapter is intended to provide the necessary background information needed to understand the project and the purpose of these guidelines. The second chapter outlines the design review processes of both the master developer and the City of Chula Vista. The third chapter is devoted to community design issues which were carefully considered during the SPA Plan process and are now expected to be carried through in subsequent detailed design. The fourth chapter addresses issues which are more general and did not directly influence the SPA Plan design. The fifth section includes some site planning criteria and provides a parcel-by-parcel discussion of critical design issues and references solutions. The final chapter addresses landscape design issues.



Project History

EastLake Greens is the third residential neighborhood to be developed within the Planned Community of EastLake. It is located south of Telegraph Canyon Road and the proposed SR-125 alignment is its western edge. The first two residential neighborhoods, EastLake Hills and EastLake Shores, and the commercial and industrial districts, EastLake Village Center (northern portion) and EastLake Business Center, respectively, were approved in the EastLake I SPA. These areas, now under construction, are located north of Telegraph Canyon Road. The community design themes and standards established in the development of EastLake I will be extended to EastLake Greens through implementation of these guidelines.

Relevant Planning Documents

This Design Manual is the latest in a series of documents which have, in increasing detail, established the development and design standards for the EastLake Planned Community. The most general standards are contained in the EastLake I General Development Plan and EastLake Policy Plan which currently serve as the City's General Plan for the property. These documents allocate land uses and intensities throughout the planning area and establish general regulations and guidelines for development, as well as preservation and conservation of open space and other on-site resources.

The second level of planning is achieved through the plans prepared for each of the five SPAs which comprise the undeveloped portion of the planning area. EastLake I was the first of these areas to be planned and developed. EastLake Greens is the second SPA which has been planned and proposed for development. Individual SPA plans will be prepared in the future for the: EastLake Trails and the SPAs within EastLake III and IV (see Exhibit 1).

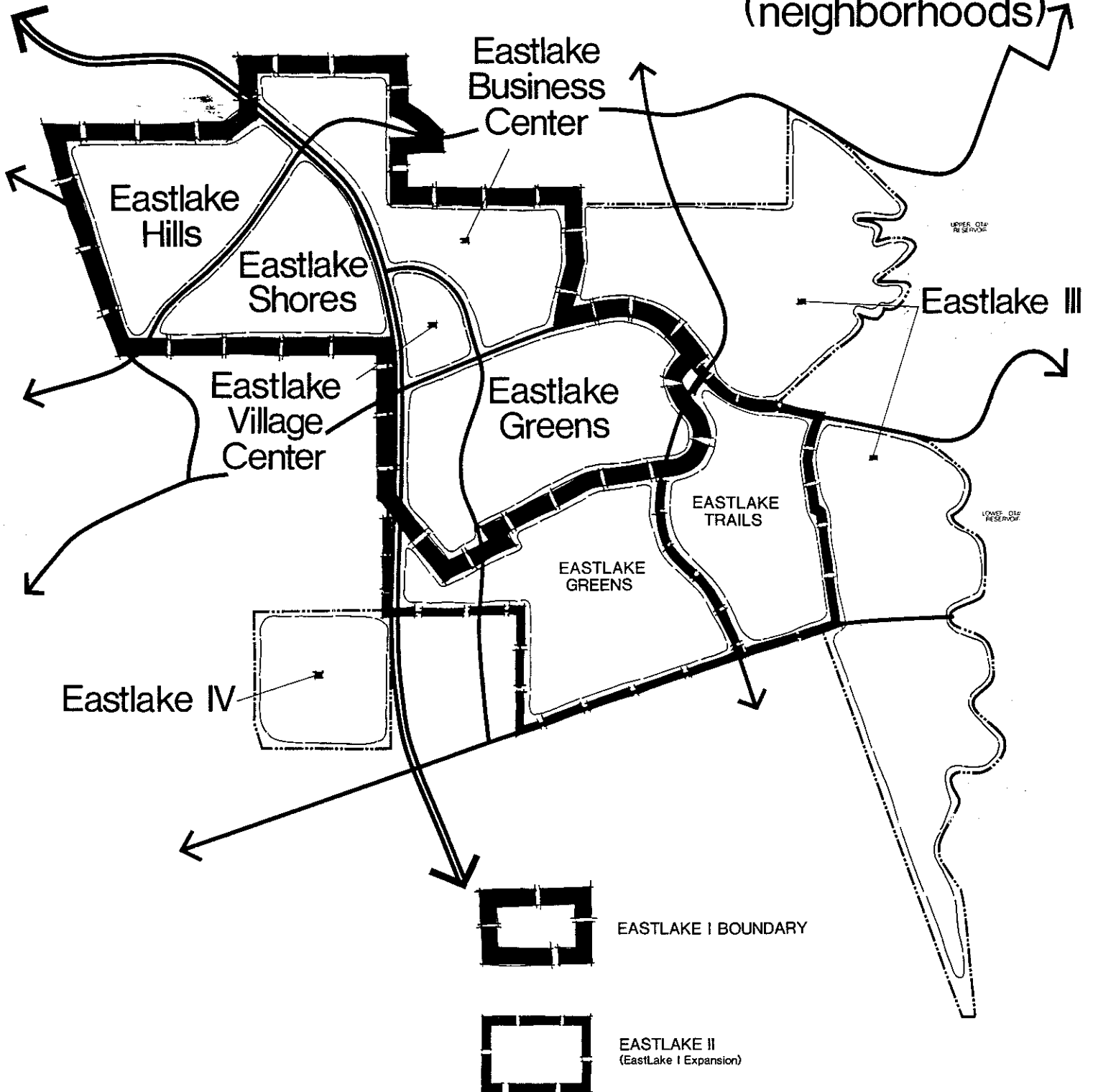
The SPA Plan and companion Planned Community District Regulations expand upon the provisions of the General Development Plan and provide more detailed design specifications and regulations. The focus of the SPA Plan is the delineation of community level facilities (e.g., collector roads, neighborhood parks, trail and open space system, etc.) while also providing some site specific information such as basic grading design, lotting and interior street layouts. The PC Regulations provide the use and development standards which are applied to individual lots. These regulations should be reviewed during the design process for height, bulk, and setback standards.

Community Concept

In order to fully understand the EastLake Greens plan, it must be remembered that the project is part of a larger planned community encompassing approximately 3,219 acres. The first phase, EastLake I, consists of approximately forty percent of the total acreage. This second phase, EastLake Greens SPA, will add approximately 425 acres to the area approved for development. The established EastLake I SPA Plan and the overall structure of the future community has influenced the design and planning of EastLake Greens.

The EastLake Planned Community is intended to be a large-scale multi-use planned development with a unique identity within the City of Chula Vista. The community is planned to provide a significant number of employment and commercial opportunities to encourage people to live, work, shop and play within the community. In order to achieve this goal, the plan provides an employment park, village center commercial sites, a broad range of housing types for people of all ages and incomes, a substan

Project Components (neighborhoods)



EASTLAKE

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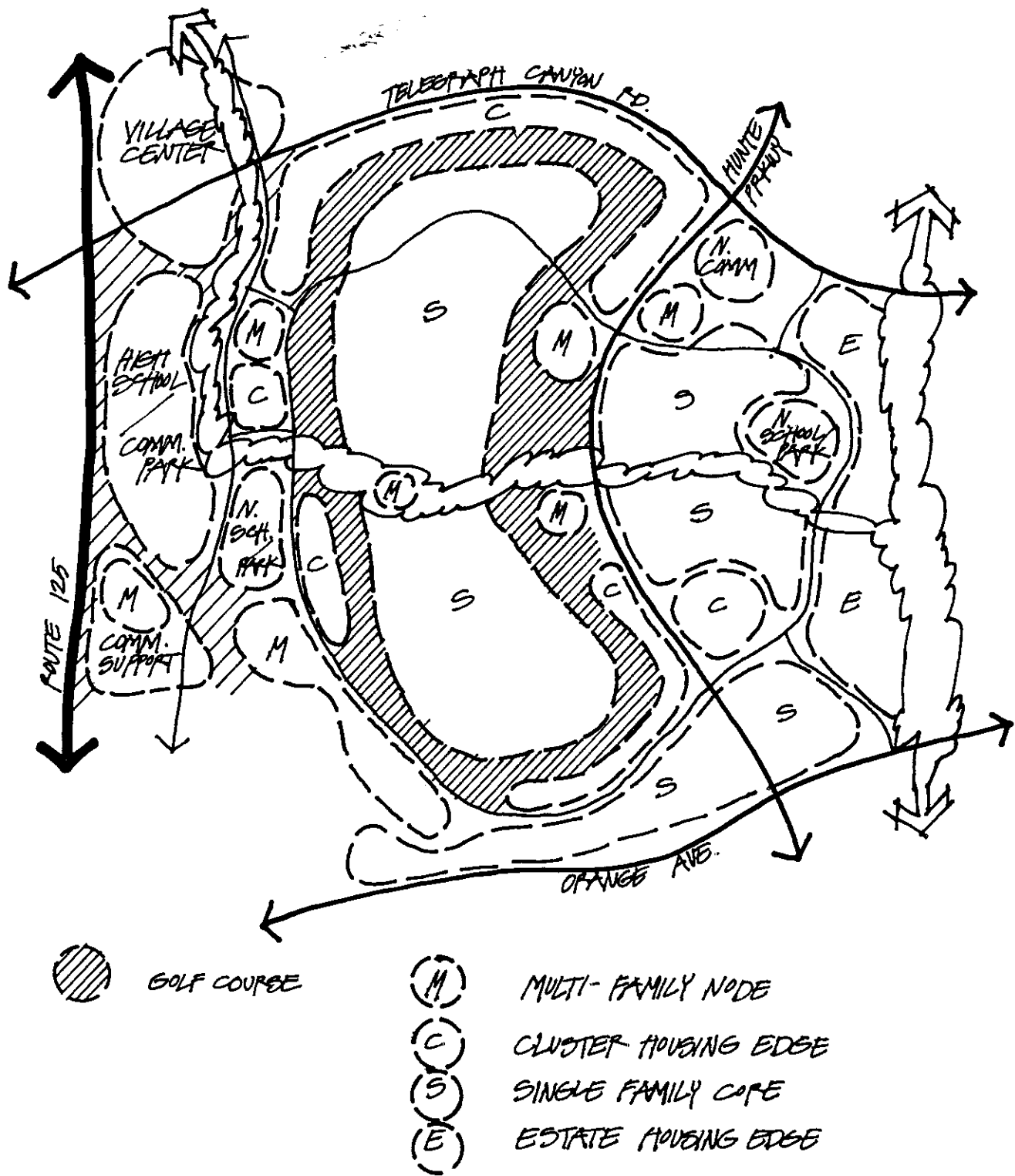
tial amount of open space and recreational facilities, a complete transportation system, and a variety of civic and public facilities.

The structure of the EastLake Greens neighborhood is illustrated in Exhibit 2 (the EastLake Trails neighborhood is also included to establish context). The Activity Corridor is evident along the western border, while the Salt Creek open space corridor is located at the eastern edge. The "Community Trail" provides a landscape/open space connection through both neighborhoods, connecting the eastern and western edges. It is extended from the north where it serves as a connection between the neighborhoods of EastLake I. The structure of the EastLake Greens neighborhood places single family uses at the core, surrounded by a looping golf course. Clustered housing and nodes of high density products are distributed around the perimeter of the neighborhood. The low density and golf course/open space core establishes the desired "country club" character for the neighborhood while the perimeter development provides a wider range of housing types and prices than would typically be associated with such an environment. Two high density parcels are located near the club house to provide luxury housing for those who wish to focus their social and recreational activities at the country club.

The EastLake Village Center is located at the principal intersection (SR-125 and Telegraph Canyon Road) of the community with linkages to the EastLake Hills and EastLake Shores residential neighborhoods and the EastLake Business Center. The plan for EastLake Greens extends these concepts south of Telegraph Canyon Road. Additional EastLake Village Center acreage is provided, together with school and park uses along the extension of EastLake Parkway. The golf oriented residential products will complement the housing types provided in the residential neighborhoods of EastLake I.

The EastLake Greens neighborhood is proposed to include a variety of housing products, ranging from conventional single family homes to stacked "apartment-type" units. A maximum of 3,609 dwelling units is proposed for the 830 acre site. An 18 hole golf course winds through the residential areas, providing a major visual and recreational amenity. A clubhouse facility and driving range are also proposed. In addition, three neighborhood parks and an elementary school site are shown along the interior residential collectors. An additional large neighborhood park is located off EastLake Parkway, adjacent to the elementary school site. Each development parcel is identified on Exhibit 3, Site Utilization Plan.

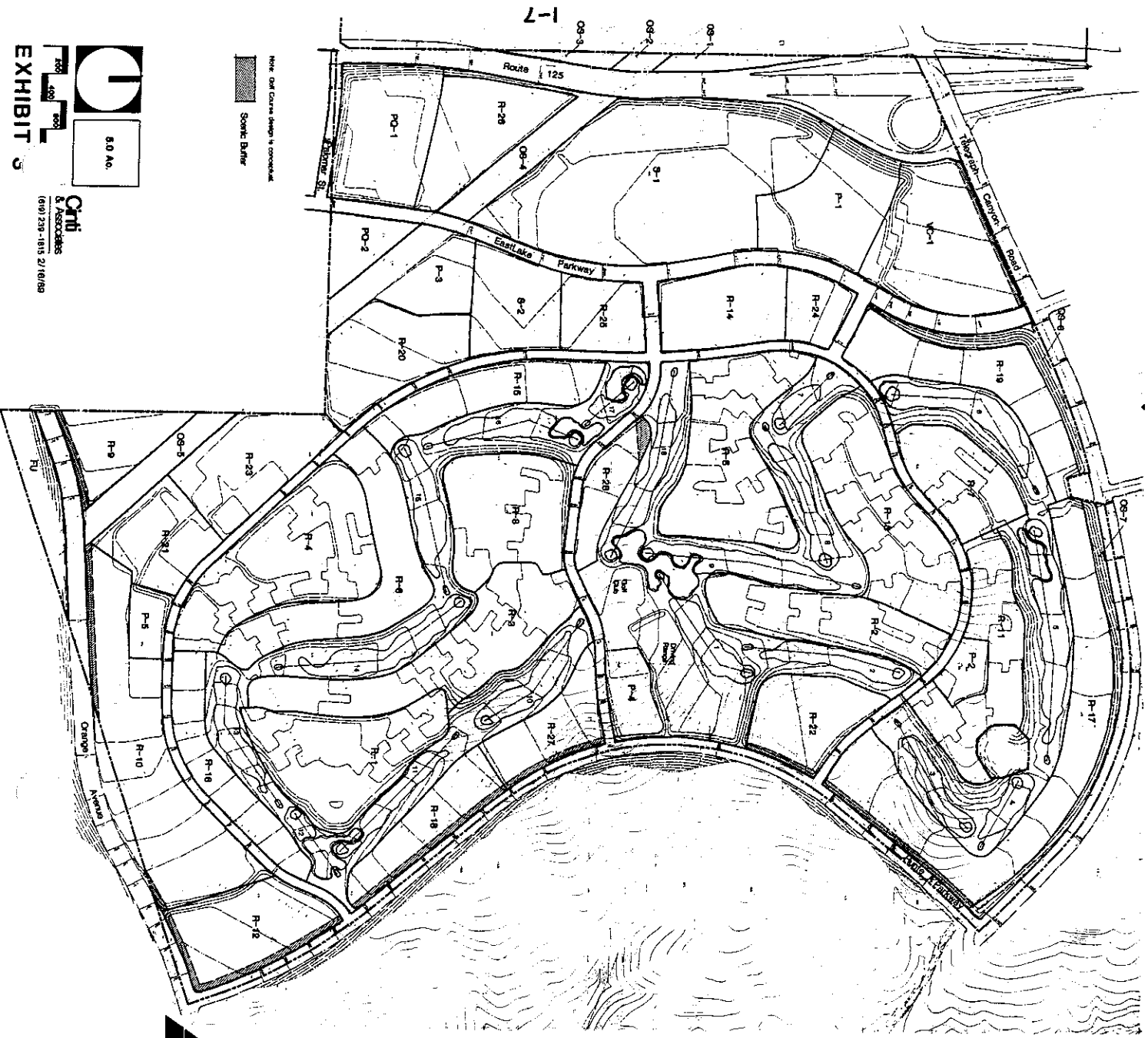
Community Structure



Site Utilization Plan

RESIDENTIAL	DETACHED (D)	DENSITY RANGE	ACRES	TARGET DENSITY (DENSITY)	TARGET UNITS
R-1	D		18.7	2.9	54
R-2	D		14.7	2.9	43
R-3	D		21.8	3.8	83
R-4	D	0-6.0	24.0	4.3	104
R-5	D		23.0	4.8	105
R-6	D		17.4	5.0	88
R-7	D		10.7	6.0	56
R-8	D		16.4	6.0	98
R-9	D		8.5	6.0	51
R-10	D		27.9	6.0	197
R-11	D		14.6	6.3	92
R-12	D		14.3	6.5	93
R-13	D		22.6	6.8	148
R-14	D		11.4	7.4	84
R-15	D		11.8	7.8	88
R-16	A	6.0-15.0	10.5	7.9	83
R-17	A		28.7	8.2	243
R-18	A		8.8	8.5	87
R-19	A		14.9	12.0	179
R-20	A		13.6	12.0	164
R-21	A		10.0	12.0	120
R-22	A		10.6	13.5	146
R-23	A		13.7	15.0	205
R-24	A		5.0	21.8	110
R-25	A	15.0-35.0	7.4	22.0	163
R-26	A		13.3	22.0	293
R-27	A		8.9	31.9	284
R-28	A	25.0 +	6.1	27.4	167
SUB-TOTAL			412.4 ac		3809 du

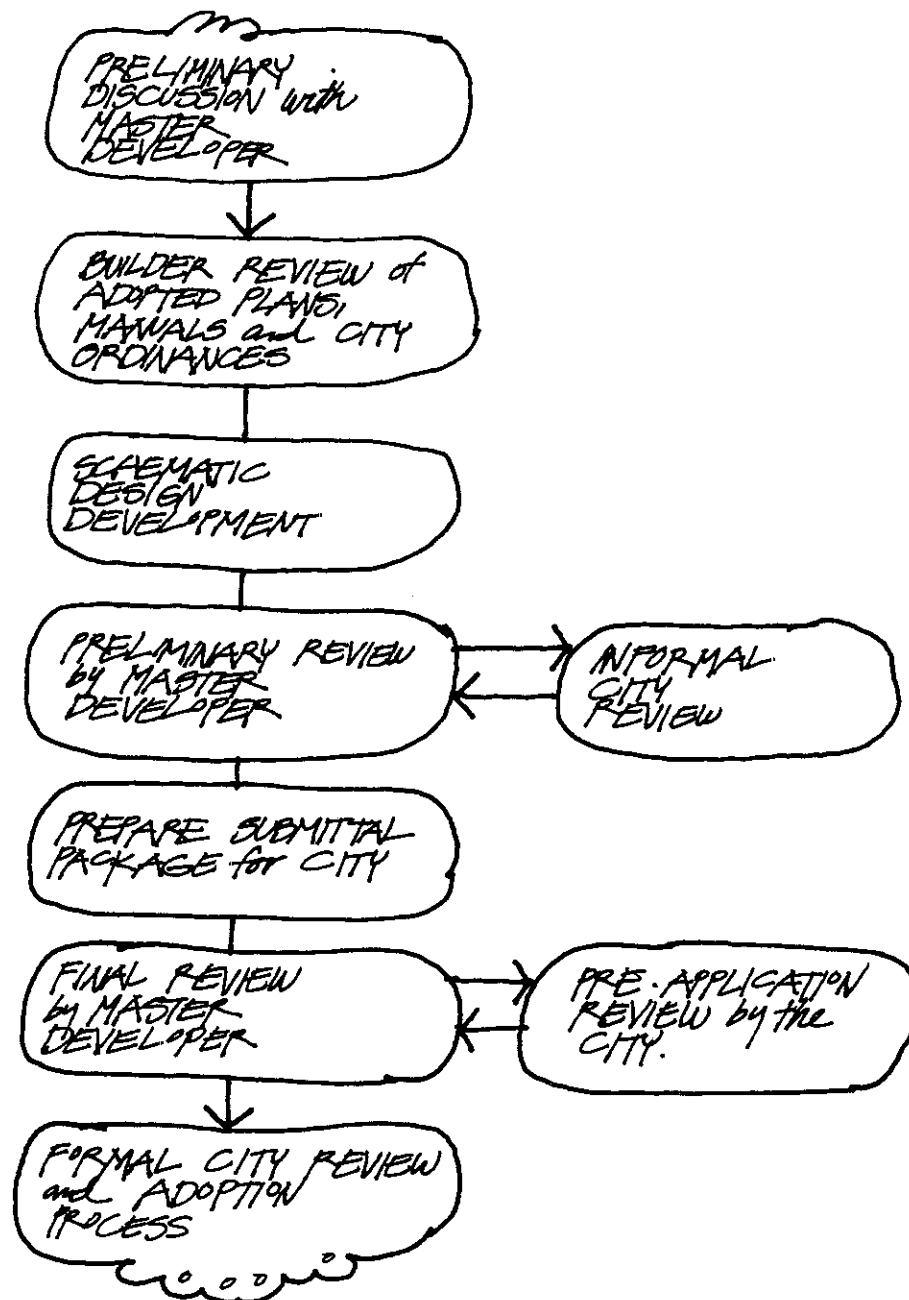
NON-RESIDENTIAL	LAND USE	ACRES
VO-1	VILLAGE CENTER	18.0
PO-1	PUBLIC/QUASH-PUBLIC	12.3
PO-2	PUBLIC/QUASH-PUBLIC	4.8
8-1	HIGH SCHOOL	48.2
8-2	ELMENTARY SCHOOL	100
P-1	COMMUNITY PARK	16.1
P-2	NEIGHBORHOOD PARK	3.0
P-3	NEIGHBORHOOD PARK	11.0
P-4	NEIGHBORHOOD PARK	4.5
P-5	NEIGHBORHOOD PARK	3.0
OG-1	OPEN SPACE	2.9
OG-2	OPEN SPACE	1.1
OG-3	OPEN SPACE	1.9
OG-4	OPEN SPACE	7.6
OG-5	OPEN SPACE	6.3
OG-6	OPEN SPACE	4.8
OG-7	GOLF COURSE	5.8
MAJOR CIRCULATION		180.4
SUB-TOTAL		418.1
PROJECT TOTAL		830.5 ac
		3809 du



DESIGN REVIEW PROCESS

Introduction and Summary

The design review process includes two integrated procedures: design review and approval by the master developer and review and approval by the City of Chula Vista. Essentially the process requires the builder to formulate the design for his parcel and review it with the master developer prior to formal application and review of final designs by the City. The City of Chula Vista requires Site Plan and Architectural Review, as well as Landscape Review. The overall process is sketched below.



The City has also published a "Landscape Manual" which describes the landscape review process and provides some guidelines for landscape design from the City's perspective. The Manual also includes specific standards for landscape and irrigation improvements.

COMMUNITY DESIGN GUIDELINES

Introduction

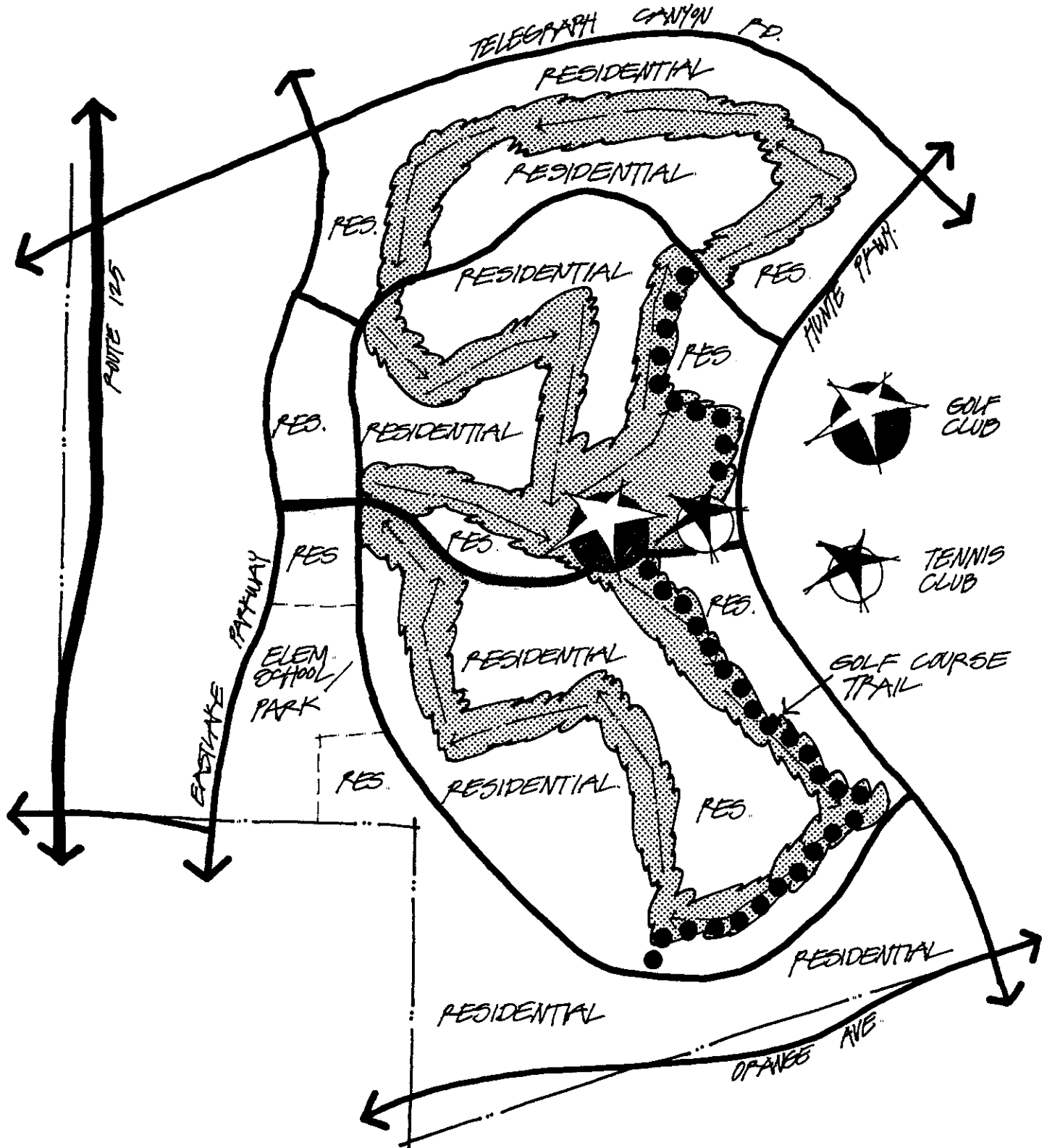
The character of the EastLake Planned Community at the broadest level is established by the EastLake I General Development Plan and EastLake I and EastLake Greens SPA Plans. During the preparation of these plans, numerous community design features were established or considered. As individual parcels are developed, attention to these pre-established criteria is necessary to successfully execute the intended design. This section is intended to describe and promote the design features of the EastLake Greens SPA Plan and to provide guidance for consistent detailed design. Several SPA Plan Exhibits which address these design issues have been reproduced herein for reference. The following chapter, General Development Guidelines, addresses those design issues (e.g., architecture, lighting, parking, etc.) which were not established in the previous plans.

Golf Course

The EastLake Greens neighborhood is to be developed with a "country club" theme. The 18 hole golf course and country club facility are the major components used to establish this theme. Architecture, landscaping, street and project names etc., will be chosen to contribute to and reinforce the theme. Unlike the focal amenities in previous EastLake neighborhoods, the Swim Club and Beach Club, the golf course is extended around and through the residential areas rather than centrally located. In this manner, the open space and greenbelt character of the course extends throughout the neighborhood and allows a large number of units direct exposure.

The Country Club facility itself is centrally located, establishing the activity center for the neighborhood. [The community level activity center is located along the western edge of the project in the Activity Corridor.] Access to the neighborhood core is provided by streets and an assortment of pedestrian and bicycle routes. A special public trail is provided in selected locations fronting the golf course to allow walking and jogging along the golf course greenbelt. The Golf Course Concept exhibit illustrates these features of the project.

Golf Course Concept



EASTLAKE GREENS

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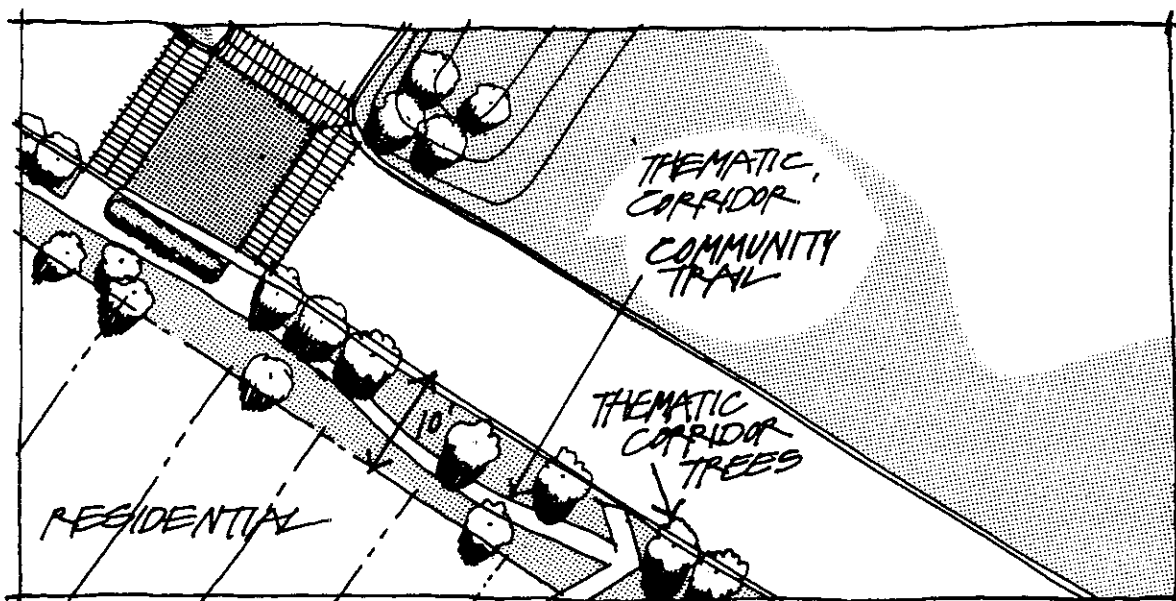
Circulation

The circulation network provides both a physical and visual connection between neighborhood development areas. The overall street circulation plan is indicated in Exhibit 4 on the following page. The exhibit also illustrates typical road sections. In addition, a comprehensive system of trails and pedestrian walks has been provided in EastLake Greens. The trail system includes pedestrian walks and bikeways which extend throughout the neighborhood and connect to a community-wide network. Access to the trail system will be a site planning issue for some parcels.

Special landscape designs and treatments have been established for community entries, parcel entries and streetscapes (see Golf Course Crossing exhibit). These are discussed in the Landscape Design section of these Guidelines and should be referenced for further information.

Community Trail

A unique feature of the EastLake Planned Community is the Community Trail (Thematic Corridor) which provides a connection between the focal points of each neighborhood within the community. It extends from the Swim Club in EastLake Hills, through the lake and Beach Club area of EastLake Shores, to the Village Center site north of Telegraph Canyon Road. It will be extended across the road and through the Activity Corridor area of EastLake Greens along EastLake Parkway, and then through the center of the neighborhood, past the clubhouse area along Street "E". From this point, it is proposed to extend eastward to future development in EastLake Trails and EastLake Vistas. The Community Trail is identified on the Trails Plan Exhibit.



Circulation

Loop Road
68' R.O.W.
A
10' 5' 12' 6' 12' 6' 10'
4' sidewalk
5' bike lane
4' sidewalk

Street "E"
74' R.O.W.
B
10' 5' 16' 7' 7' 16' 5' 10'
4' sidewalk
5' bike lane
10' meandering walkway
4' sidewalk

Palomar Street
84' R.O.W.
C
10' 5' 22' 5' 5' 22' 5' 10'
4' sidewalk
5' bike lane
4' sidewalk

Eastlake Parkway & Hunts Parkway
100' R.O.W.*
D
10' 10' (32') 22' 12' 12' 28' (32') 10'
westerly side of Eastlake Parkway
5' 11' 12' 12' 11' 5'
4' sidewalk
5' bike lane
10' meandering sidewalk
4' sidewalk

Street "D"
108' R.O.W.*
E
6' sidewalk
southerly side of Telegraph Canyon Road
meandering sidewalk

Orange Avenue & Telegraph Canyon Road
134' R.O.W.*
F
10' 5' 12' 48' ultimate width 15' 15' 48' 10'
lined ditch
truck lane (where required)
Route 125
166' R.O.W.

Note: Refer to Trails Plan for location of walkways. Final street standards to be established by Tract Maps.

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EXHIBIT 4

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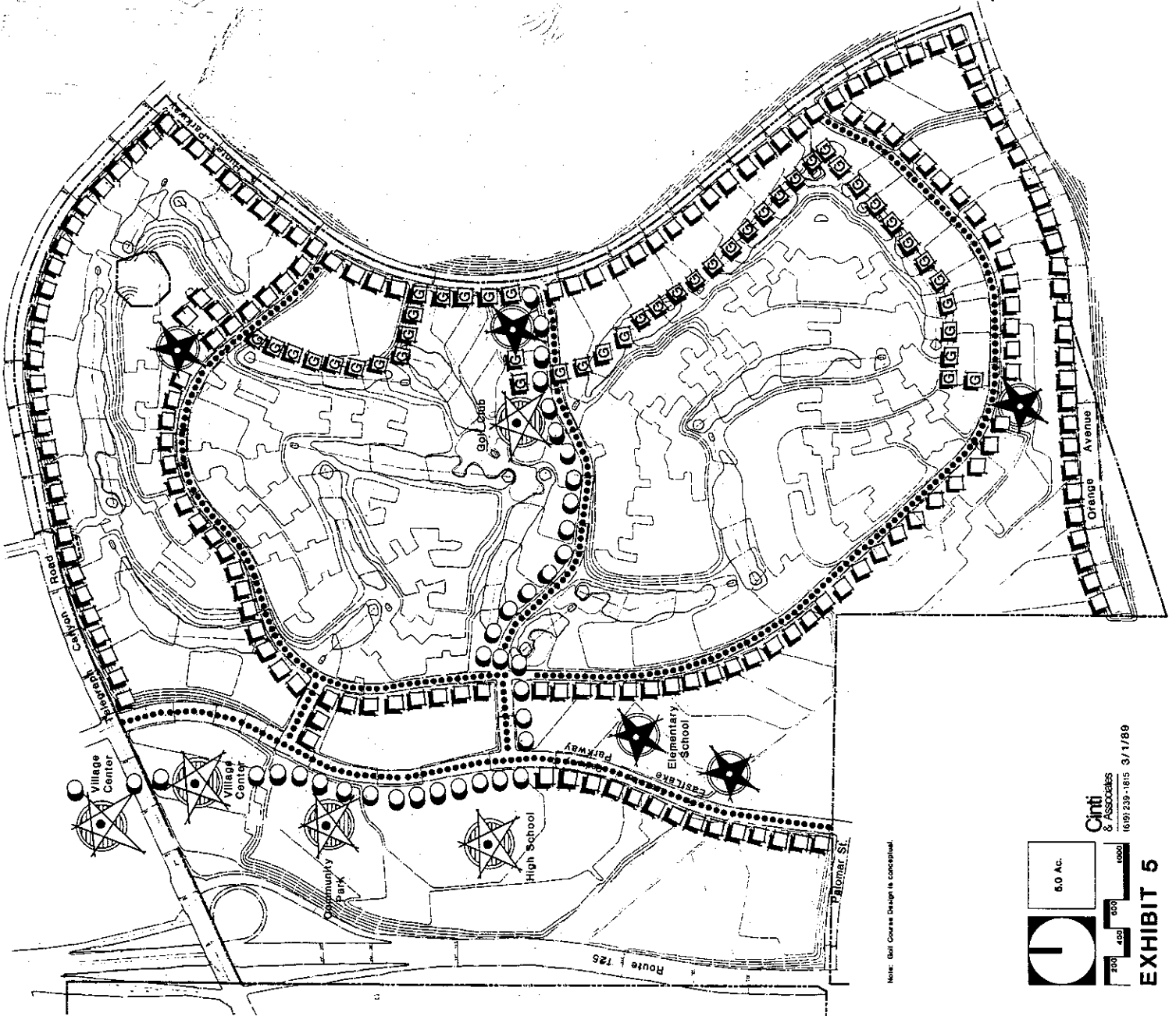
Cinti & Associates









EASTLAKE GREENS

**A Planned Community in
the City of Chula Vista**

Trails Plan



-  Pedestrian Walk
-  Golf Course Trail
-  Community Trail (Thematic Corridor)
-  Bikeway (On Street)
-  Major Landmark
-  Minor Landmark

Note: Final trail standards to be established by Tract Maps

EASTLAKE GREENS

A Planned Community in
the City of Chula Vista



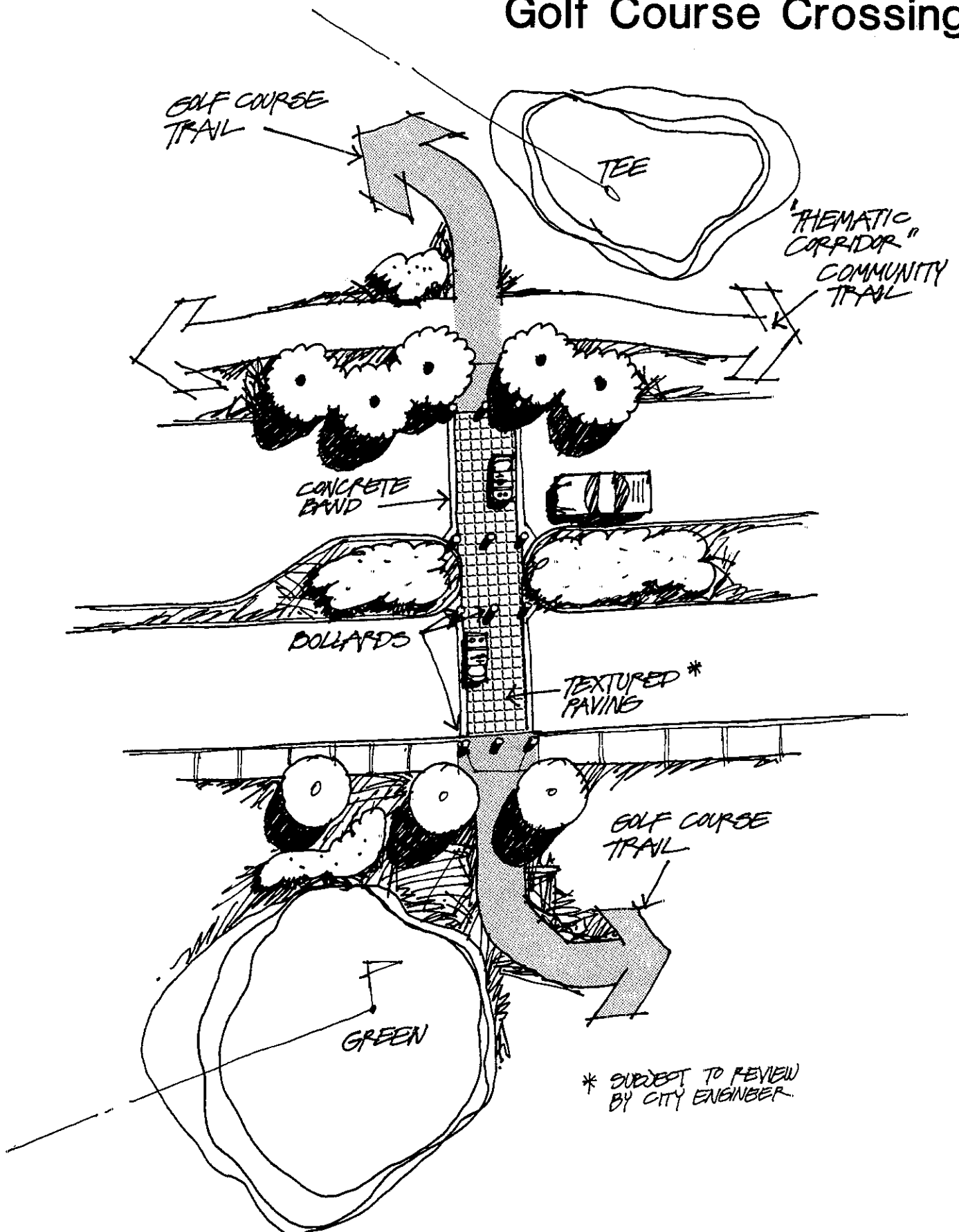
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EXHIBIT 5

Golf Course Crossing



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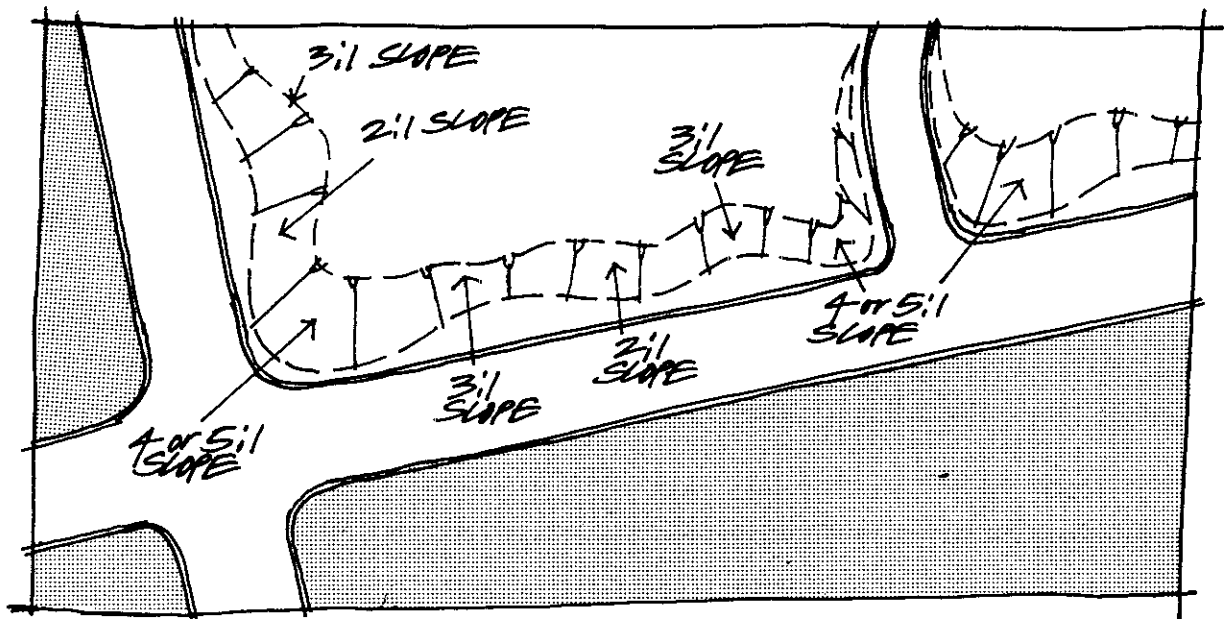
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Grading

Attention to detail in the execution of grading is important at both the mass grading and detail grading levels. The EastLake Greens SPA includes design standards for grading; the most relevant portion is summarized below. The requirements of the Chula Vista Municipal Code and other city policies shall also be incorporated in grading plans for development within EastLake Greens.

Grading Standard

The design intention of the SPA plan is that graded areas be contoured to blend with natural landforms. Rounding both vertical and horizontal intersections of graded planes, obscuring slope drainage structures by massing a variety of plant materials, incorporating variable slope ratios for larger slope banks, use of landscape planting to control erosion and obscure man-made banks, architectural solutions to topographic changes, and other similar techniques should be used. Artificially appearing slope banks with rigid angular characteristics should be avoided.

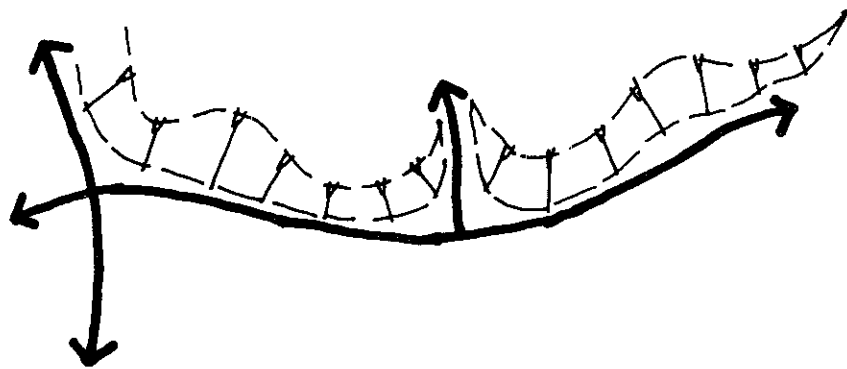


Slope Banks

The following guidelines are summarized from the SPA Plan. Specific standards will be implemented through the tentative tract map process.

- Banks in excess of 5 feet in height should be constructed at 2:1 or less (unless otherwise approved).
- Erosion potential on all slopes should be reduced through the use of small berms at the top of the slope, drainage improvements, and/or the use of appropriate vegetation (see Landscape Design).
- Provision should be made for adequate maintenance of graded slopes and landscaping.

The conceptual grading plan prepared as a component of the EastLake Greens SPA Plan adheres to the grading design standard quoted above. Subsequent detailed planning is not anticipated to involve major grading but rather focus on small refinements on a parcel-by-parcel basis. The critical issues at that level will be landscape treatments, erosion control, etc. The Landscape Design section of these Guidelines should be referenced for guidance.

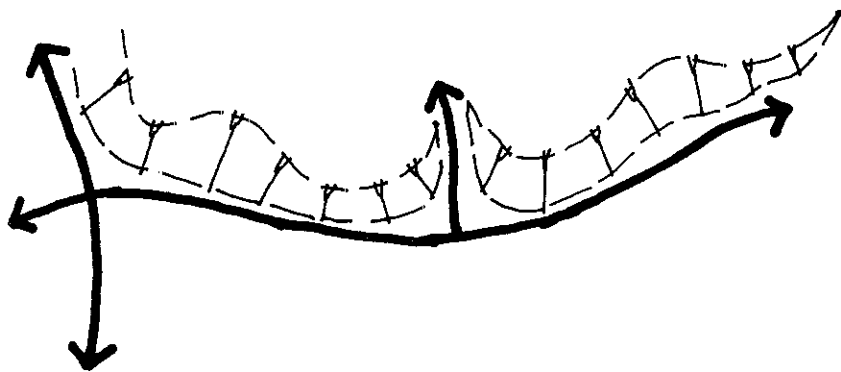


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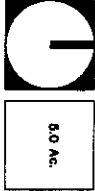
Grading Plan

6-III



Note: Golf Course design is conceptual.

Note: Grading indicated is conceptual.
Refer to future Tentative Map and Grading
Plans for more precise grading design.



300
400
1000
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(619) 233-1815 3/1/89

EXHIBIT 6

EASTLAKE GREENS

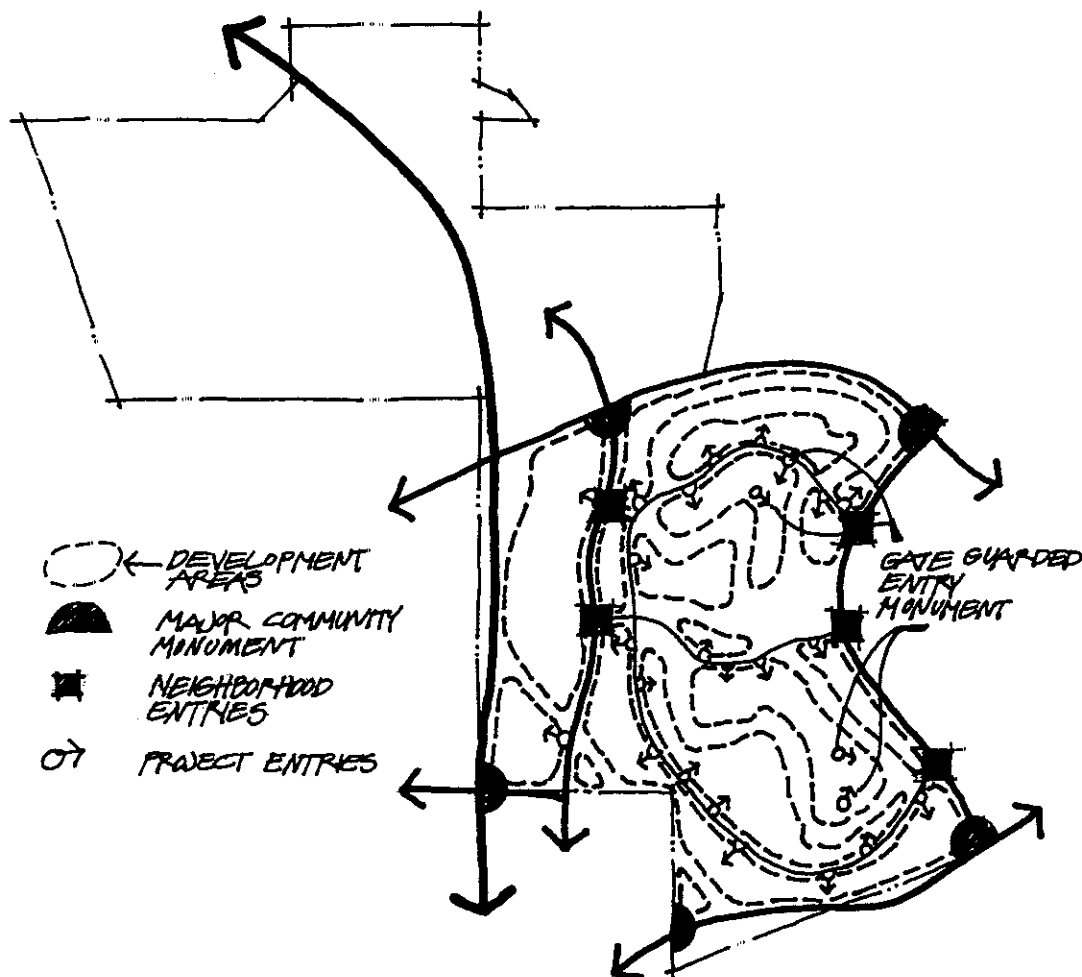
A Planned Community in
the City of Chula Vista

Entries

Entries serve two primary purposes. The first is informational; they identify the community or neighborhood. To this end, entry graphics must be clearly readable to the motorists and not so overly sculpted and landscaped that their basic message becomes obscured.

The second purpose is to provide unifying design accents throughout the community. If each project or neighborhood attempted to compete for attention via their entries, the overall unity of the community would be decreased. Therefore, there will be a common design treatment for all entries to reinforce the overall sense of community.

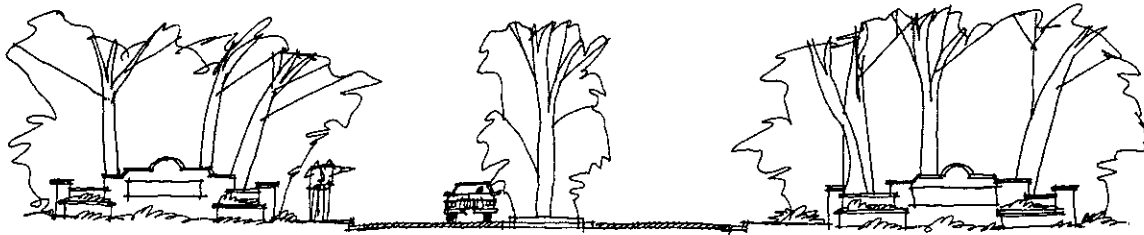
Entry monumentation will be provided by both the master developer and individual builders. There are three primary types of entries: major entries, minor entries, and gated entries. The approximate location of these entries is depicted below.



Major Entries

Major entries are those which provide access to the entire EastLake Community. They consist of special monumentation and landscape planting, as illustrated below.

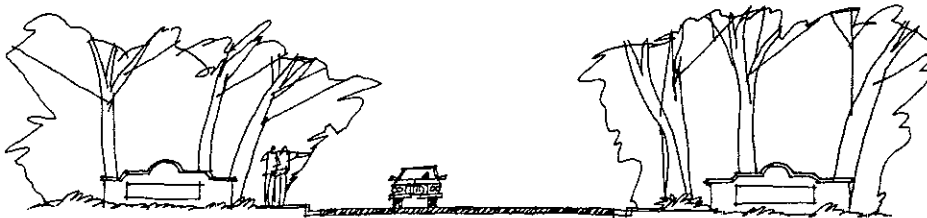
These entries should be designed to create a portal and convey a sense of arrival. They will inform the motorist that this is the entrance to the EastLake Planned Community. They will include design features that are consistent with community fencing materials and may include a mock guard house element. Entry design should flow with the terrain and appear to be an extension of adjacent land forms.



Major Community Monument

Minor Entries

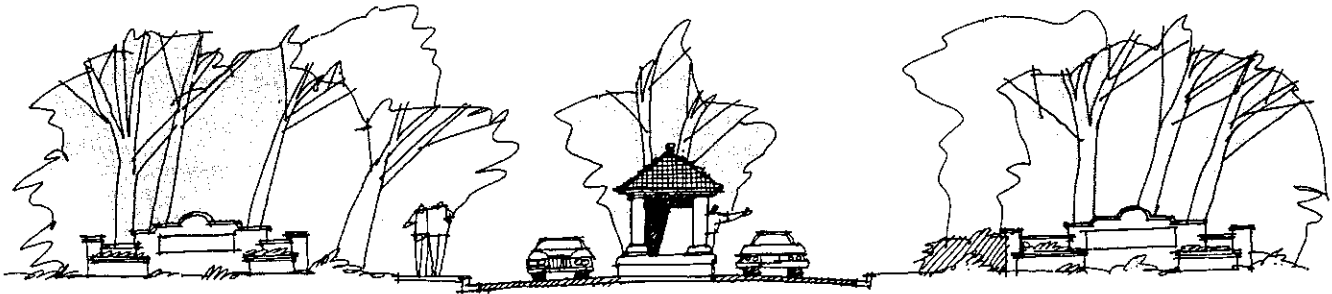
These are the entries to the EastLake Greens neighborhood. They are to be designed as an enhanced extension of the community fencing detail. These will be limited to the major entry points of the neighborhood and will provide visitors with the neighborhood identification.



Minor Community Monument

Gate Guarded Entry

There are two areas, identified as Parcels R-1 and R-2 on the Site Utilization Plan, which are contemplated as private, gated sub-neighborhood. Even though these will be exclusive areas, it is intended that the entries will conform to the neighborhood and community-wide entry themes, should the gate guarded concept be implemented.

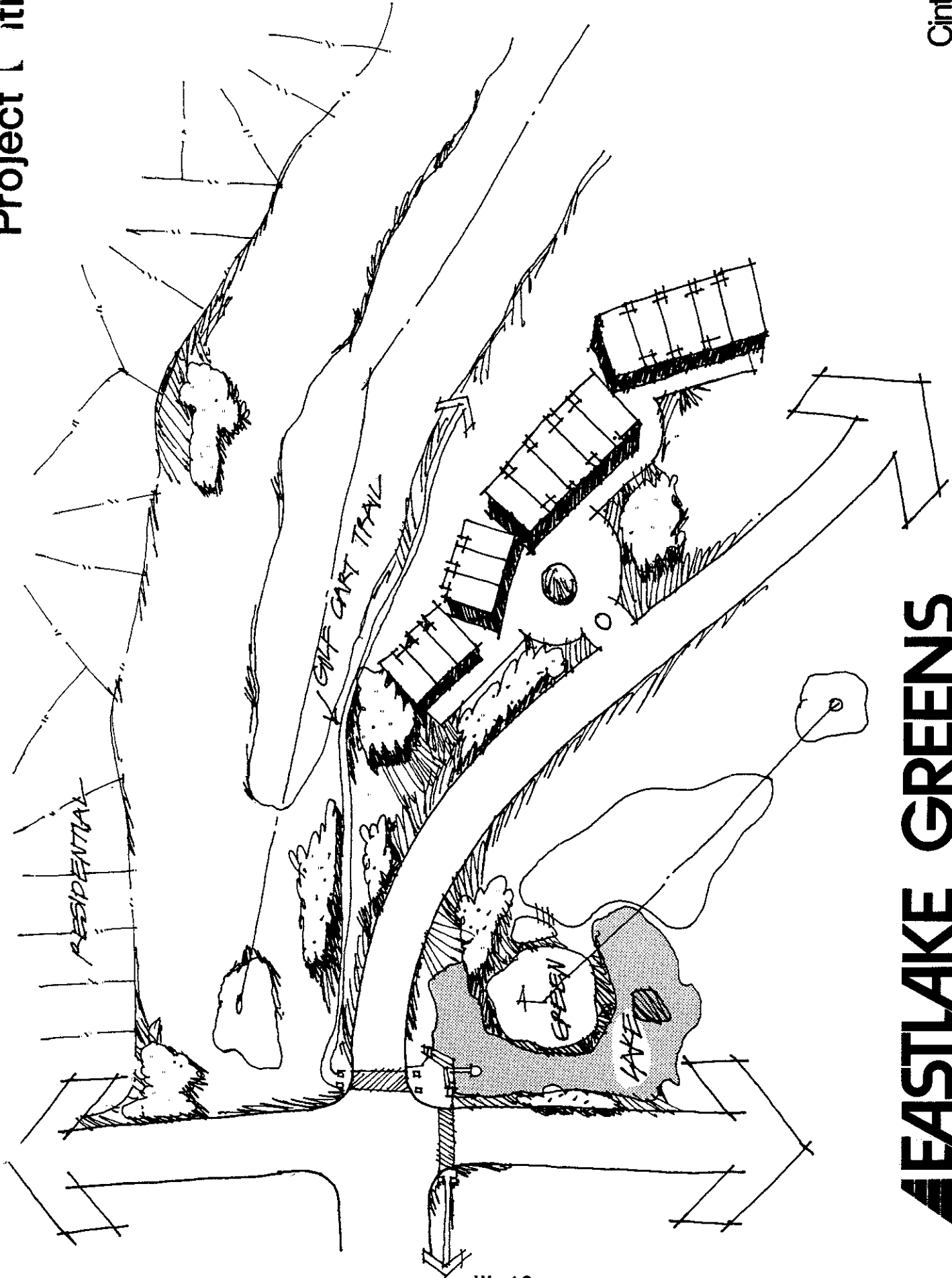


Gate Guarded Community Monument

Fencing

One of the most dominant visual elements of a community is its fencing. It is essential for this element to be aesthetically pleasing and provide continuity in design to unify the various architectural styles within individual neighborhoods into a single community theme.

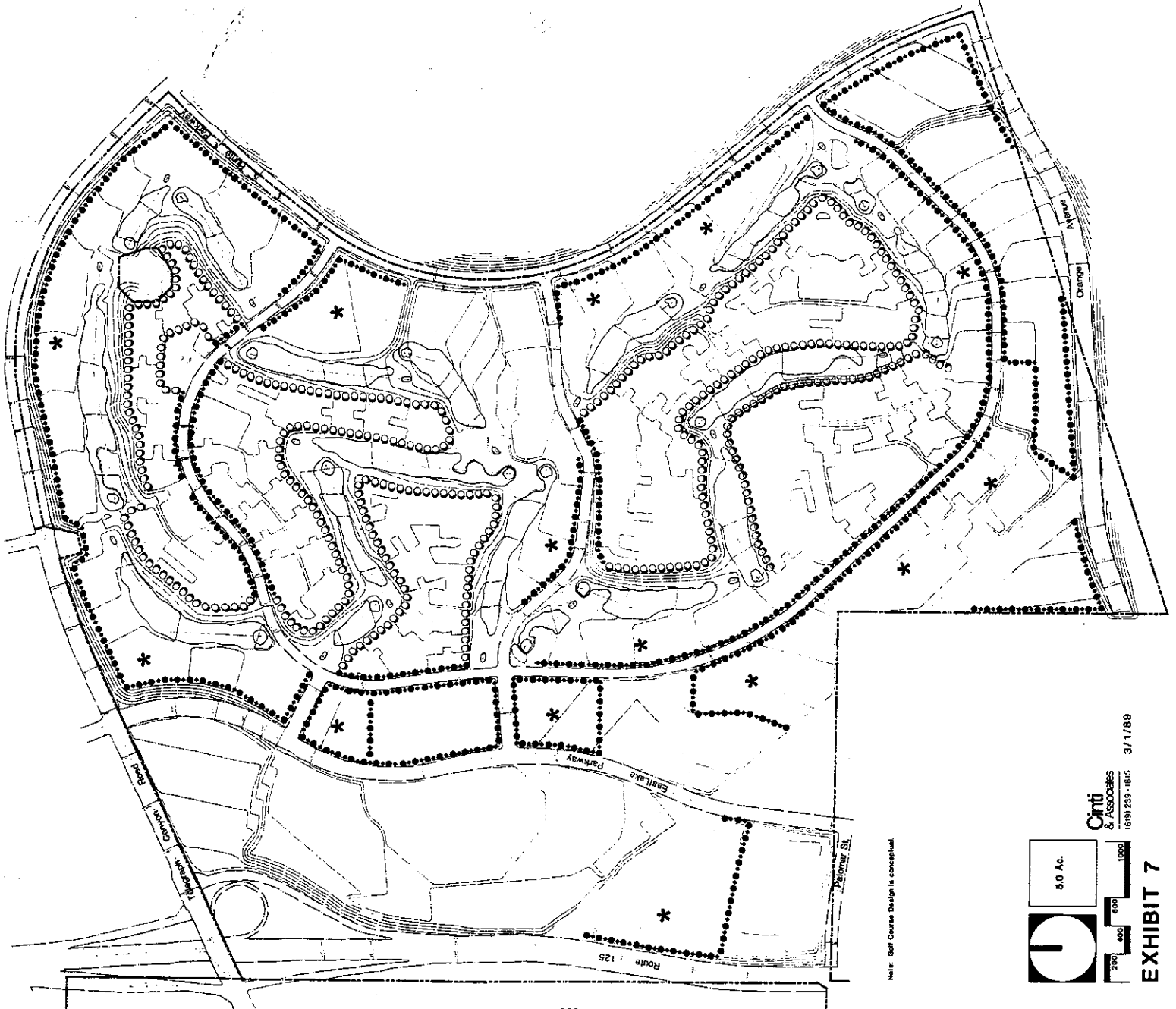
Fences and walls can serve many functions including security, identity, enclosure, privacy, etc. However care must be exercised in the design of fencing in order to avoid long, boring or awkward sections of fencing. It is intended that the available fencing types be combined to attract interest and provide variety. Using a combination of open and solid styles, changing angles and directions is encouraged. Long straight runs of a single fence style is monotonous and inappropriate. Section 6.5 of the EastLake Greens SPA Plan provides additional fencing design and placement guidelines.



EASTLAKE GREENS

A Planned Community in the City of Chula Vista

Fencing Plan



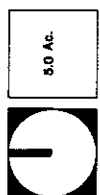
- Golf Course View Fence
- - - - - Community Theme Fence
- *

Fencing to be established by
Site Plan Review process

EASTLAKE GREENS

A Planned Community in
the City of Chula Vista

Note: Golf Course Design is conceptual.



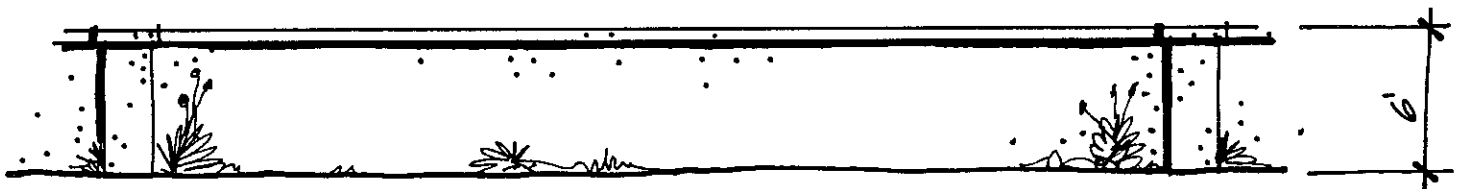
City
& Associates
(619) 239-1815
3/1/89

EXHIBIT 7

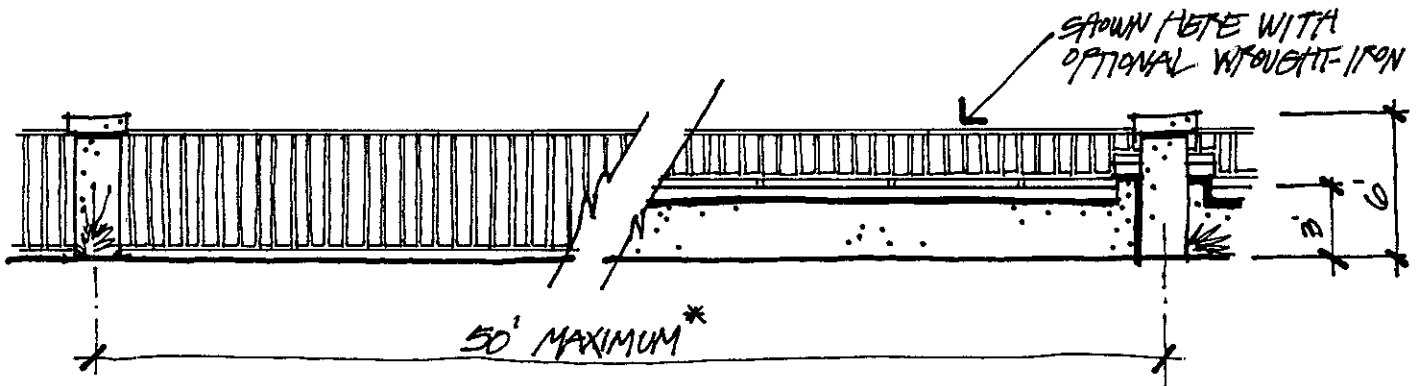
The elevations of the EastLake Planned Community fencing program are sketched in the Fencing Types Exhibit. These are to be used for all fencing indicated on the Fencing Plan. Fencing for town-home and multi-family projects are not specified on the fencing plan, because the placement of such fences will be a design detail of each individual site plan in these areas. However, any fencing proposed in these attached residential neighborhoods shall use the same fencing style as indicated for the single family detached areas. The pilaster serves as the unifying design element among the different fence types and will establish the theme for community fencing.

Each type of fence serves a particular purpose. The sound wall is a plaster coated masonry wall intended to provide noise mitigation and privacy. The solid theme wall is used where visual privacy is needed, but protection from the noise of arterial highways is not important. This wall uses a pilaster similar to the sound wall, but may use fence boards between. An open wall is used where a physical barrier is needed, but a view needs to be preserved. Within EastLake, wrought iron fencing between the theme pilasters is proposed as the open wall. Pilasters should be provided at each property line intersection or at a maximum spacing of approximately 50 feet.

Fencing Types



SOLID THEME FENCE /
SOUNDWALL - NOISE MITIGATION



OPEN THEME FENCE /
GOLF COURSE VIEW FENCE

*PLASTER AT ALL PROPERTY LINE INTERSECTIONS
TYPICAL PLASTER SPACING IN ALL STYLES

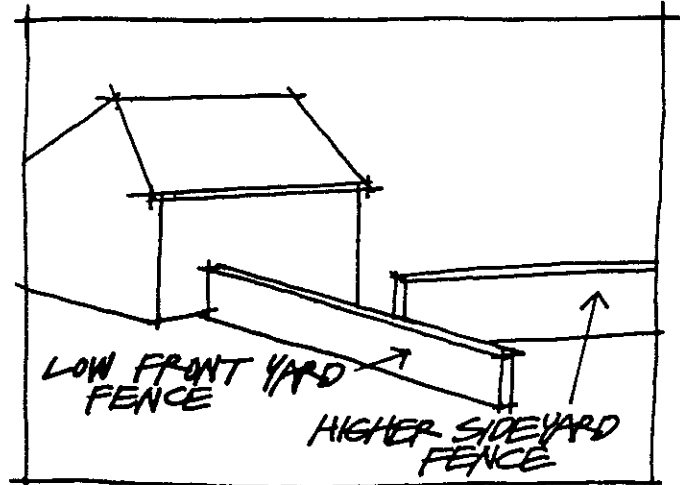
EASTLAKE GREENS

A Planned Community in the City of Chula Vista

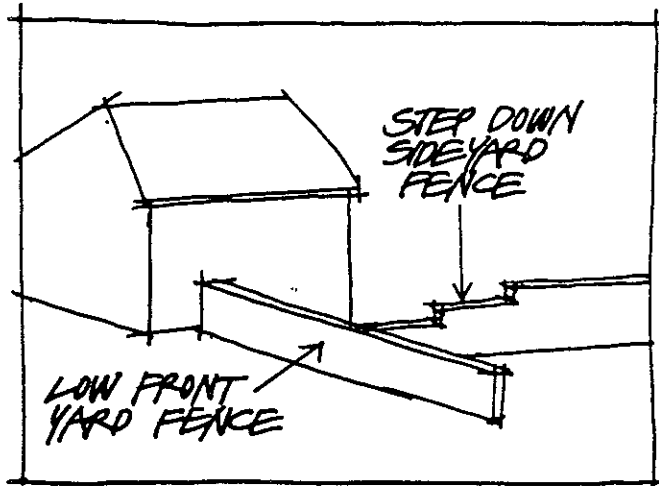
3/1/89

COORDINATING FENCE HEIGHTS

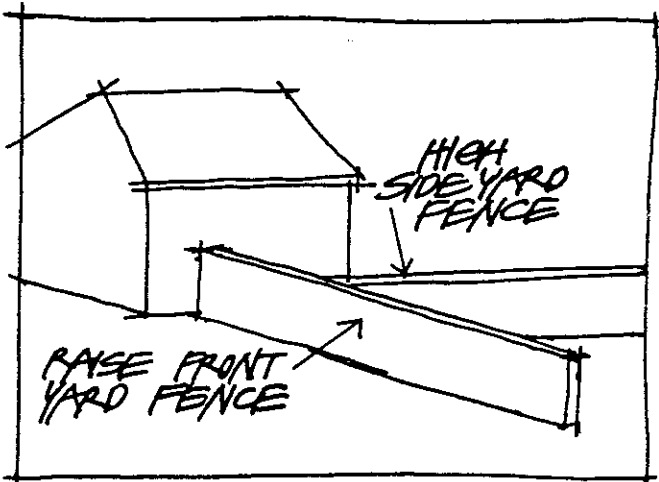
INSTEAD of THIS



DO THIS



or THIS

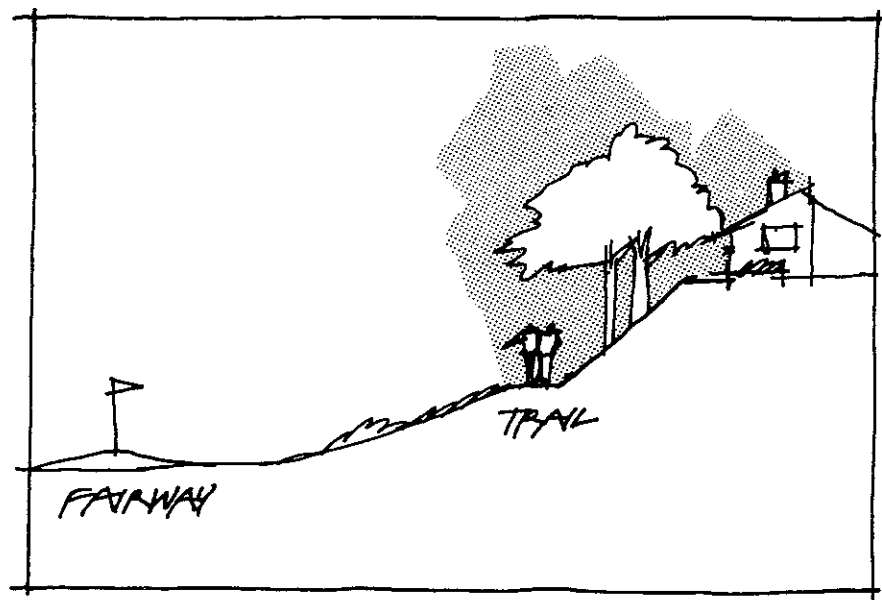


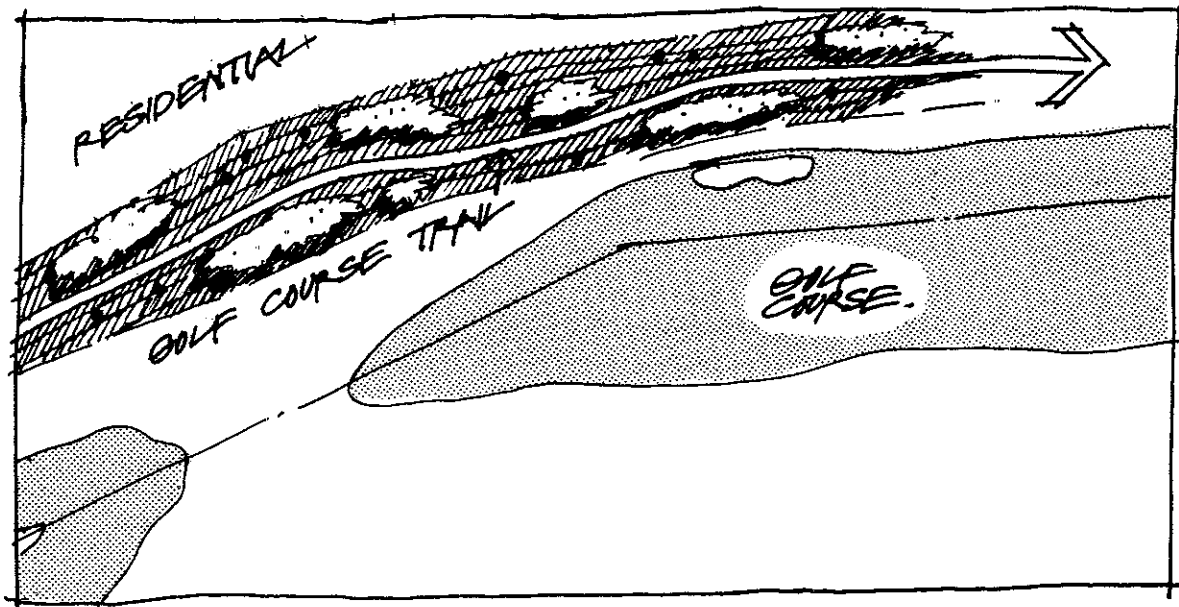
Edges

The interfaces between uses, or "edges", are extremely important in creating an overall harmony in community design. Site planning and landscape design should not terminate at the boundary of an individual parcel, but should make a design connection with the adjacent use. Four common edge conditions are discussed and sketched below as examples of how to appropriately respond to typical situations.

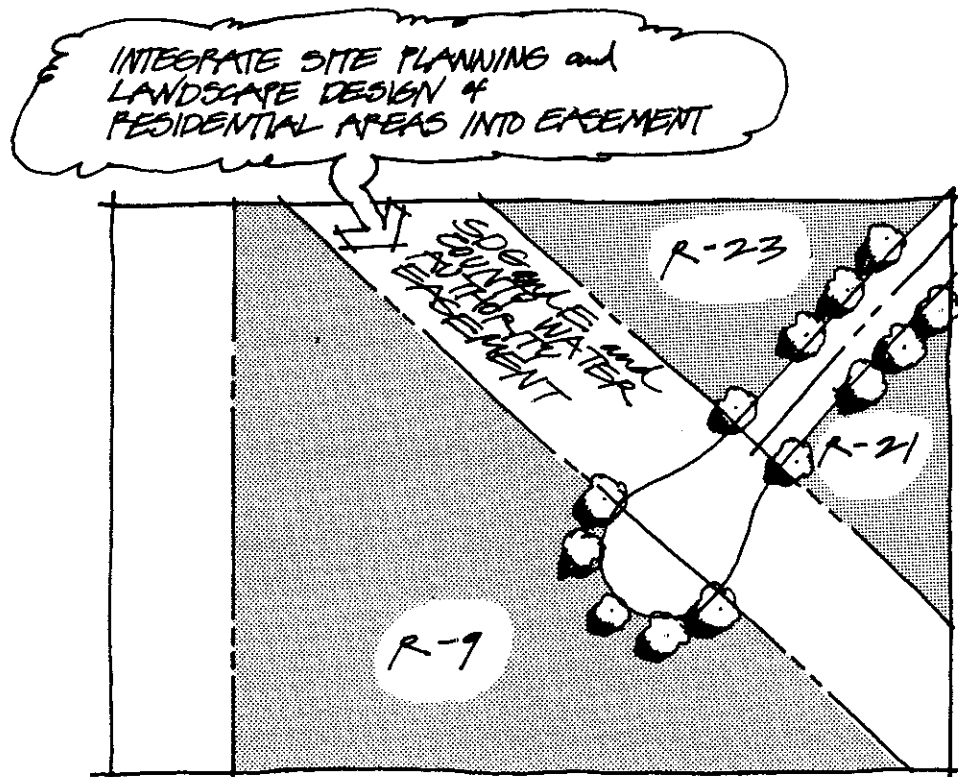
Golf Course Edge

The major feature of the EastLake Greens neighborhood is the golf course which winds through the residential development areas. In most locations, the course is lower than adjacent residential areas to maximize views and an open space experience. A critical element of the overall community design is the interface between these open golf course areas and the developed edges. The site plans and architectural design for residential projects should take advantage of the view opportunities into and across the golf course. Designs should also avoid a hard, angular edge between the course and development areas. A logical progression from the urbanized and manicured landscape of the developed areas to the open character of the golf course should be provided. Appropriate barriers and/or buffers should be incorporated at the edges and where necessary for safety. The following sketches illustrate golf course interface concepts.





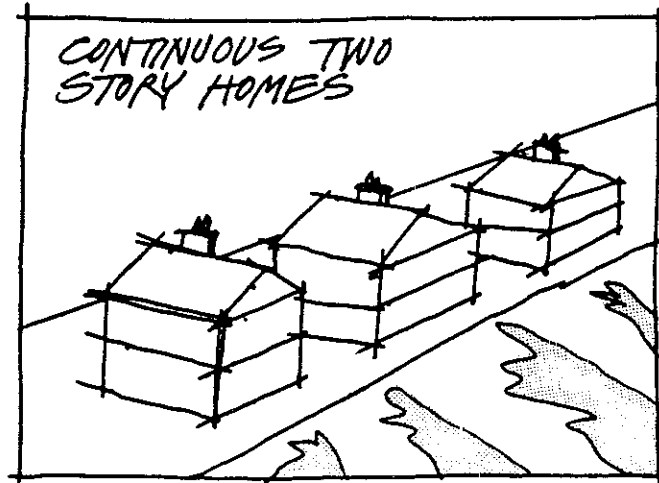
GOLF COURSE EDGE



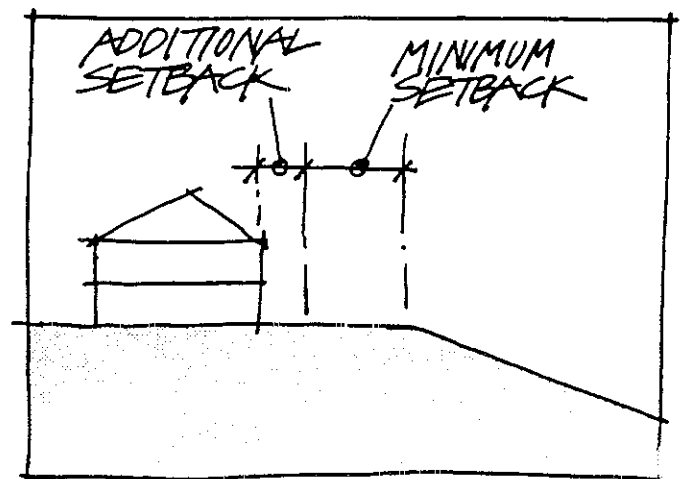
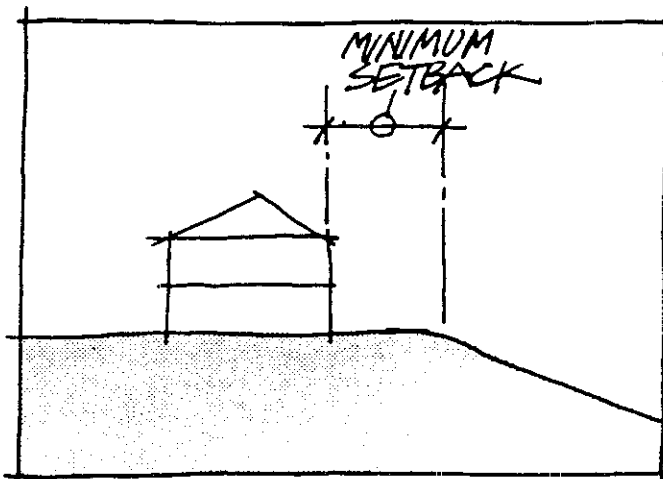
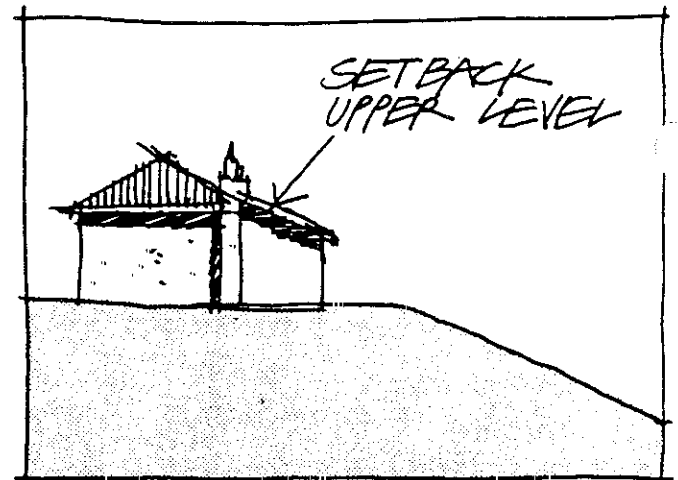
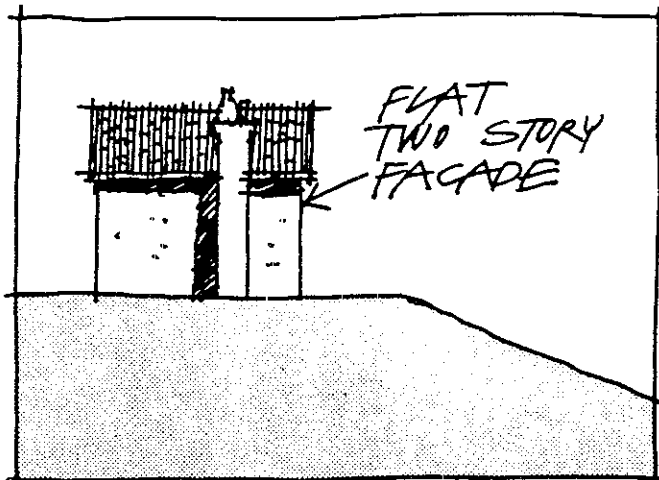
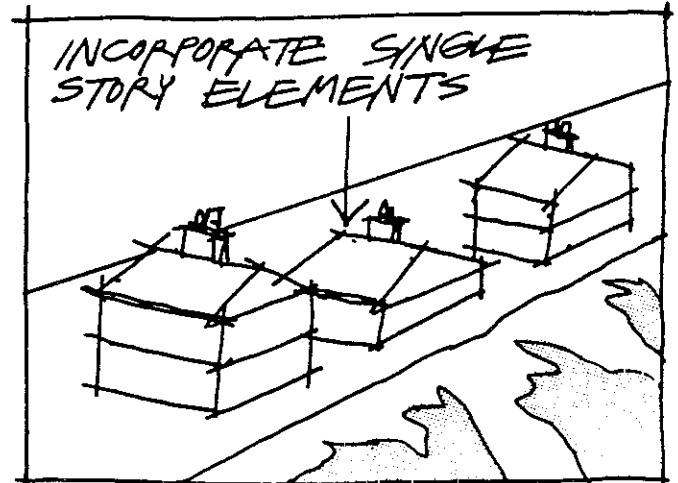
EASEMENT EDGE

ALTERNATIVE SENSITIVE EDGE TREATMENTS

INSTEAD OF THIS



DO THIS



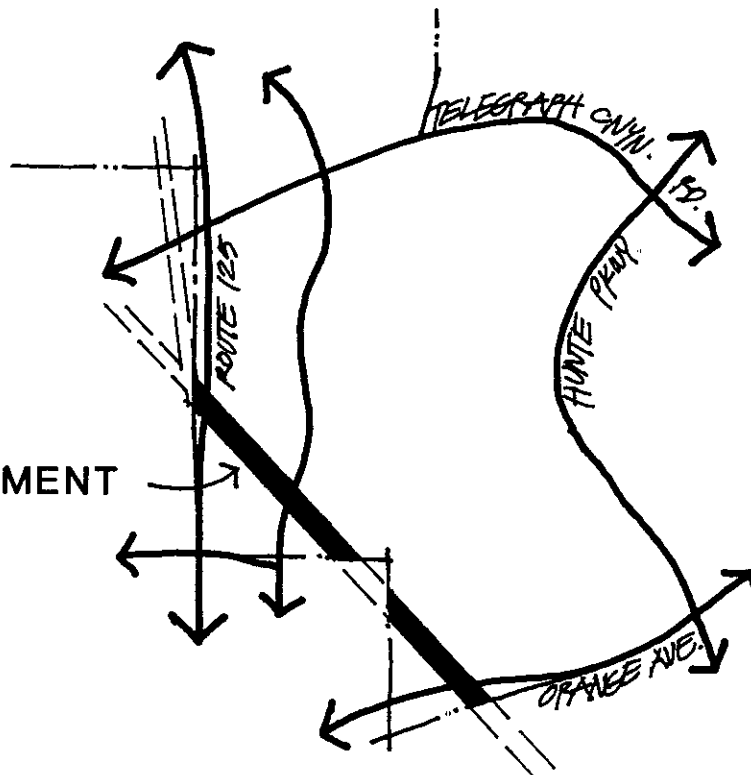
School/Park Interfaces

Although elementary schools and parks are generally considered to be compatible with residential uses, some level of conflict is unavoidable and a buffer must be provided. Whenever possible the buffer should include a change in elevation, placing the residential units higher. A difference of only three or four feet is a significant improvement. Dense planting of the slope and fencing should be provided to create a physical and visual separation. If sufficient slope height is provided, an open fence could be used to allow views from the residential lots across the open park area. These features should provide an aesthetically pleasing perimeter to the school or park while minimizing the intrusion of noise and distractions to the adjacent home sites.

SDG&E/Aqueduct Easement

A major SDG&E/Aqueduct easement runs through the southwestern portion of the community. This corridor abuts a number of development parcels and represents both an opportunity and constraint. The opportunity arises from the open space characteristics of the feature which also incorporates a public park. The constraint lies in the limitations on the type of landscaping that can occur consistent with SDG&E restrictions. Nonetheless, a fundamental design concept is that the easement interface with residential uses should not become a hard brown edge; landscaping on the adjacent parcels should be blended into the easement area to create a soft edge. See the Landscape Design section for additional information.

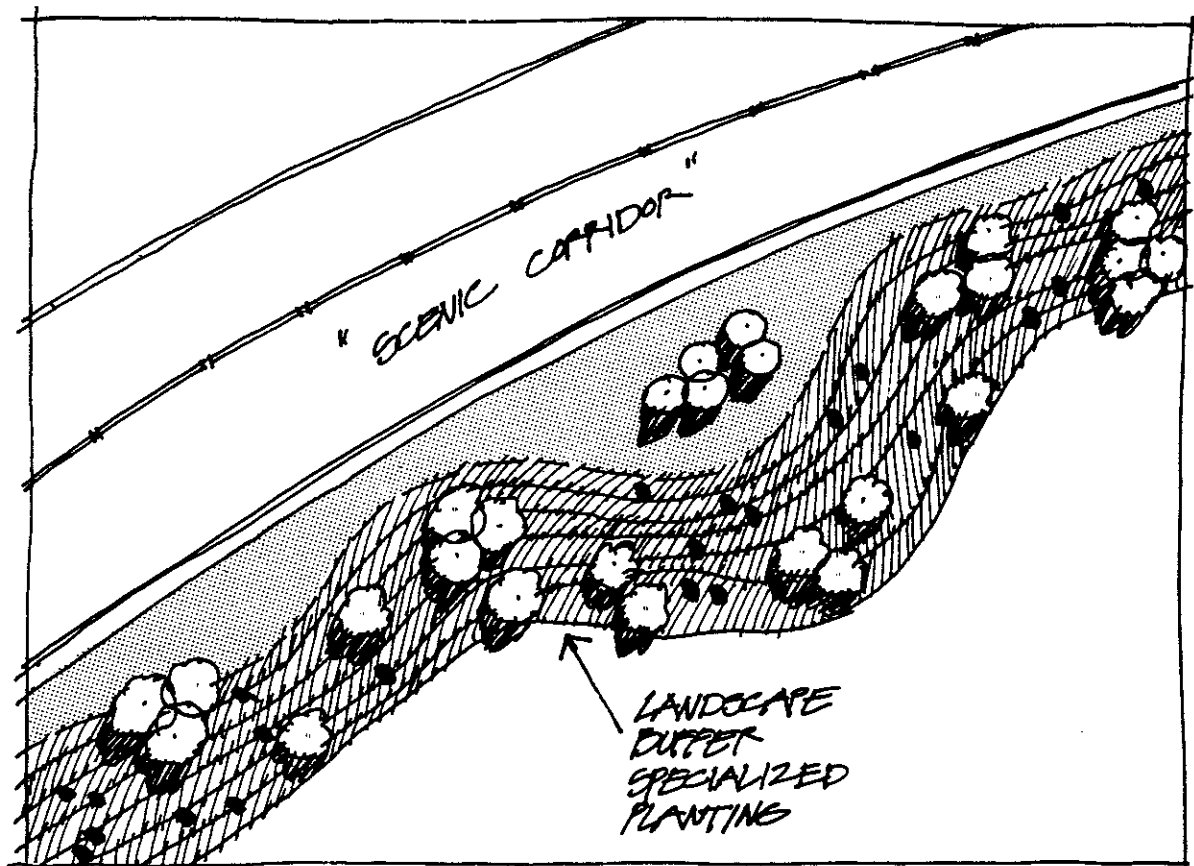
SDGE &
COUNTY WATER
AUTHORITY EASEMENT

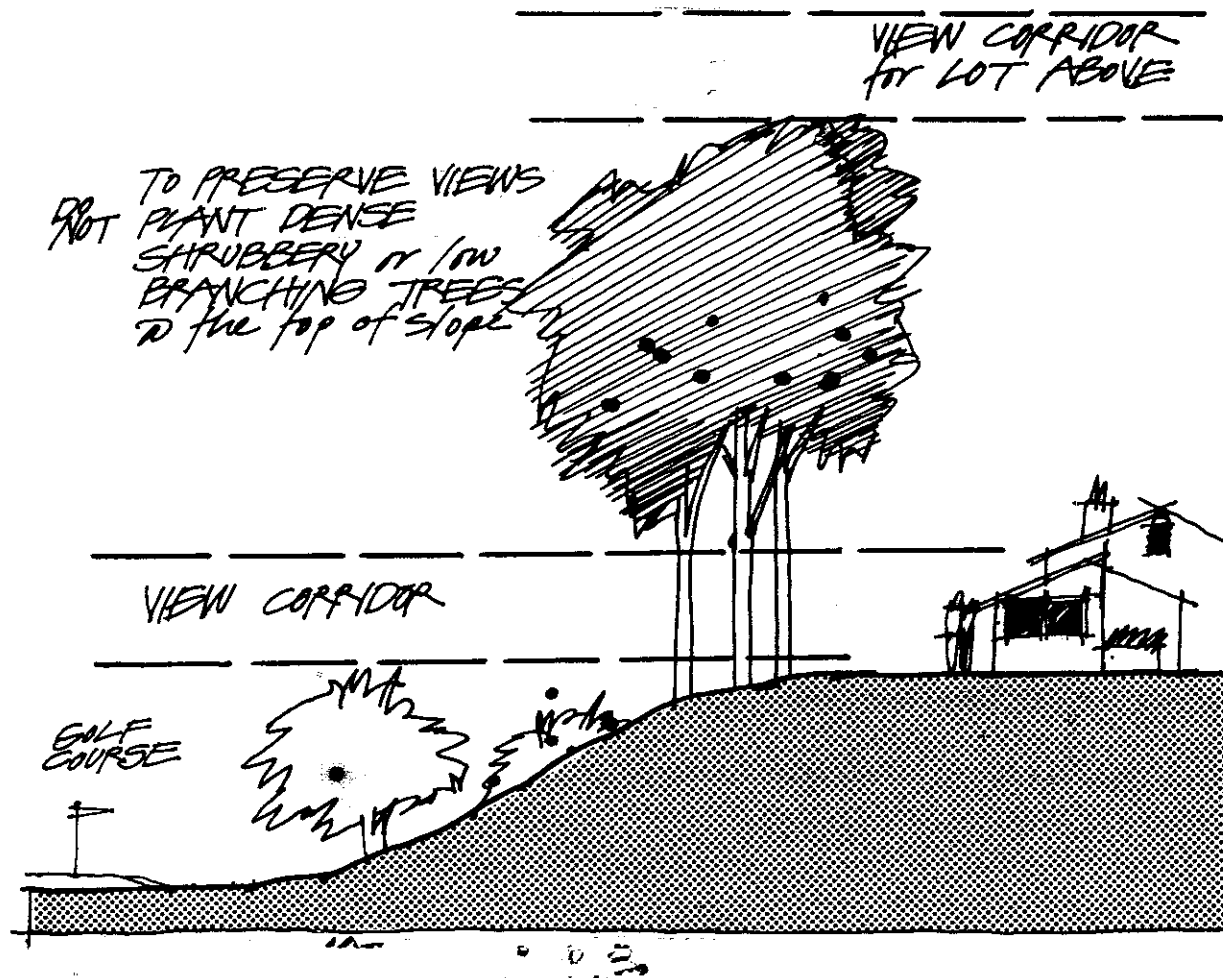
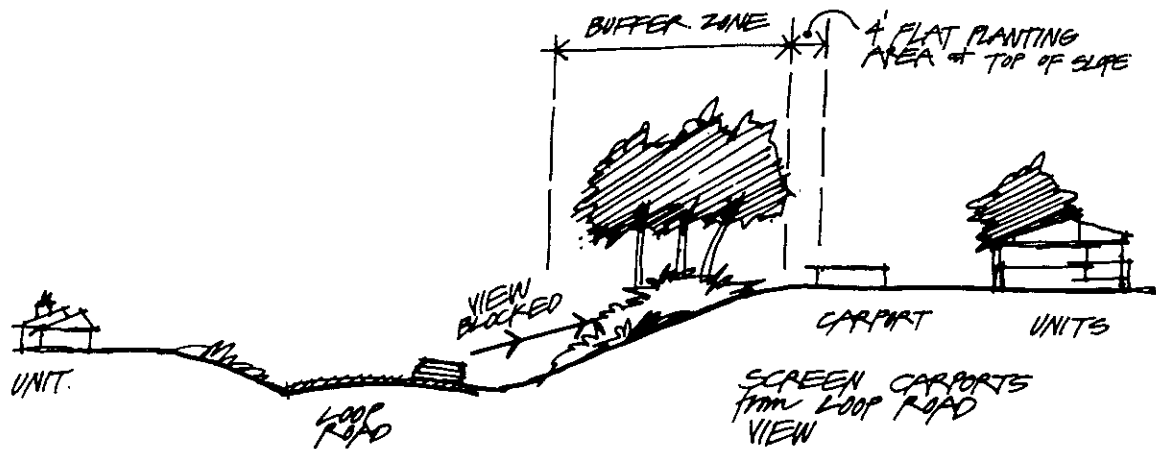


Scenic Corridors

Three off-site scenic corridors will be affected by development within EastLake Greens. These are the Telegraph Canyon Road, Hunte Parkway and Orange Avenue. Views from these streets to residential development areas will mainly comprise rear unit elevations and rooflines, rear yard fencing, and some graded slope areas. In such visible areas, attention will need to be given to the aesthetics of the rear exposure, as well as the front. Additional rear elevation detailing, variable lot depths or rear yard setbacks, and special slope landscaping should be considered as potential design solutions. The golf course interface discussion and the landscape design section of these Guidelines should be referenced for additional guidance. Additional discussion of this issue is included in the EastLake SPA Plan in Section 6.14.

The community collector road should also be considered a scenic corridor, although the elevation difference and viewing distance are considerably different from those of the surrounding major roads. Because of this close proximity the attention to detail is critical. The SPA Plan encourages a variety of development area exposures to the collector road including landscaped banks, entry landscaping, side lot exposure, and golf course vistas. Where a development parcel adjoins the collector road special consideration should be given to the aesthetic quality of the exposed edge, creating interest and maintaining the scenic quality of the community thoroughfare.





VIEW CONSIDERATIONS

GENERAL DEVELOPMENT GUIDELINES

Introduction

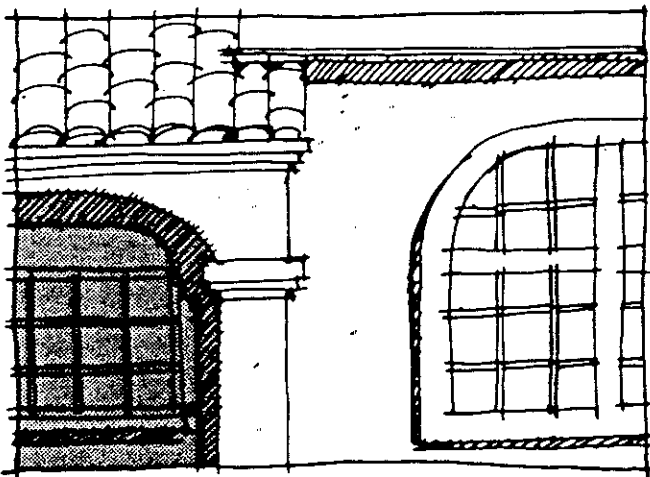
The design issues discussed in this section are those which were not directly addressed in the EastLake Greens SPA Plan, beyond the establishment of regulations. Design solutions in these areas will be much more the product of the creativity of each parcel's designer rather than conformance to the pre-established community standard. The design review process of the master developer and the City of Chula Vista will be used on a parcel-by-parcel basis to evaluate and approve the design programs of individual builders. Chapter 6 of the SPA Plan should be referenced for an overview of general development issues.

Architecture

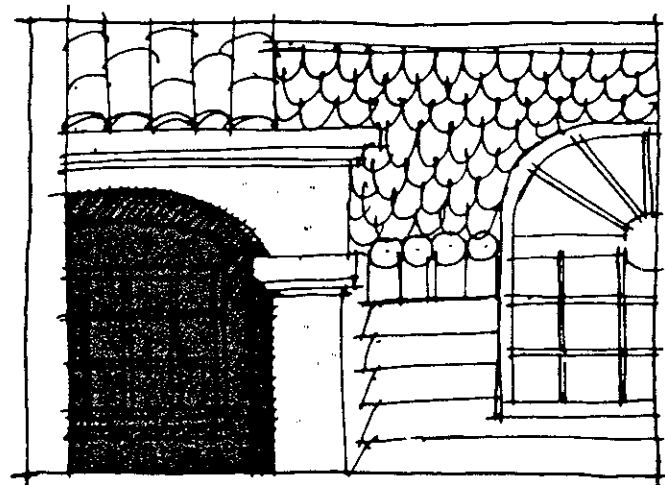
While the landscaping, fencing, and signing will have a common design throughout the entire community, some variety in architectural styles is envisioned for structures within the community. Although various architectural styles are intended to coexist in the overall community, they should not be mixed within a single project. Each parcel on the Site Utilization Plan shall have internal consistency. And, of particular importance, architecture should not be a hybrid style, such as "Spanish Cape Cod".

THIS

NOT THIS



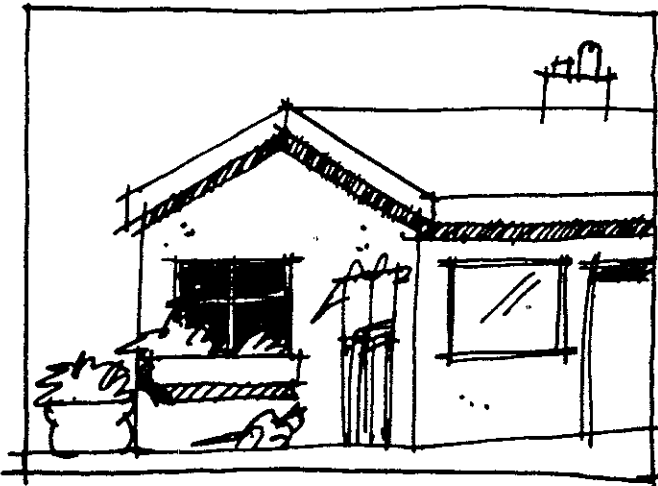
DO



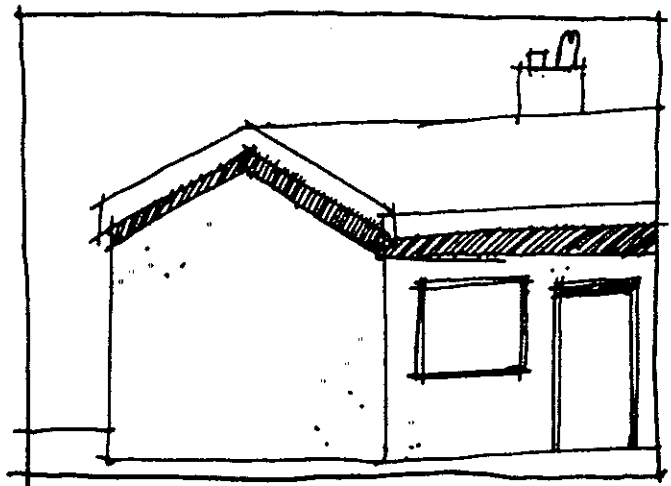
DONT MIX ARCHITECTURAL
STYLES.

THIS

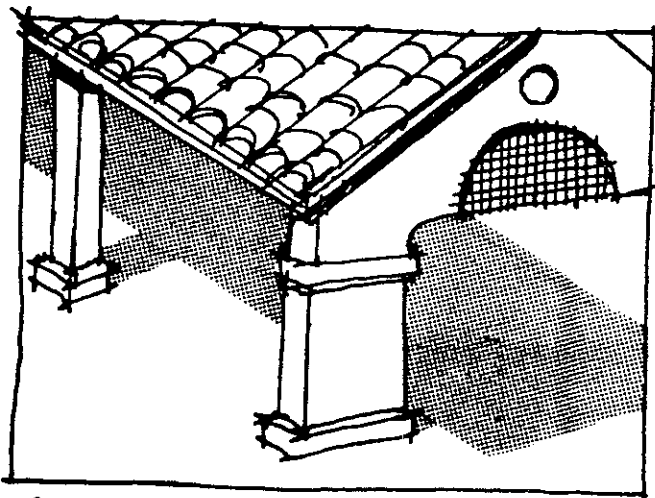
NOT THIS



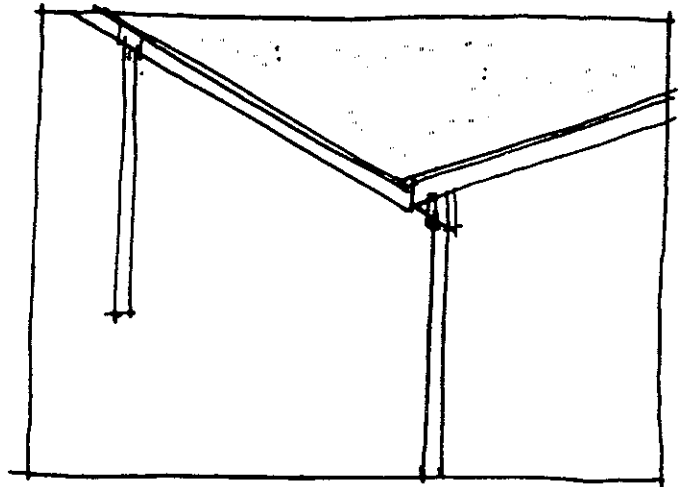
DO



AVOID BLANK FACADES



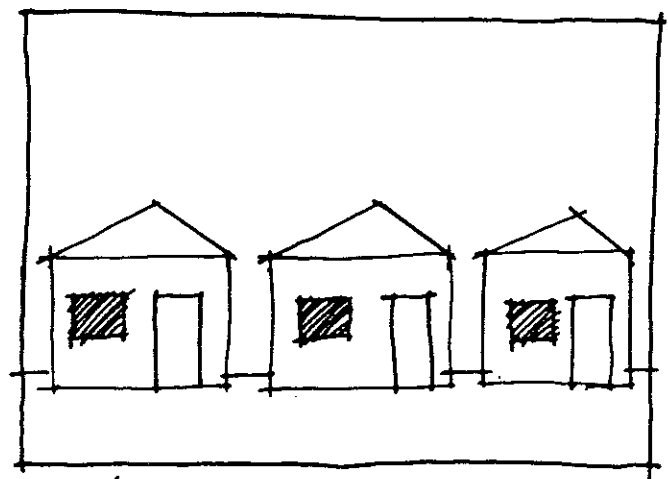
MAKE CARPORTS
MATCH ARCHITECTURAL
STYLE



DON'T USE STEEL POLE
AND BEAM CONSTRUCTION
AS FINISHED PRODUCT.



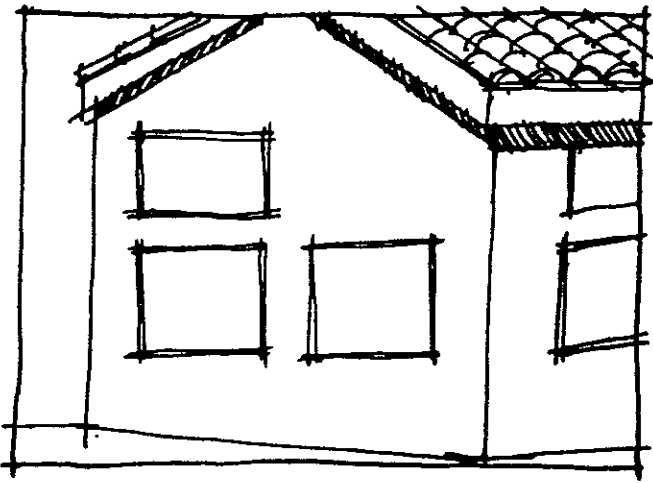
DO VARY ELEVATIONS



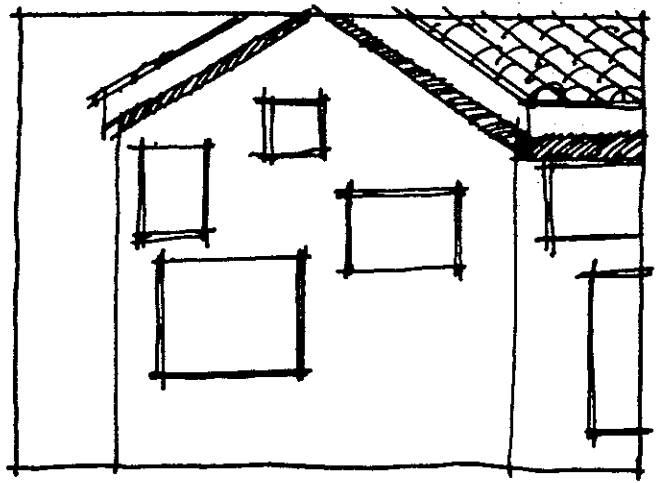
DON'T LET ELEVATIONS
BECOME MONOTONOUS

THIS

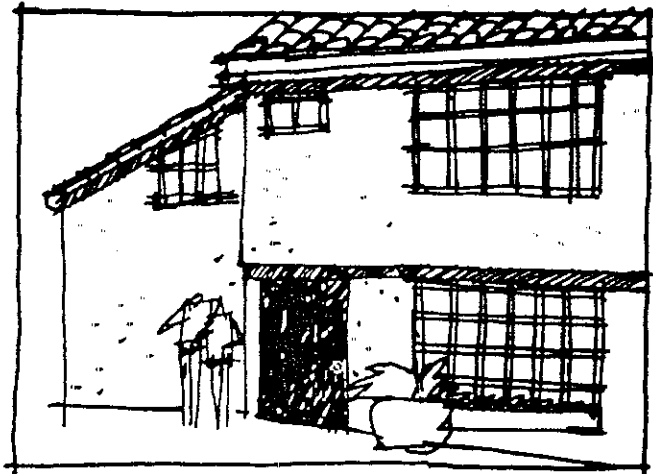
NOT THIS



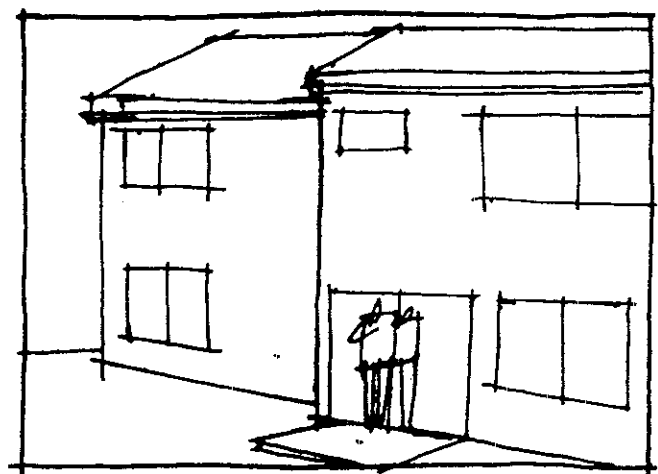
DO ALIGN WINDOWS



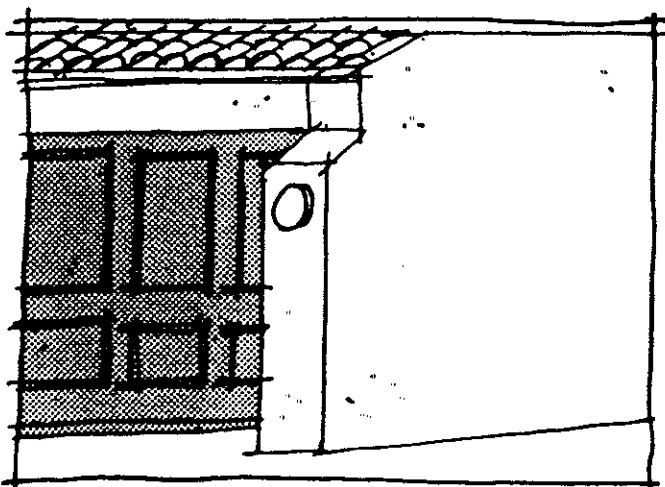
DON'T HAVE
RANDOMLY
PLACED WINDOWS



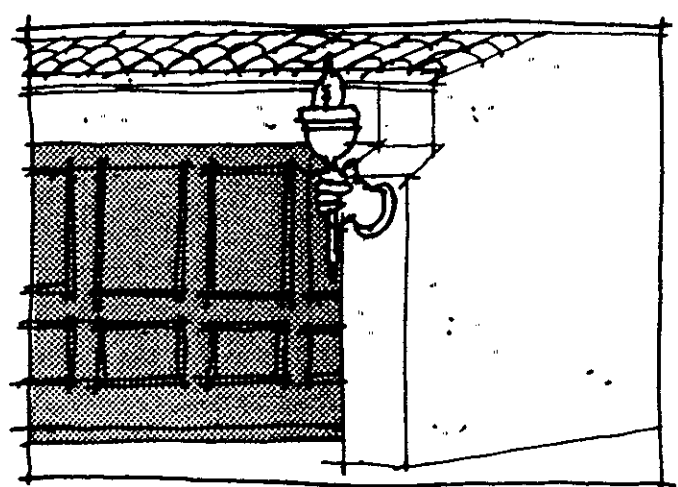
DO ADD INTEREST to
REAR ELEVATIONS



DON'T



DO MAKE ARCHITECTURAL
FIXTURES MATCH
ARCHITECTURAL STYLE



DON'T

Signing

The purpose of sign standards is to contribute to an integrated, well-planned, high quality environment envisioned for the EastLake community. These standards will set forth a system of reasonable, non-discriminatory criteria to regulate and control and size, location, type and quality of signs.

The standards established by the Master Developer are considered necessary to enhance the quality of the visual environment; create community identity and improve traffic safety. The logo and logotype which have been designed for EastLake will have specific design guidelines relative to how and where they are to be used in the signage program.

Signs within EastLake have been designated as either permanent or temporary. The breakdown is as follows:

Permanent signs include:

- community entry signs;
- neighborhood entry signs:
- identification signs for parks, libraries, schools, Village Center businesses and Business Center businesses;
- street name signs; and
- public trail, identity and directional signs.

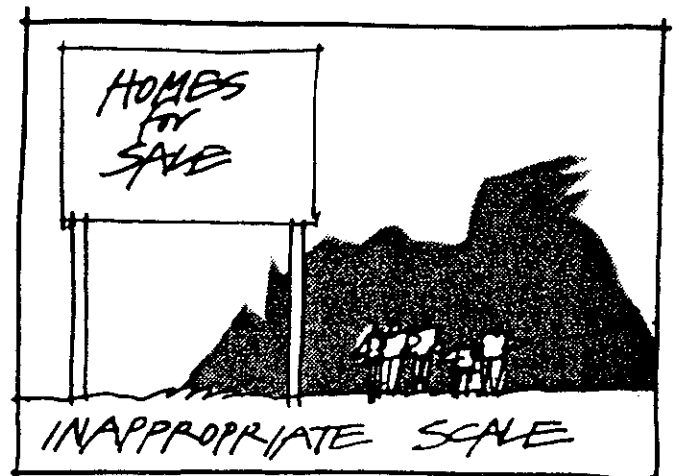
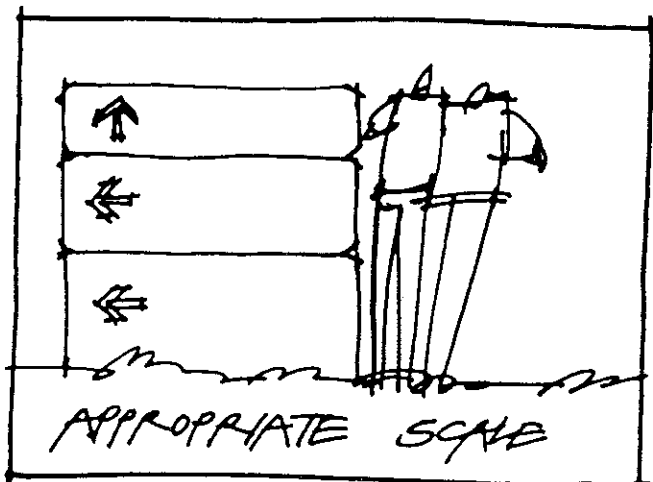
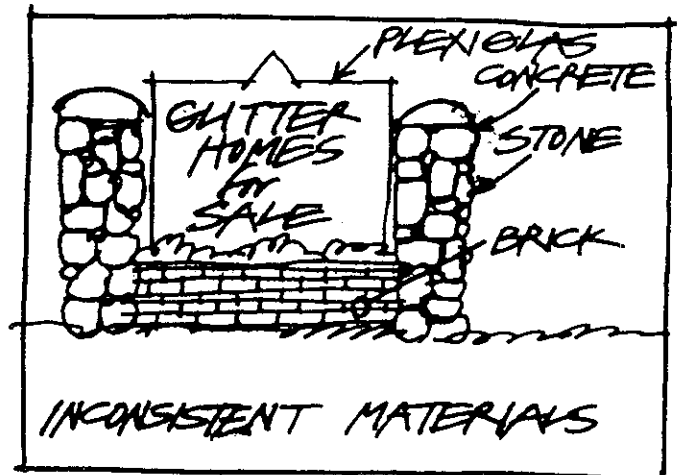
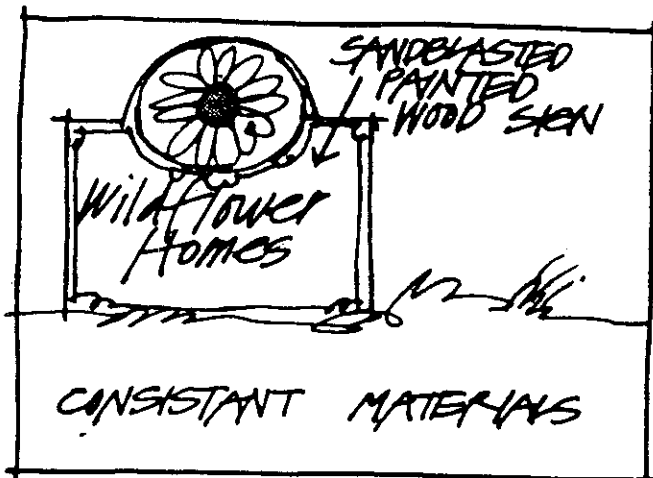
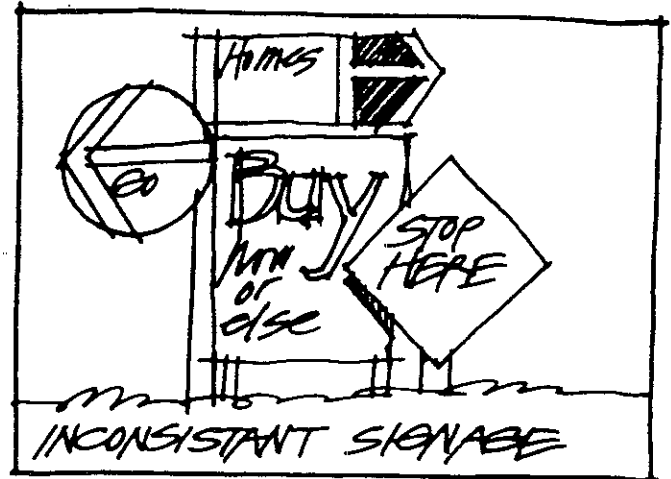
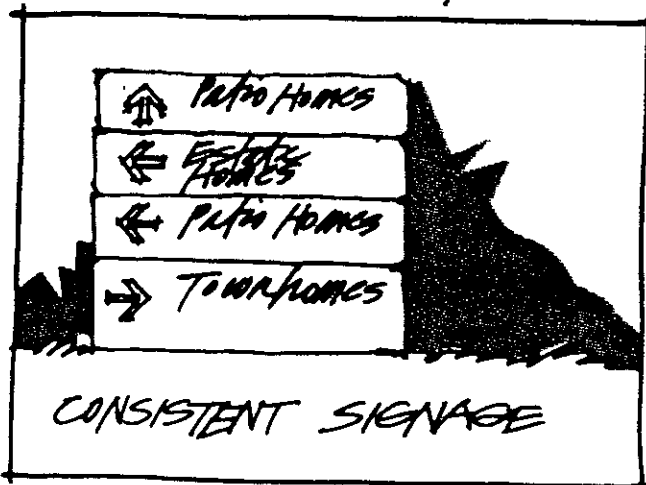
Temporary signs will be used to identify and direct traffic to specific neighborhoods and products during construction and sales periods. These signs will be subject to permit approval for specified periods of time. Temporary signs include:

- neighborhood/product directional signs;
- product identification signs;
- secondary directional signs; and
- future facility signs.

Graphic and construction standards for each of these sign types have been specified by the Master Developer. Some aspects of permanent community signing have been previously discussed under "Entries" in this manual. The following illustrations provide some common sense guidance in the design of signs; additional, more specific sign regulations will be implemented by the master developer. Within the EastLake I PC Regulations, Section VII - Comprehensive Sign Regulations should be consulted for specific sign restrictions (e.g., sizes, permit requirements, prohibitions, etc.).

THIS

NOT THIS



SIGNS

EASTLAKE GRAPHIC STANDARDS



LOGO

LOGOTYPE

SECONDARY UTILITY TYPESTYLE

ITC Avant Garde Demibold

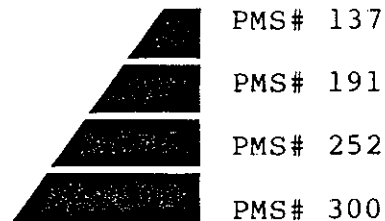
ABCDEFGHIJKLMNOPQRSTUVWXYZ
abcdefghijklmnopqrstuvwxyz\$0123456789¹/₈¹/₄³/₈¹/₂⁵/₈³/₄⁷/₈
.:,:!"-—?&•/@□°*()=+-#%°áçèîñöÀÇÊÎÑÖİıŁß

Custom Letters

AK ST LA EA E F L S T

COLORS

Primary Logo Use:



Community Background Color: PMS# 433

Neighborhood Logo Use*:	EASTLAKE SHORES	PMS# 302
	EASTLAKE HILLS	PMS# 209
	EASTLAKE GREENS	PMS# 342
	EASTLAKE WOODS	PMS# 484
	EASTLAKE VISTAS	PMS# 315
	EASTLAKE BUSINESS CENTER	PMS# 424
	EASTLAKE VILLAGE CENTER	PMS# 200

*Also primary color for signs within each neighborhood.

Lighting

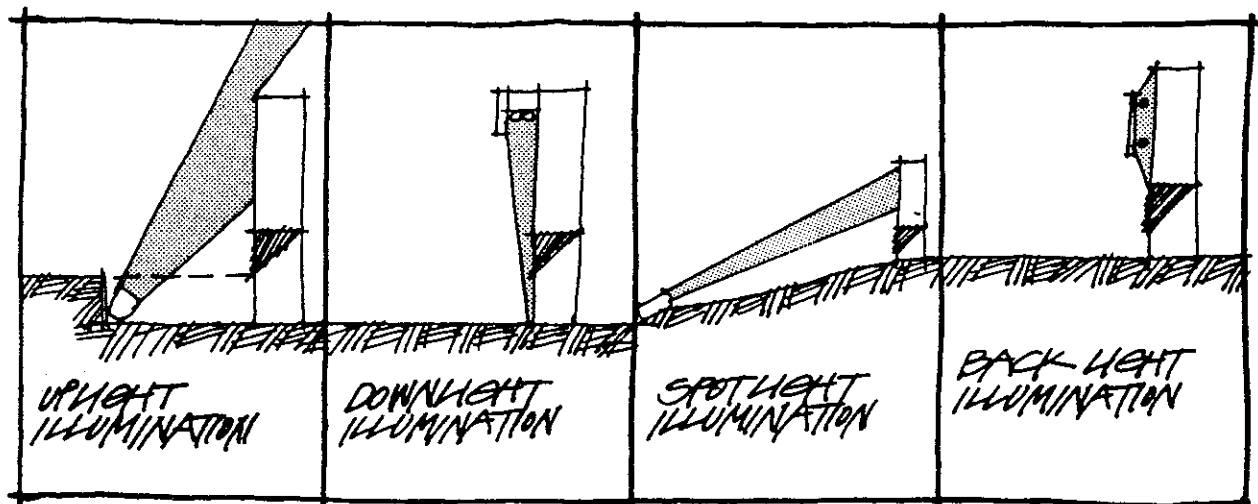
The design issue of "lighting" includes street lighting, as well as, building and landscape accent lighting, and sign illumination. Three basic principals should be considered in the provision of lighting:

- Street lights should provide a safe and desirable level of illumination for both motorists and pedestrians without intruding into residential areas.
- Lighting fixtures should relate to the human scale especially in pedestrian areas.
- Lighting and lighting fixtures should complement the design and character of the environment in which they are placed.

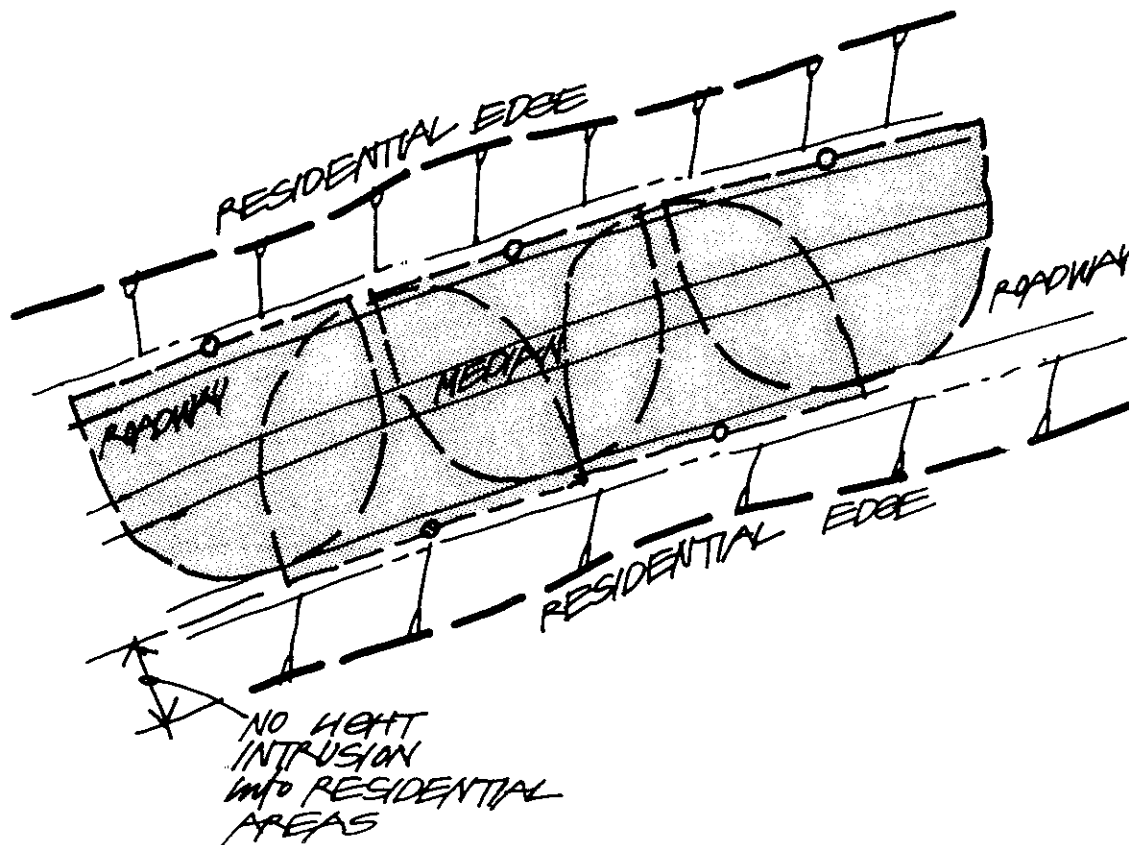
All street lighting shall conform to City standards or an approved theme lighting program, and shall be approved by the City Engineer.

Lighting for community facilities and recreation areas shall be considered as an element of Site Plan Review. Any such lighting which will illuminate a residential area past the hour of 10:00 p.m. shall be clearly identified on the site plan per the provisions of the EastLake Greens SPA Plan (see Chapter 6).

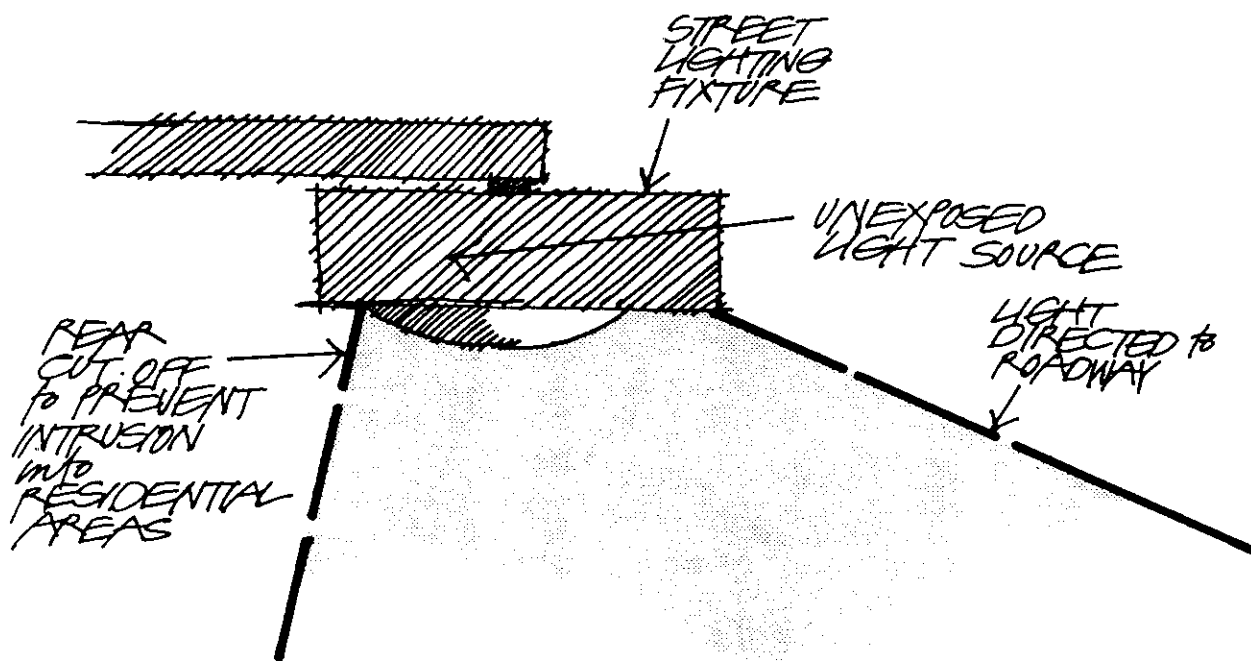
Illuminated entries should direct lighting low to the ground and be limited to only the immediate vicinity of the entry. Lighted entries should not be distracting, create visual hot spots, or glare etc. Suggested entry sign illumination techniques are illustrated below.



SIGN ILLUMINATION



STREET LIGHTING CONCEPT



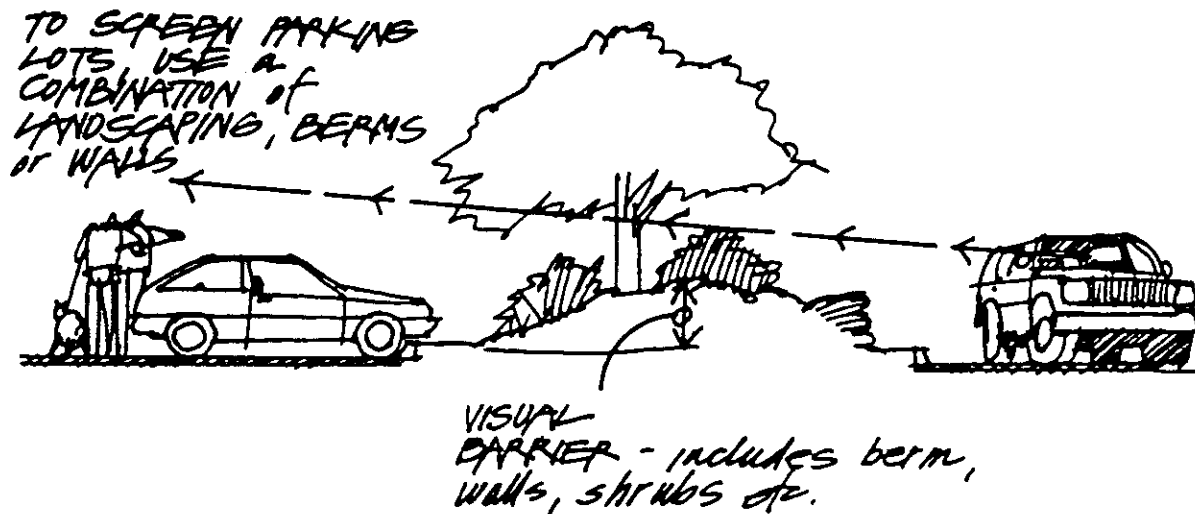
STREET LIGHTING FIXTURE

LANDSCAPE DESIGN

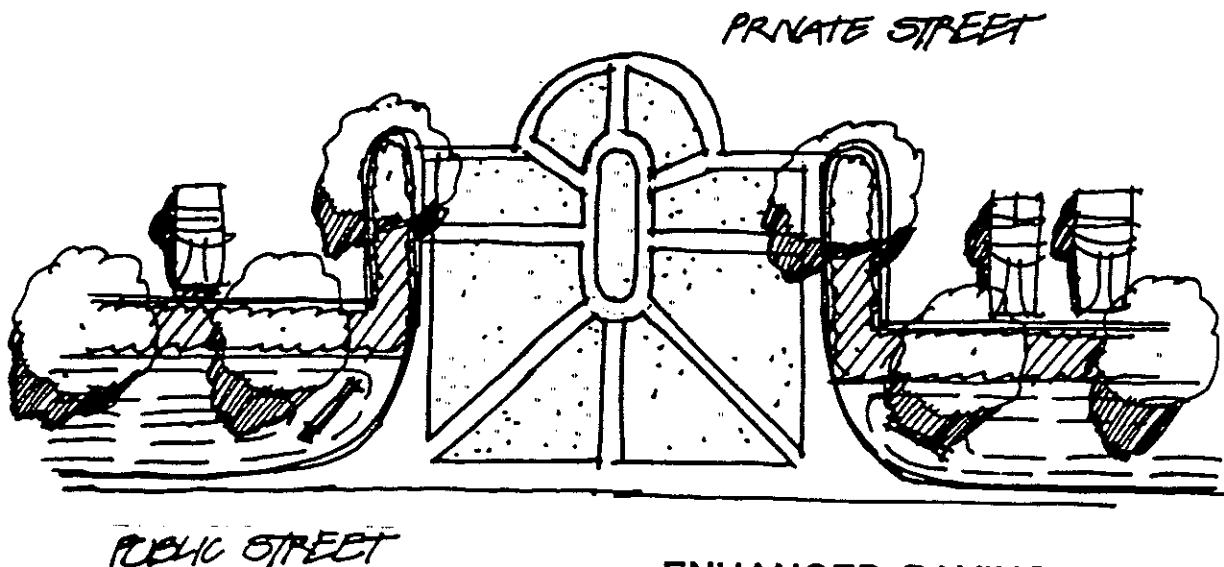
Parking

The amount of parking required within each residential district is specified in the EastLake I Planned Community District Regulations (see chart in Product Development section of these Guidelines). Basic guidelines for the design of parking areas are provided in Chapter 6 of the SPA Plan. Additional zoning requirements for sizing and spacing are published in the Chula Visa Zoning Ordinance.

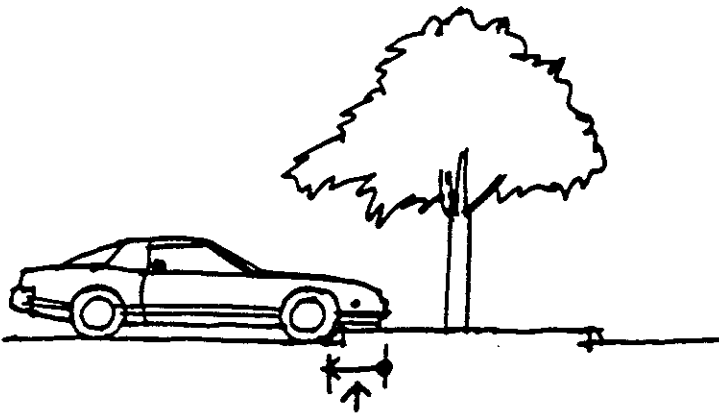
Beyond providing the number of spaces required, the design of common parking areas for attached and multi-family neighborhoods is an important element in site planning. Following are a series of illustrations to guide the design of these parking areas, with particular attention to open parking details.



SCREENING with BARRIER



PARKING LOTS

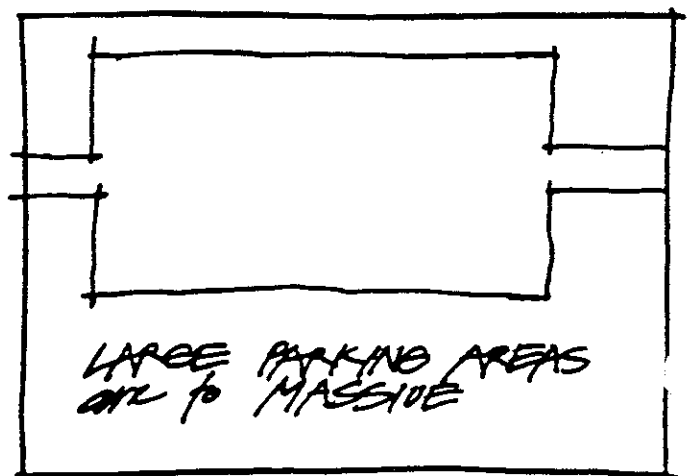
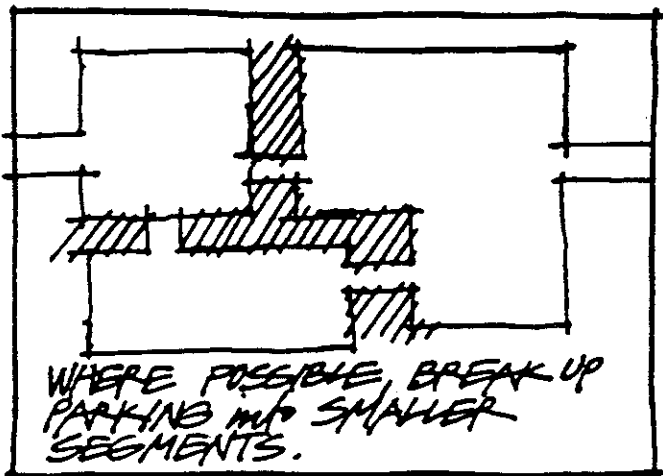
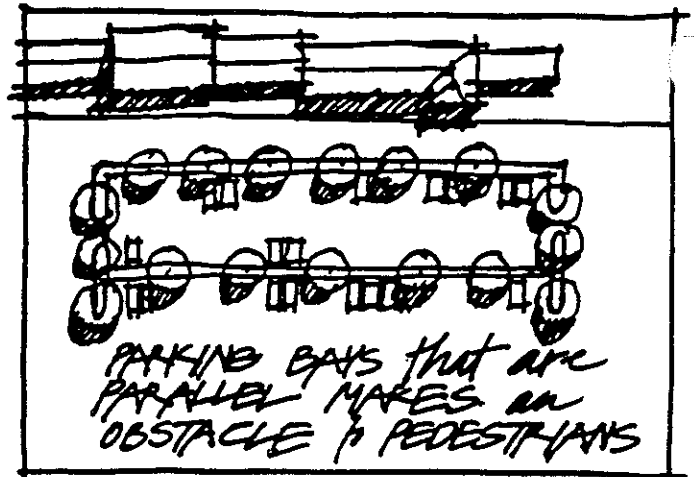
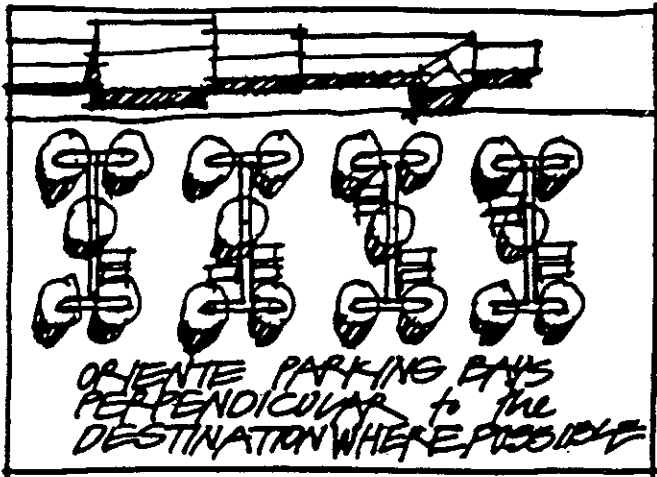


INSTEAD of USING PRE-CAST
CONCRETE BUMPER STOPS, EXTEND
PLANTING AREA and USE CURB
as a WHEEL STOP.

WHEELSTOP DETAIL

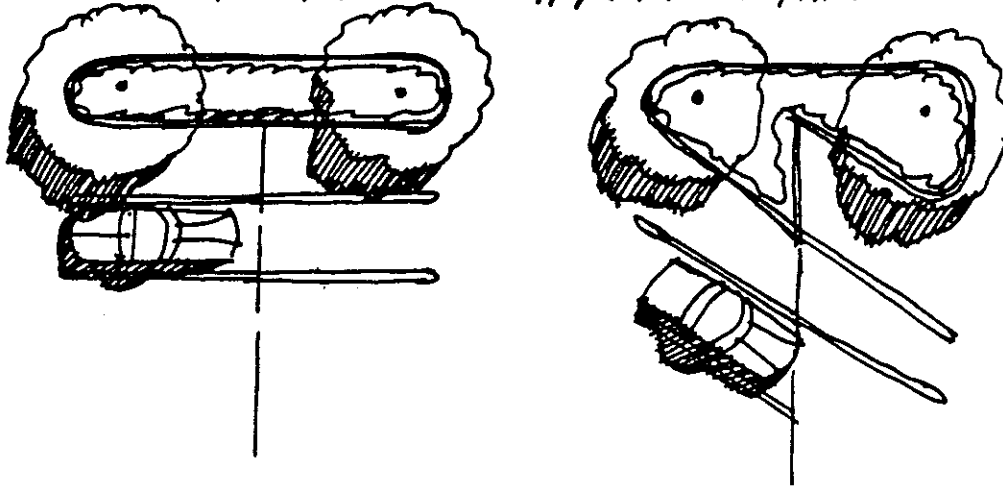
ENCOURAGE

AVOID



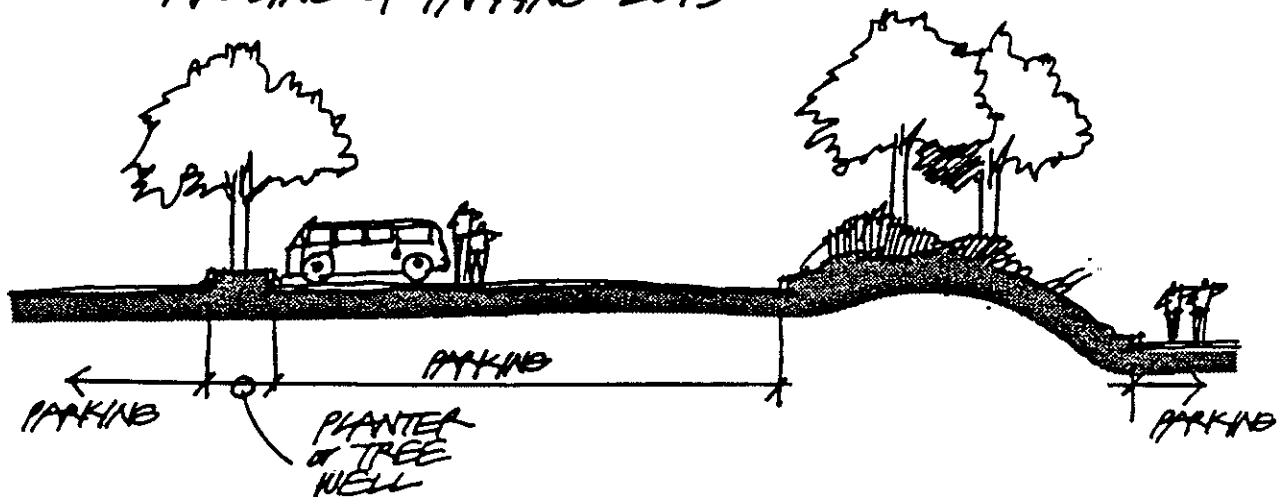
PARKING LOTS

PROVIDE SUBSTANTIAL PLANTERS
TO THE END OF PARKING BAYS FOR
SCREENING and TRAFFIC CONTROL



PARKING PLANTERS

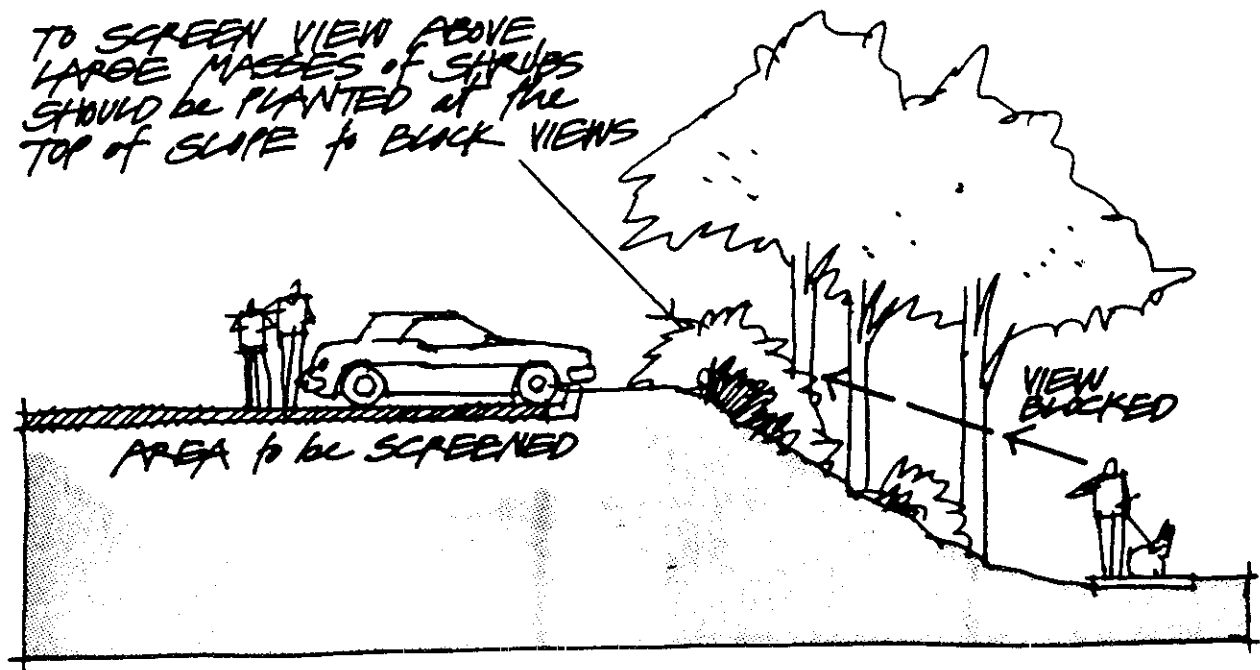
WHERE POSSIBLE ... TREE WELLS
and PLANTERS with CHANGES
in ELEVATION should be
UTILIZED to BREAK UP the
MASSING of PARKING LOTS



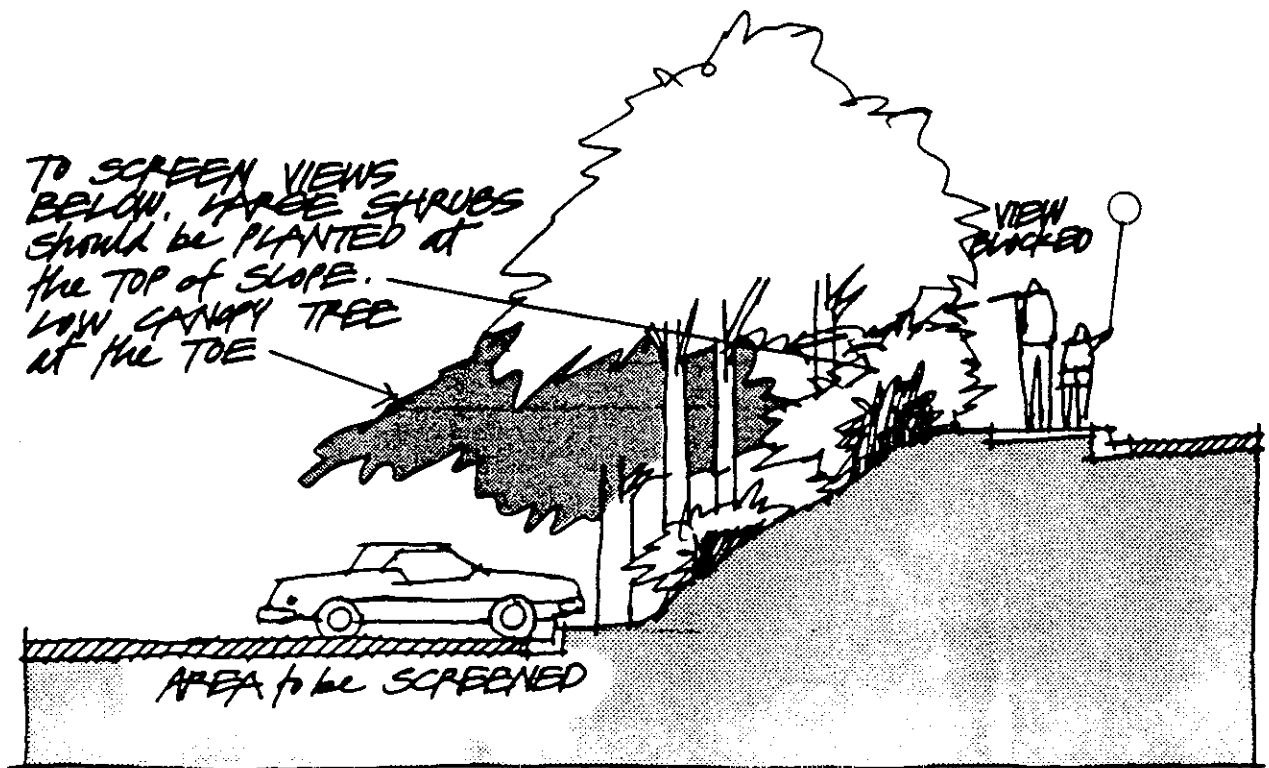
BREAK-UP of INTERIOR PARKING AREAS

LANDSCAPE SCREENING

TO SCREEN VIEW ABOVE
LARGE MASSES OF SHRUBS
SHOULD BE PLANTED AT THE
TOP OF SLOPE TO BLOCK VIEWS



TO SCREEN VIEWS
BELOW, LARGE SHRUBS
SHOULD BE PLANTED AT
THE TOP OF SLOPE.
LOW CANOPY TREE
AT THE TOE



Landscape Concept

The purpose of the General Landscape Concept is to establish the overall landscape treatment of the project. Various entities will be responsible for the planning and implementation of landscape improvements; therefore, this plan will provide the guidance necessary to achieve a visually compatible landscape.

The concept will provide a general design framework which allows latitude and flexibility to each individual project while maintaining the overall goals and objectives of the community.

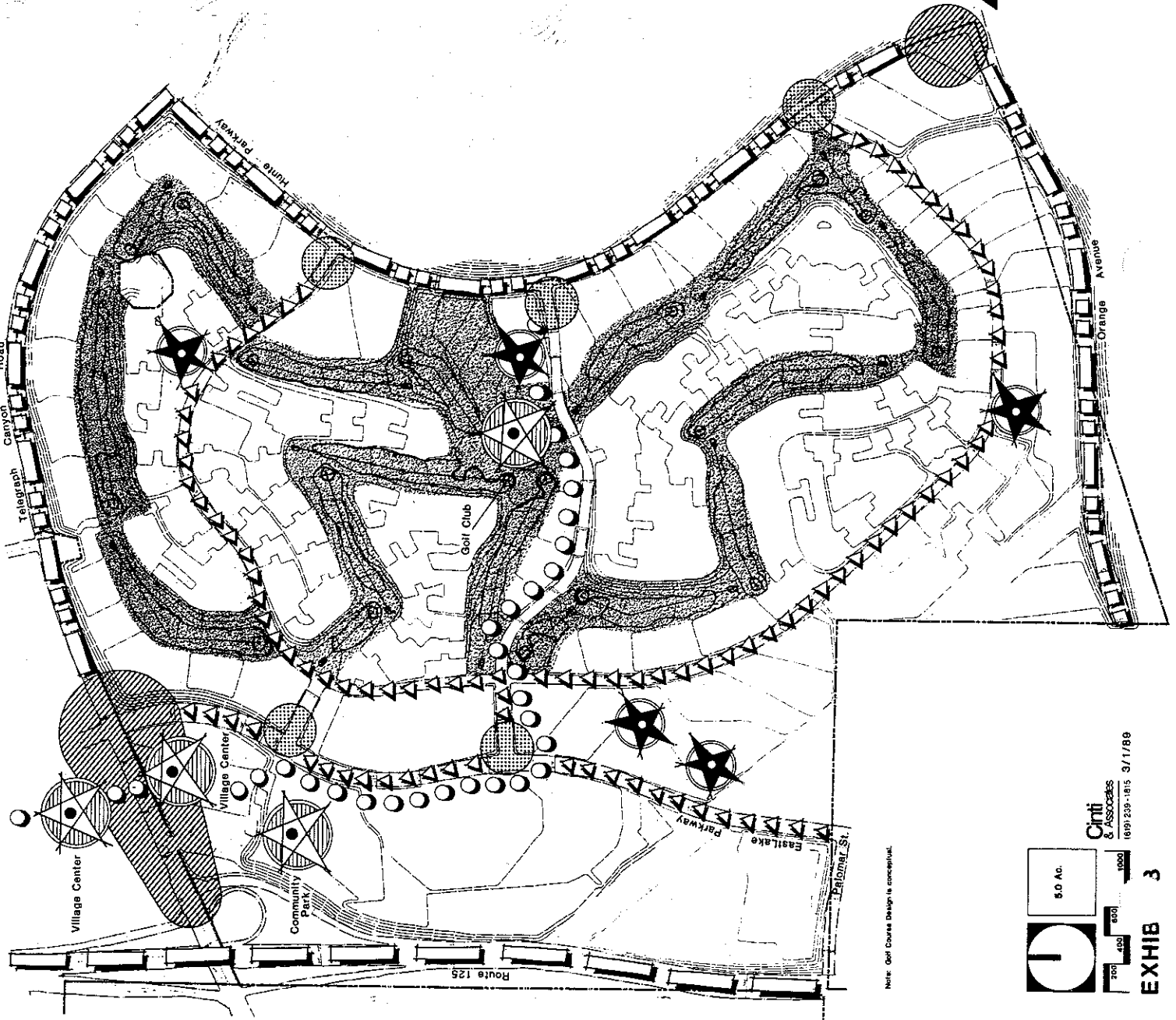
Landscape will reinforce the design patterns established by the Land Use Plan. Prominent features such as the golf course, Activity Corridor/Village Center District, residential district, landmarks, paths and edges will be defined through the use of plant materials. Generally, trees and landscape intensity zones will be used to establish distinct identity, visual continuity, order and contrast.

The components of the General Landscape Concept include (refer to General Landscape Plan Exhibit):

- Districts - Each district or neighborhood shall have a dominant theme tree. Districts include the Activity Corridor/Village Center District, Residential District and Golf Course.
- Paths - Landscaping of paths will provide visual continuity throughout the community and create the appropriate link to adjacent areas. The hierarchy of paths is as follows:
 - a. The Thematic Corridor (Community Trail) provides the common thread to link the various community elements. The thematic corridor will have its own dominant tree. The thematic corridor tree is Populus species.
 - b. Major arterials (e.g., SR-125, Telegraph Canyon Road, Hunte Parkway, etc.). A separate dominant tree will be used in the median and parkways of each.
 - c. Major internal streets within a district. The dominant tree selected for the district will apply.

Supplemental trees may be introduced to provide contrast and a transition into surrounding areas. This landscape approach will provide strong visual directions and connections throughout the site, while providing the necessary contrast to create an interesting experience as one travels through the community.

General Landscape Plan

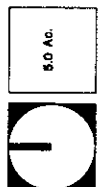


- Paths**
- Route 125
 - Thematic Corridor
 - Arterials (Scenic Buffer)
 - District Interior Streets
 - Entry/Edges
 - Community Entry
 - Neighborhood Entry
- Landmarks**
- Major
 - Minor
- Special Landscape Zone**
- Golf Course

EASTLAKE GREENS

A Planned Community in the City of Anaheim

Note: Golf Course Design is conceptual.



Cinti & Associates
(619) 239-1815 3/1/88

EXHIB 3

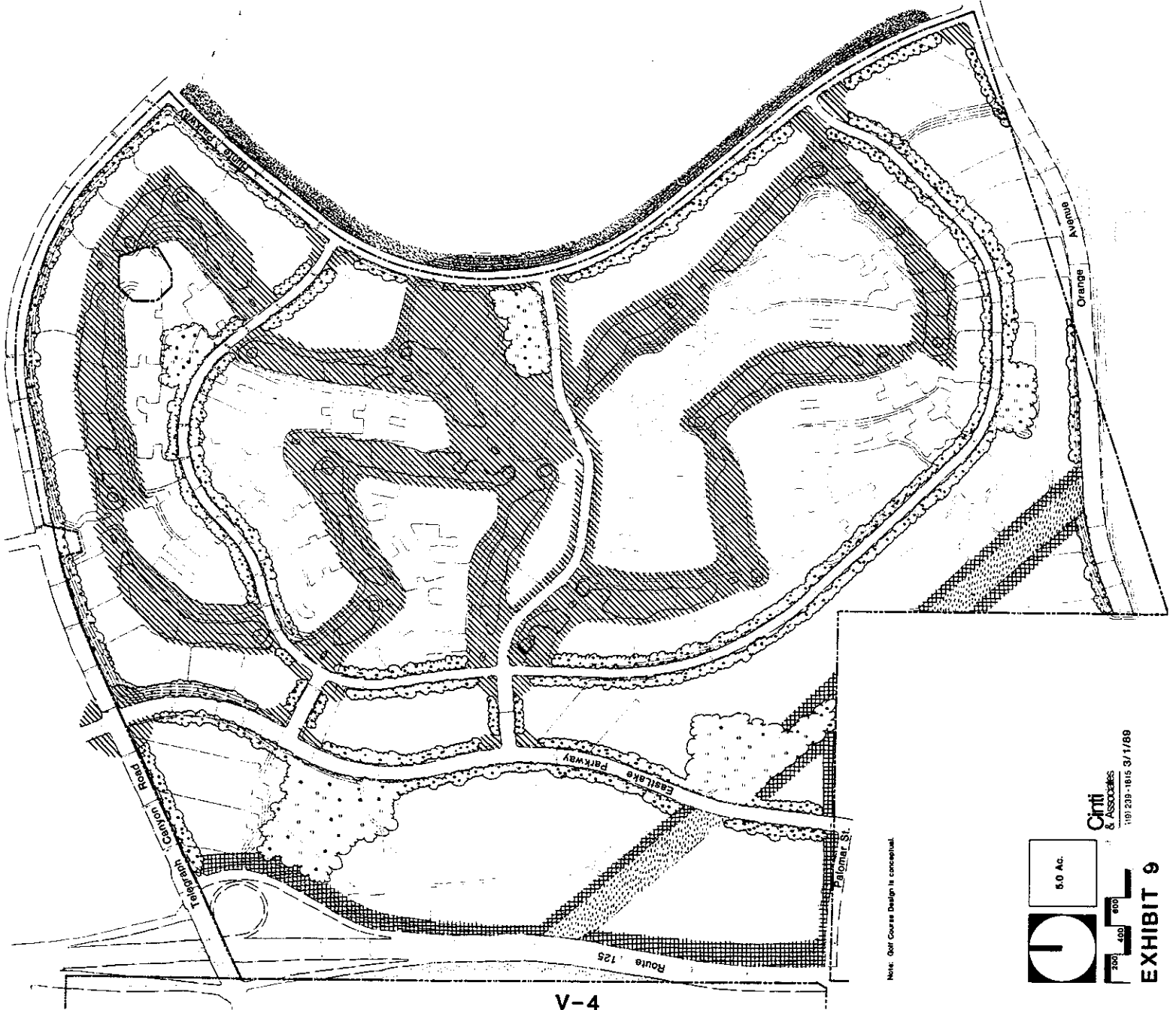
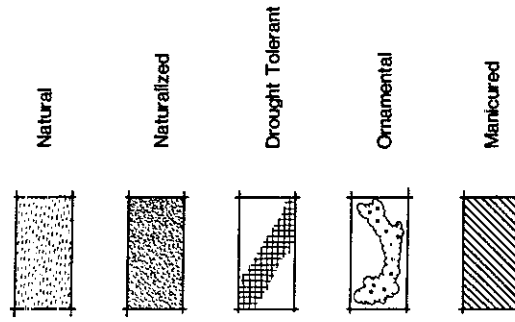
- Edges - Edges will be strongly defined by landscaping. This will create the appropriate delineation of one district or area to another.
- Entries - These are common points of entry and significant intersections. A tree which differs from the adjacent path and district trees will be used to provide a distinct accent statement and sense of arrival at entries. The hierarchy of entries is as follows:
 - a. Community Entry - accent tree is *Arecastrum romanzoffianum* (Queen Palm)
 - b. Neighborhood Entry - tree to be selected.
 - c. Specific Site Entry - tree to be selected.
- Landmarks - Each landmark, whether major or minor, will have a distinct landscape character (similar to the district concept). As an example, all parks may have a common theme tree, so that parks are easily recognized and highlighted throughout the community.

Landscape Intensity

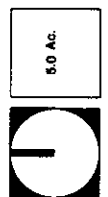
The entire EastLake Community shall be designed to include a well-balanced landscape palette. Plant material intensity classifications will vary from highly manicured areas to naturalized and native areas. These classifications are mapped in the Landscape Intensity Plan and are generally described as follows (see exhibit):

- Native Areas - These are existing vegetated areas undisturbed by construction operations. Natural rainfall only is required for irrigation. Periodic clean-up and grubbing of seasonal growth may be required.
- Naturalized Areas - These are newly planted areas provided with temporary irrigation systems. Once plants become established, they shall be capable of surviving with no artificial irrigation.
- Drought Tolerant Areas - These are newly planted areas provided with permanent irrigation systems. Water demand will be low, requiring substantially less irrigation than ornamental areas.
- Ornamental Areas - These are areas and corridors with a high degree of visual impact. Plant materials will require regular maintenance and watering.
- Manicured Areas - These are ornamental areas that require "special" attention due to their significance.

Landscape Intensity



Note: Golf Course Design is conceptual.



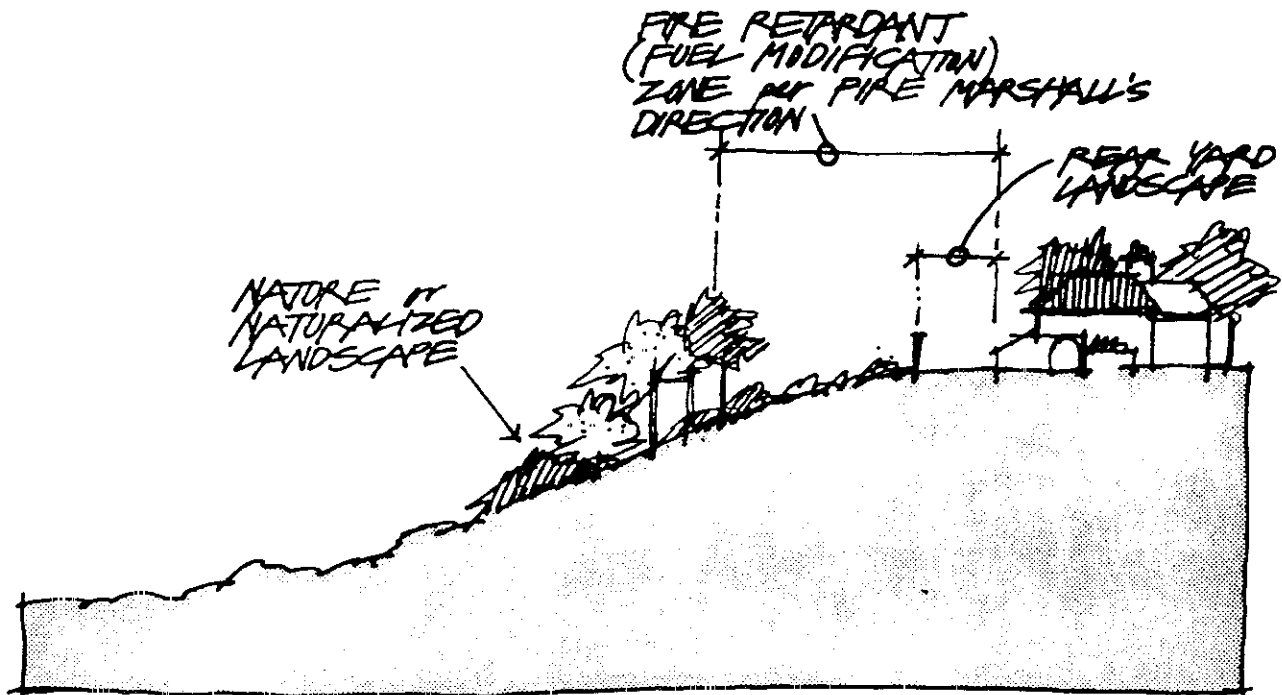
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& ASSOCIATES
107-239-1815 3/1/89

EXHIBIT 9

EASTLAKE GREENS

A Planned Community in
the City of Tula Vista

- Fire Retardant/Fuel Modification Areas - These are areas between Native/Naturalized areas and improved properties and structures. These areas shall conform to Chula Vista Fire Department policies. This area will consist of clearing of natural brush and planting of fire retardant plant material where deemed necessary. Planting may be done in random patterns (see Slope Erosion Control section).

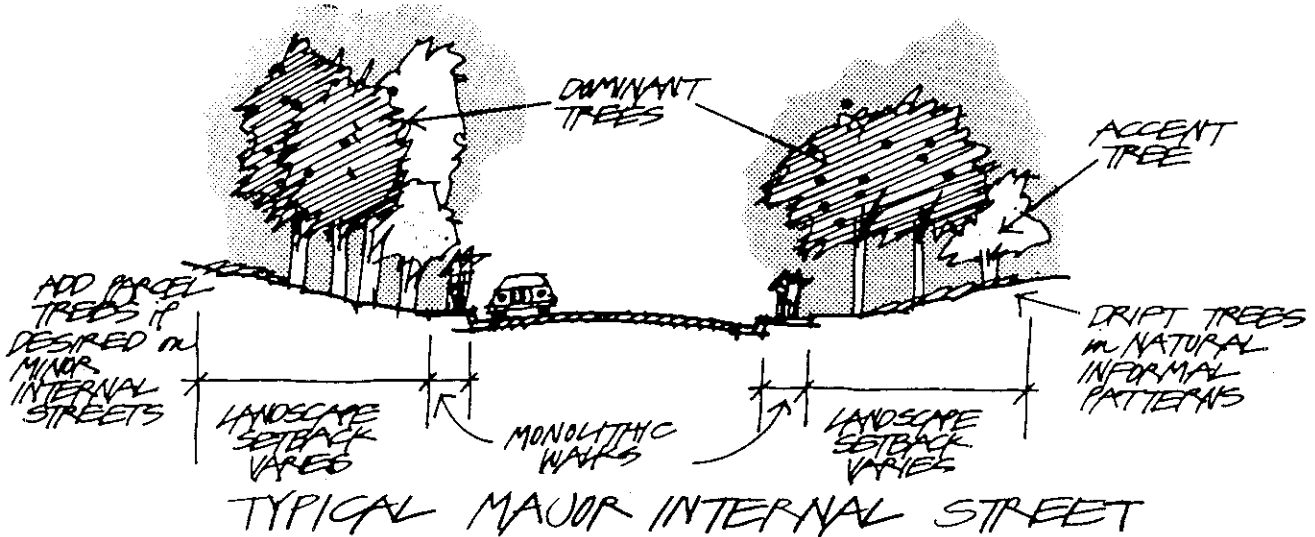
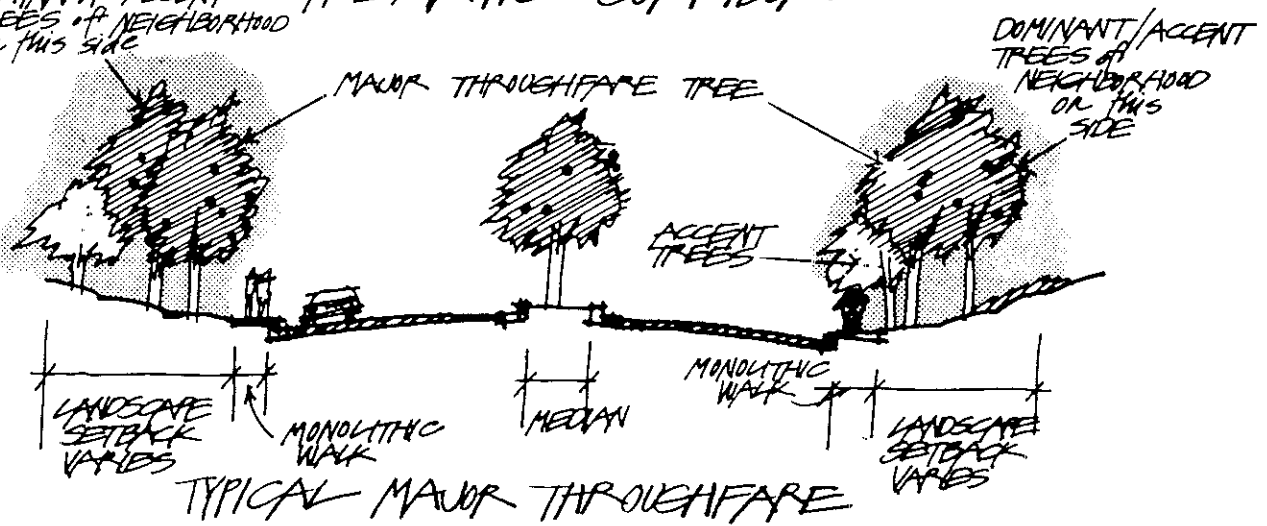
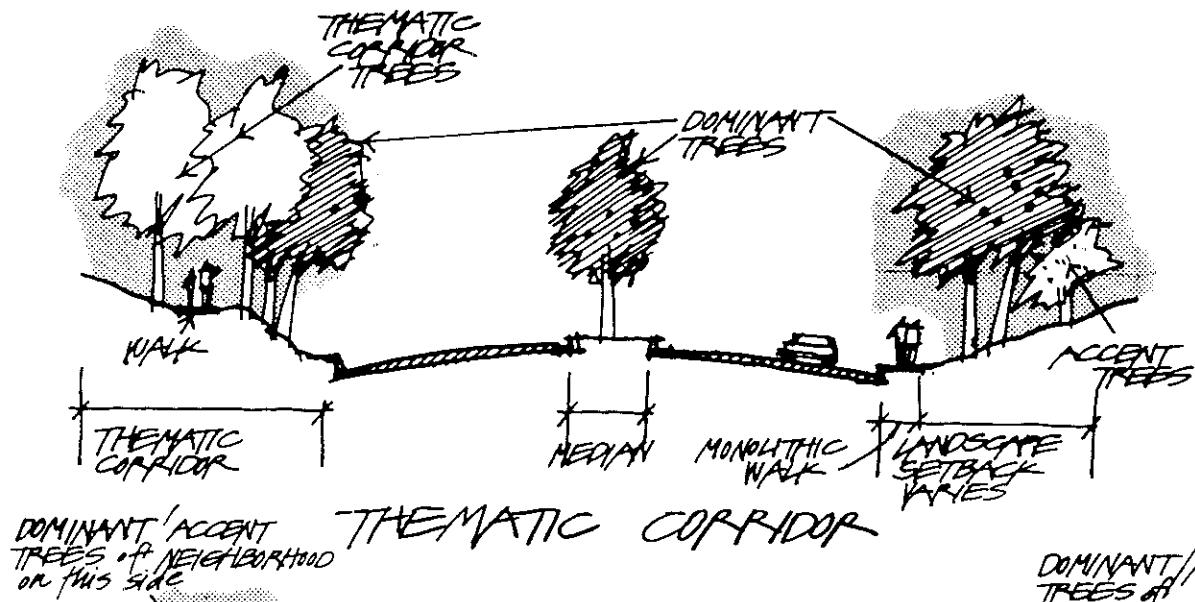


FIRE RETARDANT/FUEL MODIFICATION ZONE

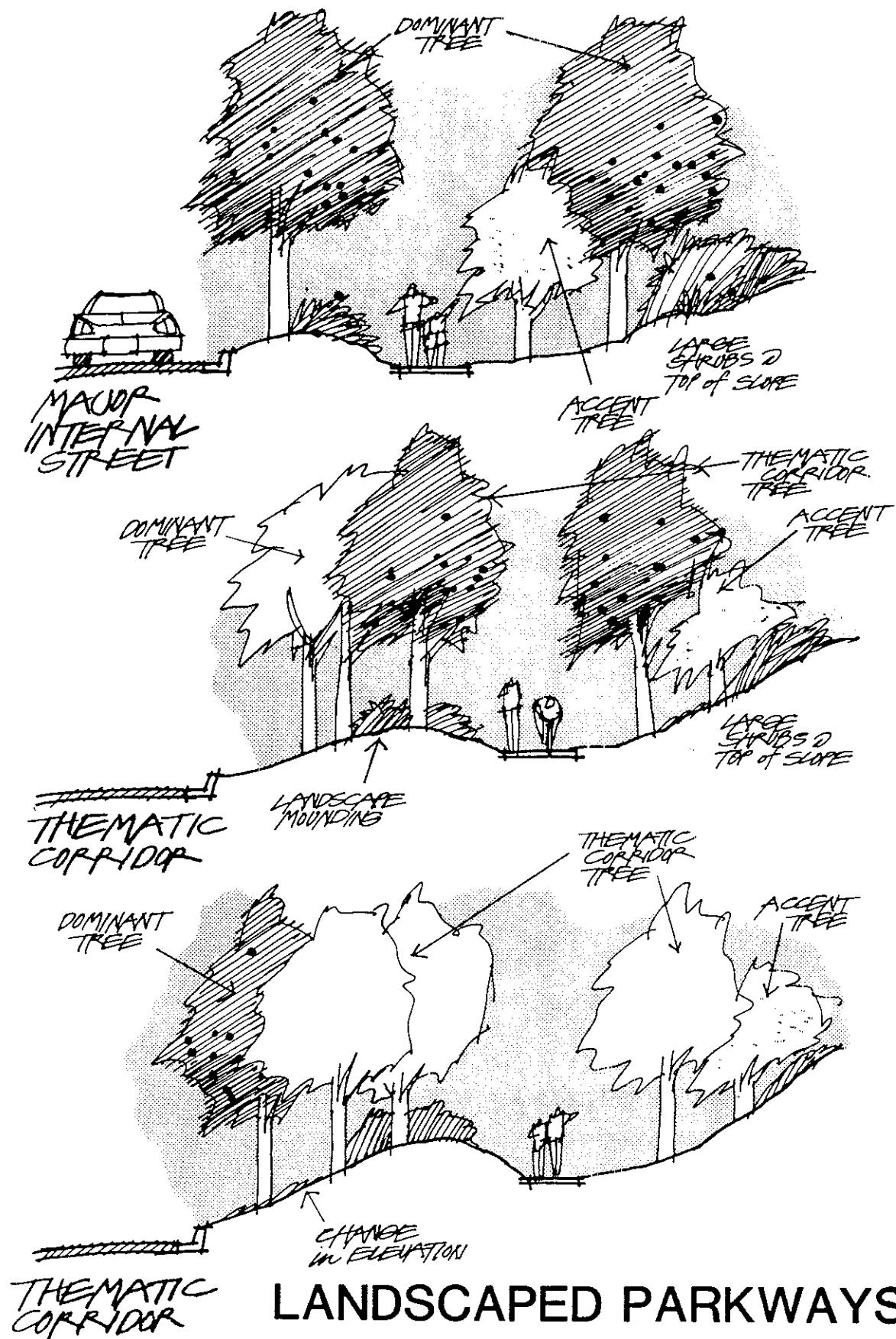
Streetscape Landscaping

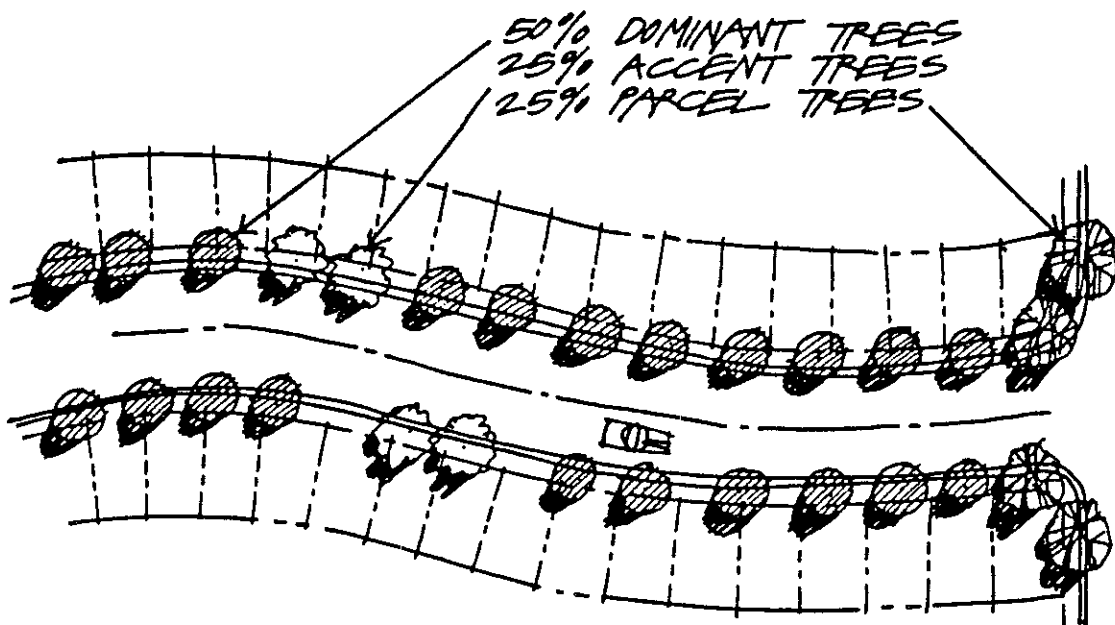
Entries, median plantings, parkways, walls and special features will be designed for a harmonious relationship. These elements will correspond to City requirements and project the upgraded image of the EastLake Greens Community.

The following sketches illustrate landscape concepts of the streetscape landscaping.



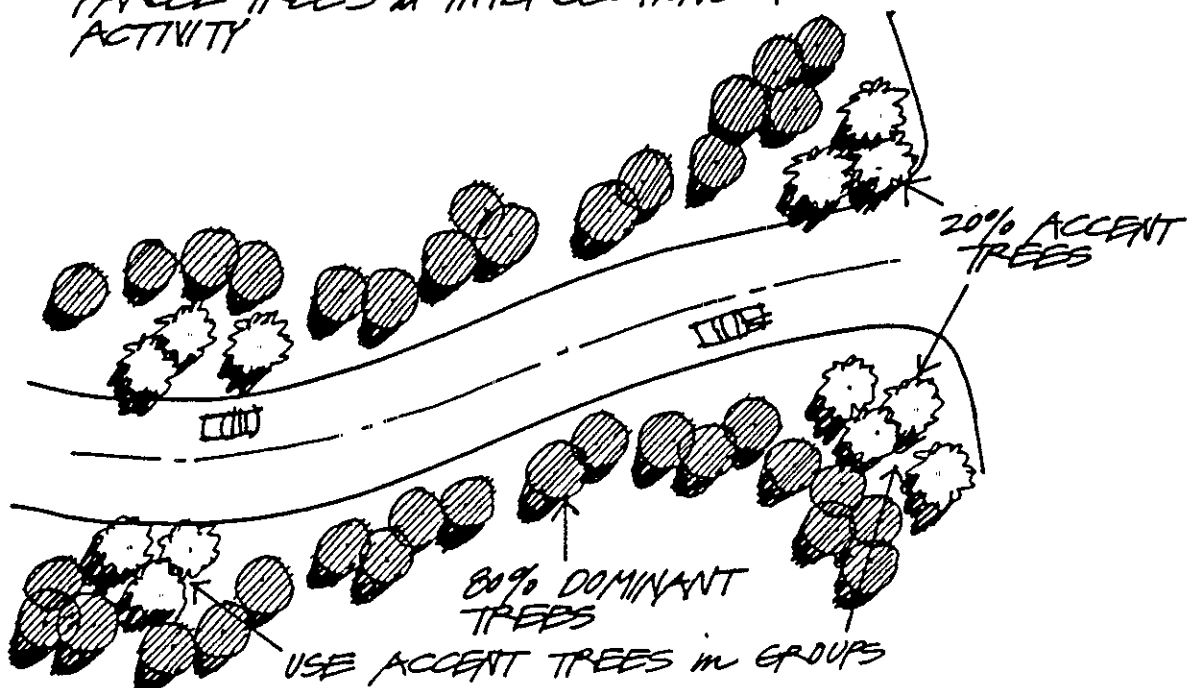
STREET LANDSCAPING





MINOR INTERNAL STREETS

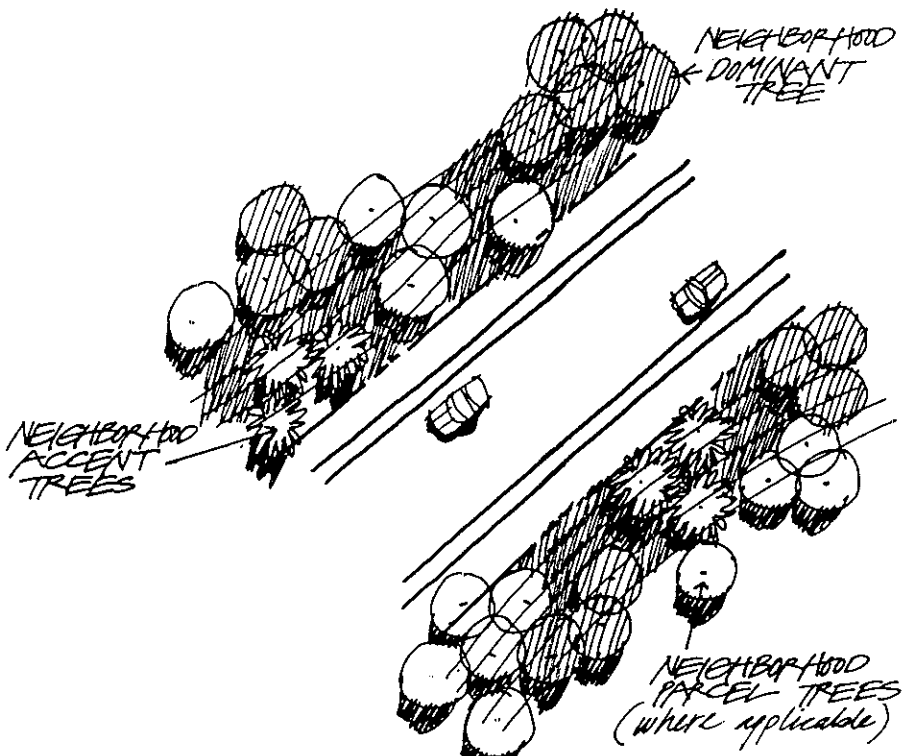
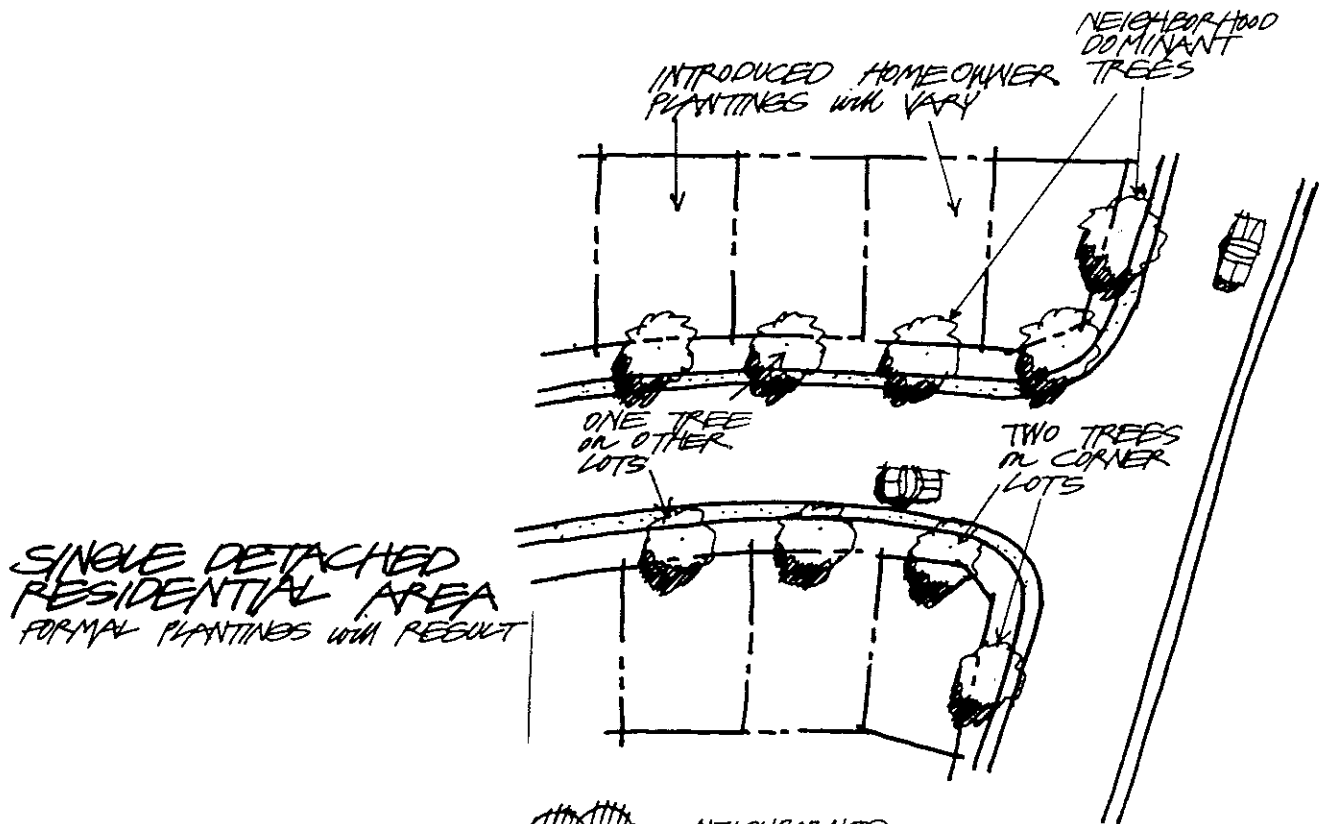
USE DOMINANT TREE to DEFINE CORRIDOR, ACCENT TREE to PROVIDE ACCENT and BREAK UP MONOTONY and PARCEL TREES at INTERSECTIONS of ACTIVITY



MAJOR INTERNAL STREETS

USE DOMINANT TREE to DEFINE CORRIDOR and ACCENT TREES @ INTERSECTIONS, ENTRIES and to BREAK UP MONOTONY.

STREET TREE CONCEPT



STREET TREE PLANTING

Slope Erosion Control

All slope erosion control planting shall conform to the requirements of the City of Chula Vista Landscape Manual and the City Landscape Architect.

The general intent of the slope erosion control program is to protect newly created slopes or denuded areas from erosion or unsightliness. Dust abatement is also a concern.

Generally, five types of erosion control planting may exist subject to the direction and approval of the City Landscape Architect:

- Type 1 - These are permanent slope areas where permanent automatic irrigation systems, trees, shrubs and ground covers are required.
- Type 2 - These are permanent individual homeowner lot slopes where permanent manual irrigation systems, trees, shrubs and/or ground covers are required.
- Type 3 - These are permanent slope areas to be naturalized. One-gallon trees and shrubs with hydroseeded ground cover will be required. Irrigation requirements will be at the direction of the City Landscape Architect. Options are as follows:
 - a. No irrigation
 - b. Permanent automatic irrigation systems
 - c. Temporary automatic or manual systems
- Type 4 - These are fire retardant slopes where fire retardant plant materials are used between structures and native or naturalized slopes.
- Type 5 - These are temporary slopes or flat areas where hydroseed shall be installed during the rainy season. No irrigation is required.

Plant materials should vary in height and be planted informally to soften the slope and avoid a hard edge.

TREES should be
PLANTED in INFORMAL
GROUPINGS

FOREGROUND PLANTINGS
should be LOWER and
TRANSITION into HIGHER
BACKGROUND PLANTINGS

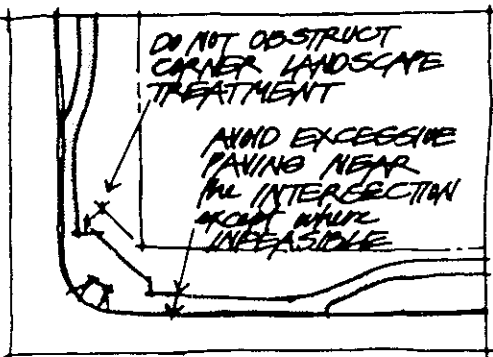
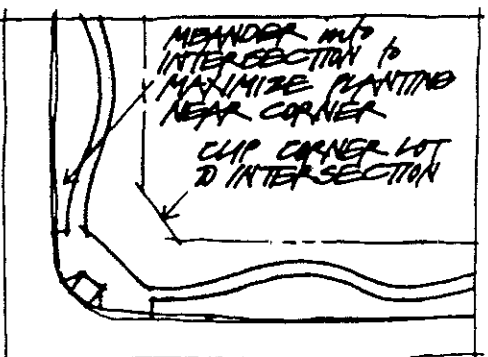
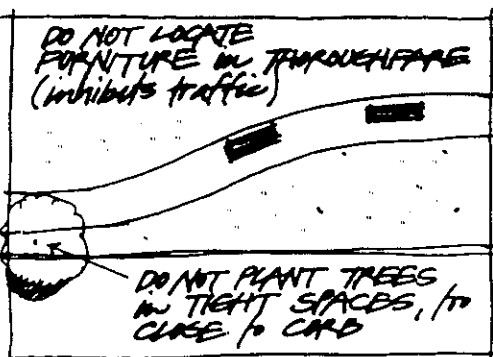
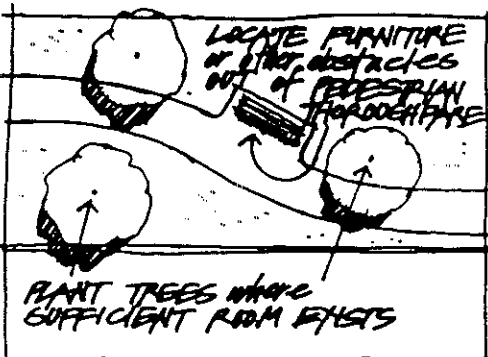
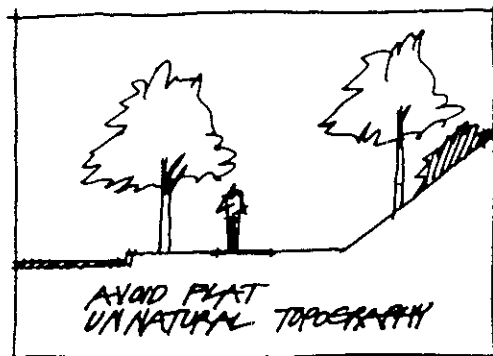
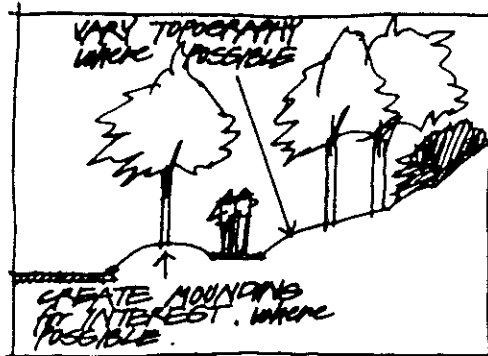
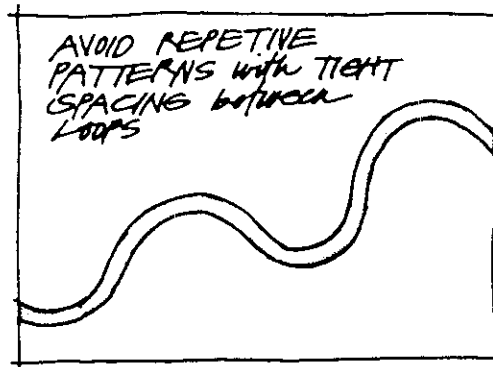
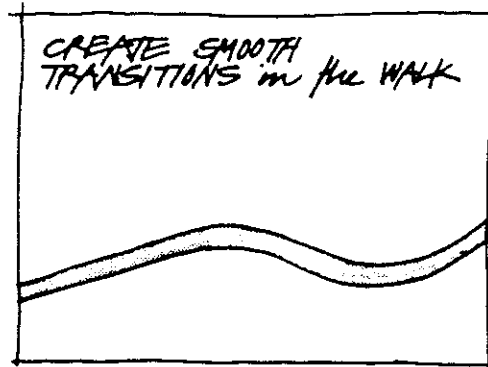
SHRUBS should be
MASSSED in LARGE
INFORMAL GROUPINGS

CONTINUE SHRUBS
and GROUNDCOVERS
BEYOND LIMITS
of SLOPE where
POSSIBLE to SOFTEN
EDGE both AT TOE
and TOP of SLOPE

TOP of
SLOPE

TYPICAL SLOPE LANDSCAPING

MEANDERING SIDEWALKS

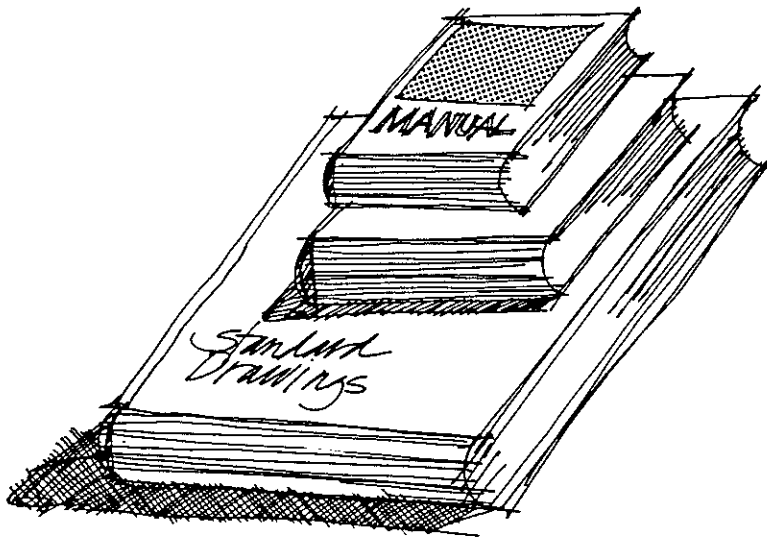


Landscaping and Irrigation Standards

Standards have been established for the planning of irrigation systems and landscaping. Some of these are municipal standards, while others are specific to the EastLake Community.

The City of Chula Vista has specific standards in its Landscape Manual. Additionally, the Planning Department may have specific standards related to each individual project.

The EastLake Development Company has specific standards in those common areas where the EastLake Community Association will assume eventual maintenance responsibility. These standards are described on the following pages.



Landscape Standards

All landscape installation shall conform to the City of Chula Vista Landscape Manual and EastLake Design Guidelines.

Streetscape and common area landscape shall be planted to the following minimum standards:

- Ground covers shall be used to eventually cover the entire planting area (flattened material at the appropriate spacing or hydroseed with City and Master Developer approval).
- Spreading shrubs shall be used to eventually cover a minimum of fifty percent (50%)a of the area at mature growth. Shrub and ground covers shall be selected subject to approval.
- Tree plantings shall consist of the designated dominant, accent and other approved trees (subject to City and Master Developer approval).
- All trees will be staked in accordance with the City Standard detail. Type, size and installation of trees in the City right-of-way are subject to City approval.
- Agricultural suitability tests shall be completed for each landscape project. Soil amendment and leaching recommendations by an independent laboratory shall be implemented.

Irrigation Standards

- All irrigation systems shall conform to the City of Chula Vista Landscape Manual and EastLake Irrigation Design Manual.
- Irrigation systems shall be designed to allow separate areas of maintenance responsibility. For example, separate systems and meters for:
 - EastLake Community Association
 - Private homeowners' or business owners' association
 - Private entity
 - Governmental agency
 - Open space maintenance assessment district
 - Private individual
 - Other
- Open space maintenance district irrigation shall be coordinated with the City of Chula Vista Open Space coordinator (Parks and Recreation Department). The system shall conform to standard equipment and installation techniques.

- Equipment shall be located and installed to minimize negative visual impact. Low precipitation sprinkler heads should be utilized for optimum coverage and maximum water conservation.
- All irrigation systems shall be fully automatic with the exception of individual homeowner properties.

Maintenance

All landscape maintenance shall conform to the City Landscape Manual, community requirements and project CC&R's.

Maintenance is divided into the following categories of responsibility:

- Individual property ownership
- Neighborhood association
- Community association
- Governmental agency
- Maintenance assessment district

In general, the overall appearance of the landscape shall be neat, healthy and free of weeds and debris. All new construction of multi-family, commercial, industrial, planned unit development and unclassified uses shall be landscaped in accordance with a City approved landscape plan, subject to City inspection of adequate maintenance levels.

Landscape Design Checklist (for individual projects)

Each individual project must conform to the general design framework of the EastLake Greens General Landscape Plan. This checklist is provided for convenience and reference only and does not necessarily address all landscape requirements.

1. General Items

- a. Conform to the City of Chula Vista Landscape Manual.
- b. Conform to the EastLake Greens Design Guidelines including, but not limited to, Design Review/Approvals, Landscape Guidelines and Standards and maintenance requirements contained herein.
- c. Conform to all governing codes and ordinances.

2. Landscape Design Components

- a. District
 - Use appropriate dominant tree. Include accent and support trees subject to Master Developer and City of Chula Vista approval.
- b. Path
 - Use appropriate designated dominant and support trees.
- c. Entries
 - Use appropriate accent trees.
- d. Signage
 - Refer to Signage Section in development regulations and standards of the Master Developer. Project signage must be approved by the City of Chula Vista and Master Developer.
- e. Landscape
 - Flowering accent trees and permanent, easily maintained flowering shrubs and ground covers are encouraged, subject to approval. Seasonal flower color and high maintenance plant materials are discouraged except at areas of high visual prominence.
- f. Walls and Fencing
 - Periphery fencing should correspond to wall/fence elevations and Fencing Plan with regard to type and location; some areas are subject to Site Plan Review.

- Interior fencing should be compatible with project architecture and located to provide free access to service meters. It should also screen any unattractive views, i.e., trash container storage.
- Fencing heights and types should be coordinated to present a compatible appearance.
- f. Periphery Landscape
 - Periphery landscaping shall conform to the General Landscape Plan and Landscape Intensities Plan.
 - Adherence to the streetscape techniques contained herein will also be required.
 - Special attention shall be given to interfaces and edge landscaping.
- g. Interior Landscape

There are two categories for interior landscape:

- Developer installed - subject to City and Master Developer approval. Developer installed landscape may include:

Single-family detached projects:

- 1) Slope erosion planting with manual irrigation system. Systems to be connected to individual house meter.
- 2) Street trees installed in the Street Tree Easement. Exact type, location and staking of tree subject to approval.

Multi-unit residential

All common areas shall be landscaped and irrigated with an automatic irrigation system.

- Individual property owner installed - not subject to Master Developer approval.

SITE PLANNING CRITERIA

Product Development

The Eastlake I Planned Community District Regulations include certain minimum residential property development standards. These have been reproduced below for reference. It should be understood however, that adherence to these minimum standards will not automatically create a project that will be acceptable to the City. The adopted standards are intended to provide flexibility for creative and efficient site planning, and innovative architectural solutions. They are not intended to be used to create substandard developments.

Residential Property Development Standards

	<u>RE</u>	<u>RS</u>	<u>Land Use Group</u> <u>RP</u>	<u>RC</u>	<u>RM</u>
1. Lot area (in net 000's square feet)	8	5	3 ¹	SP	SP
2. Lot width (in feet) (attached products in RP district)	70	50	38 25	SP	SP
3. Lot depth (in feet)	100	100	(RP-8)90 (RP-13)50	SP	SP
4. Lot coverage (percent)	40	50	SP	SP	SP
5. Front yard setback:					
a) to direct entry garage	20	20	SP	SP	SP
b) to side entry garage (single story garage in RS district)	20	15 10	SP	SP	SP
6. To main residence	20	20	SP	SP	SP
7. Side yard setback:					
a) to adjacent residential lot (min. total/one side)	15/5	10/5 ²	SP	SP	SP
b) to adjacent street (corner lot)	10	10	10	SP	SP
8. Rear yard setback	20	15	SP	SP	SP
9. Building height, maximum (2 1/2 story max. RE, RS & RP districts)	28 ³	28 ³	28 ³	45	45
10. Parking spaces per unit	2 (gar.)	2 (gar.)	2 ⁴	1.5 sp 1 bdrm. unit	1.5 sp 1 bdrm. unit
¹ May be reduced for attached units with Site Plan approval				2.0 sp 2 bdrm. unit	2.0 sp 2 bdrm. unit
² RS-5 District only; 13/3 in RS-7 District				2.5 sp 3 bdrm. unit +	2.5 sp 3 bdrm. unit +
³ May be increased to 35 feet with Site Plan approval					
⁴ Two car garage for RP detached units; one car garage and one carport for RP attached units					

Site Development Standards

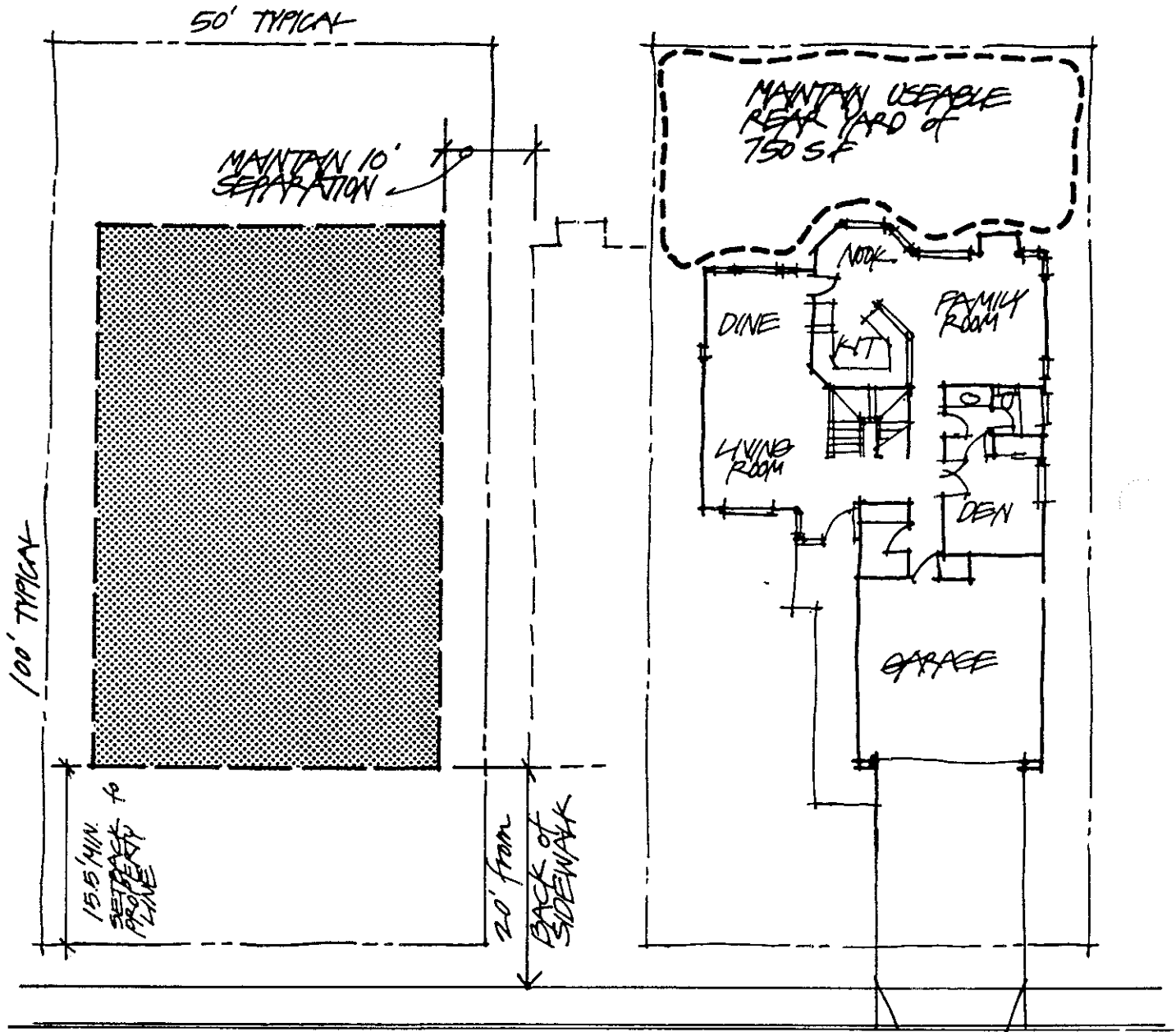
Numerous site development criteria are discussed in Section VI of the EastLake Greens SPA Plan. The following are presented as supplements to those basic guidelines.

Single Family Products

On the following pages a series of lot/building schematics are presented to provide additional guidance in the design of single family and duplex housing types. The attached townhouse, condominium, and apartment developments are covered in a subsequent section of these guidelines. It should be stressed that the schematics and building envelopes that follow are prototypical lotting concepts and are not intended to constrain more creative solutions to spatial relationships (e.g., non-perpendicular lot lines, open space easements, etc.). Small lot and cottage products which are subject to Site Plan Review are not required to meet the criteria applied to standard subdivisions outside the PC District. Additional flexibility for reduced street frontage, lot depth and width, etc. are appropriate within the context of the planned community as long as the spirit and intent of the SPA Plan and PC Regulations are met and the quality of development is not adversely affected. The evaluation of these criteria by City staff will be accomplished during Site Plan Review.

Within this section, special attention is also given to the issues of streetscape quality and corner lot situations in small lot areas. Development is not limited to those prototypes illustrated here. These are examples of the range of products envisioned.

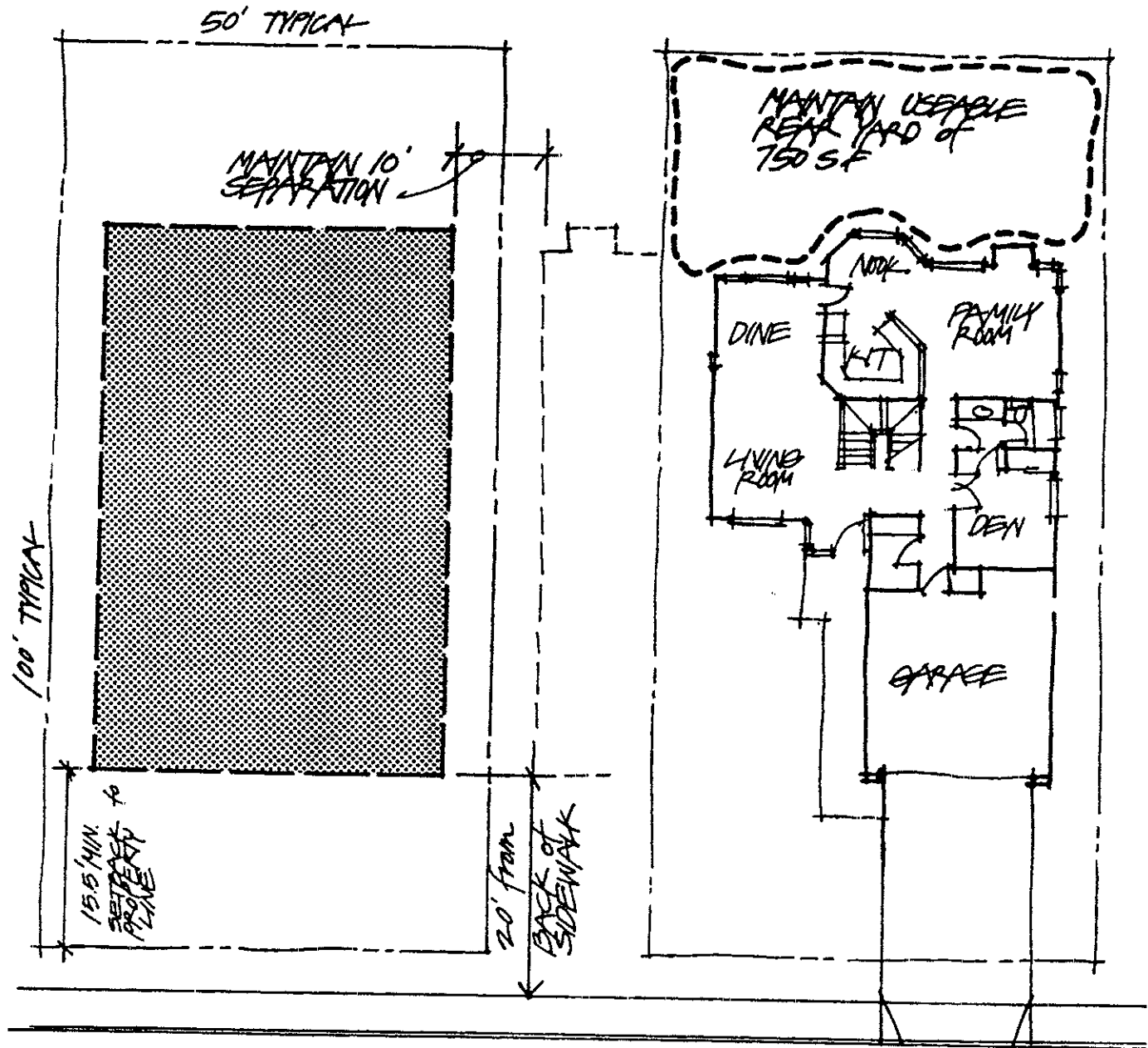
HOUSING TYPE: SFD-Conventional
EXAMPLE LOT SIZE: 50'x100'



TYPICAL BUILDING
ENVELOPE
SFD CONVENTIONAL,
LOT SIZE 50x100'

EXAMPLE FLOOR
PLAN

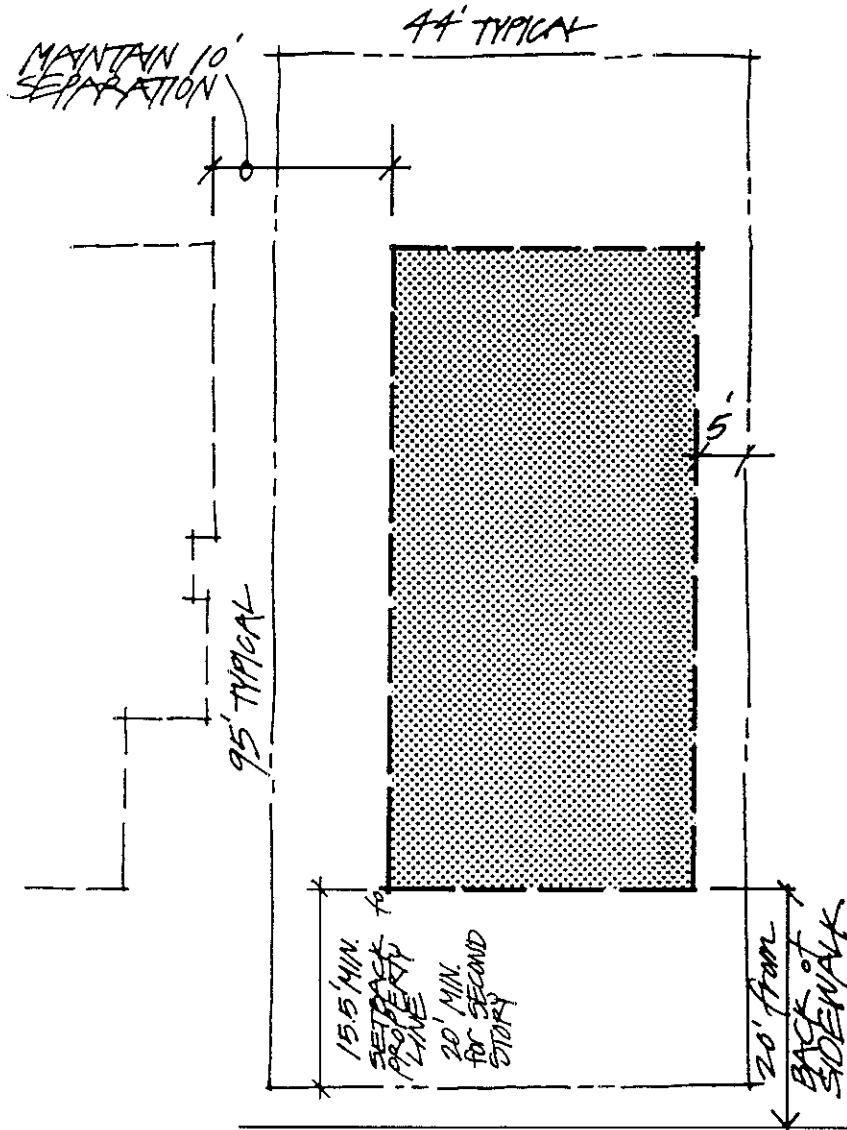
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EXAMPLE LOT SIZE: 50'x100'



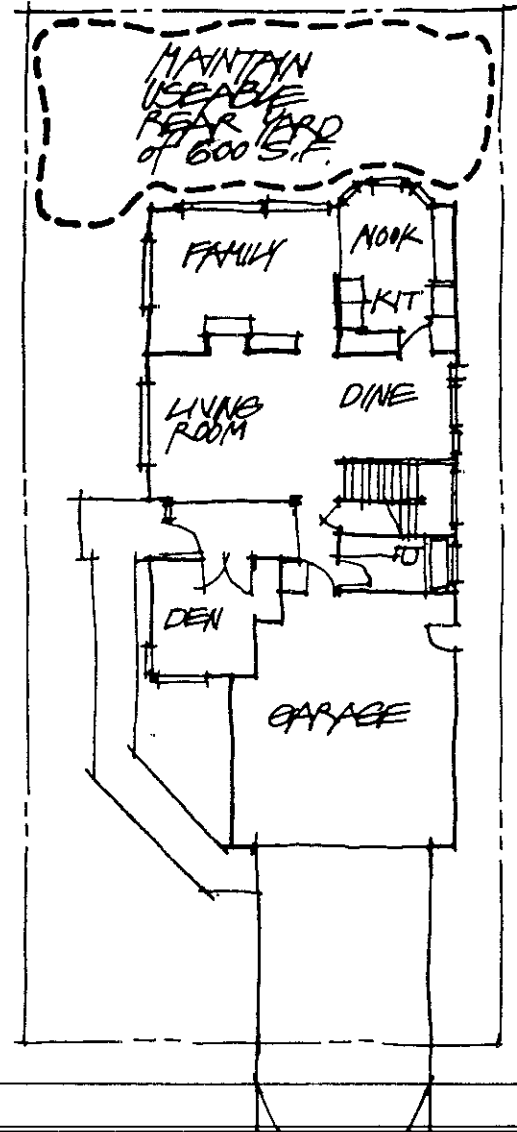
TYPICAL BUILDING
ENVELOPE
SFD CONVENTIONAL,
LOT SIZE 50'x100'

EXAMPLE FLOOR
PLAN

HOUSING TYPE: SFD-Small Lot
EXAMPLE LOT SIZE: 44'x95'



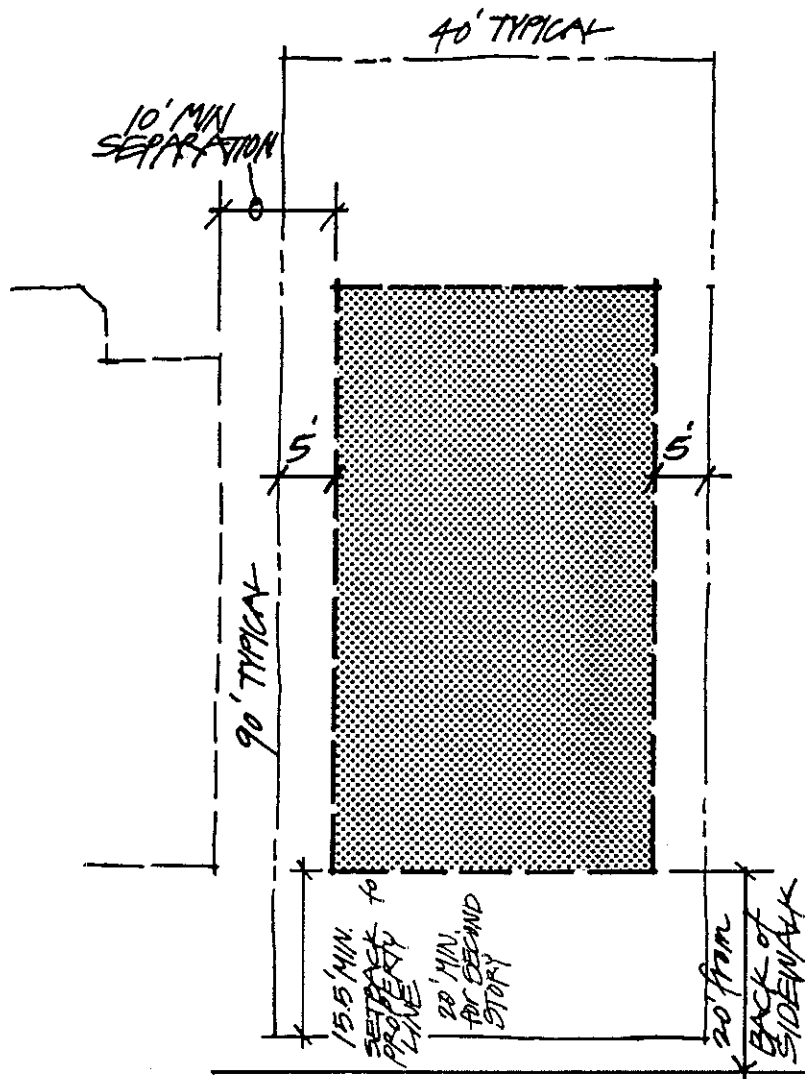
TYPICAL BUILDING
ENVELOPE
SFD COTTAGE
LOT SIZE 44'x95'



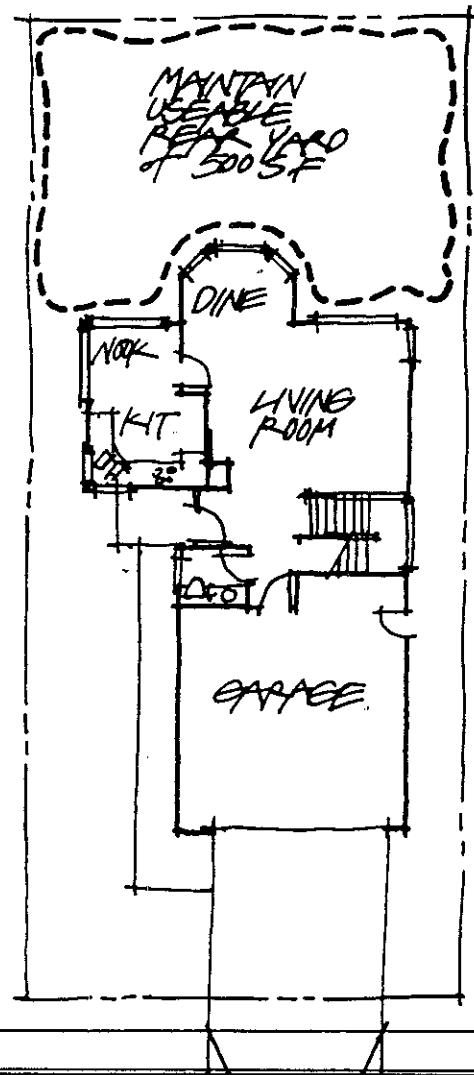
EXAMPLE FLOOR
PLAN

LOT WIDTHS and DRIVEWAY
LOCATIONS DESIGNED TO
ACCOMMODATE ONE ON
STREET PARKING SP^{CE}
PER RESIDENCE

HOUSING TYPE: SFD-Small Lot
EXAMPLE LOT SIZE: 40'x90'



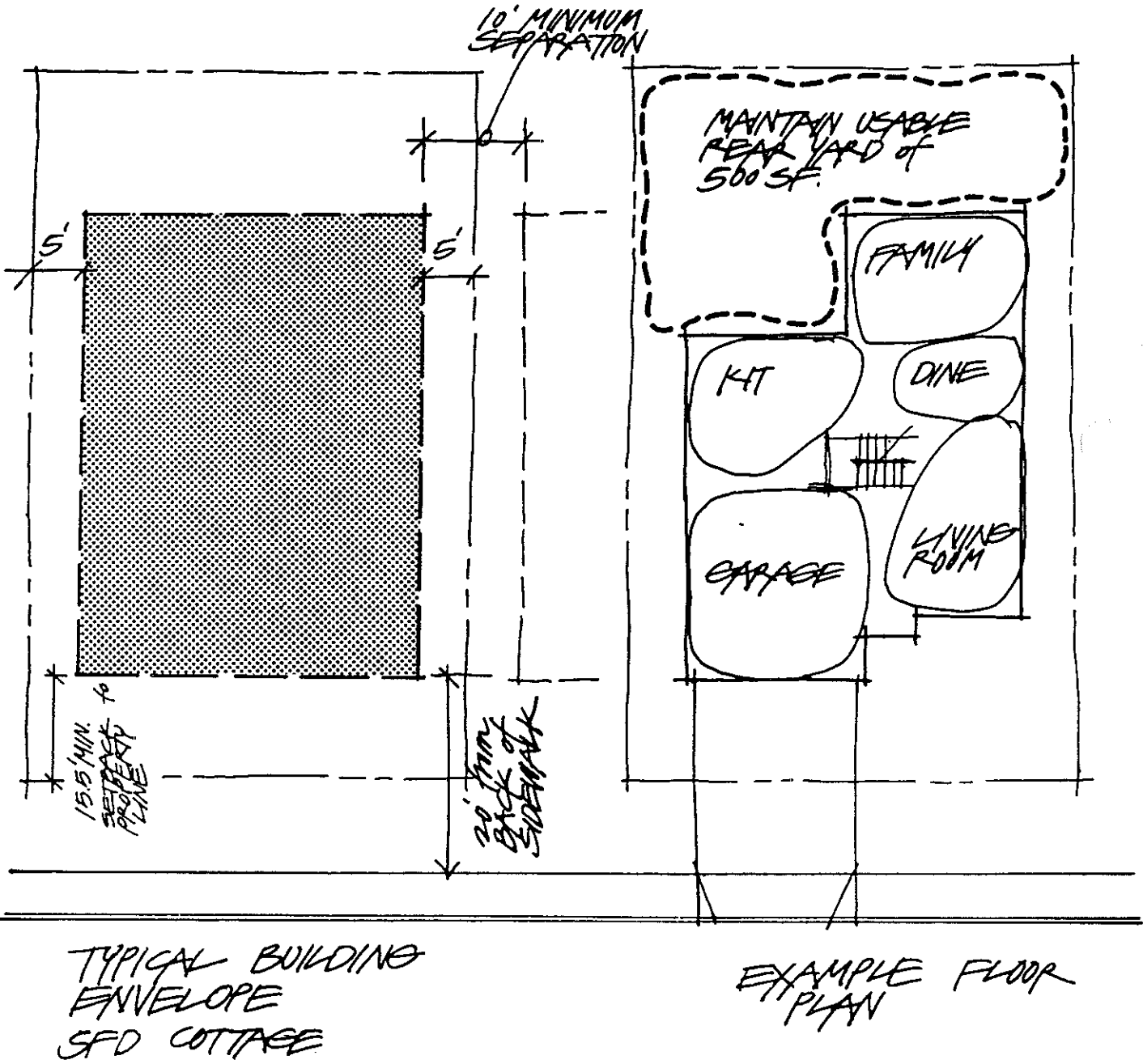
TYPICAL BUILDING
ENVELOPE
SFD COTTAGE,
LOT SIZE 40x90'



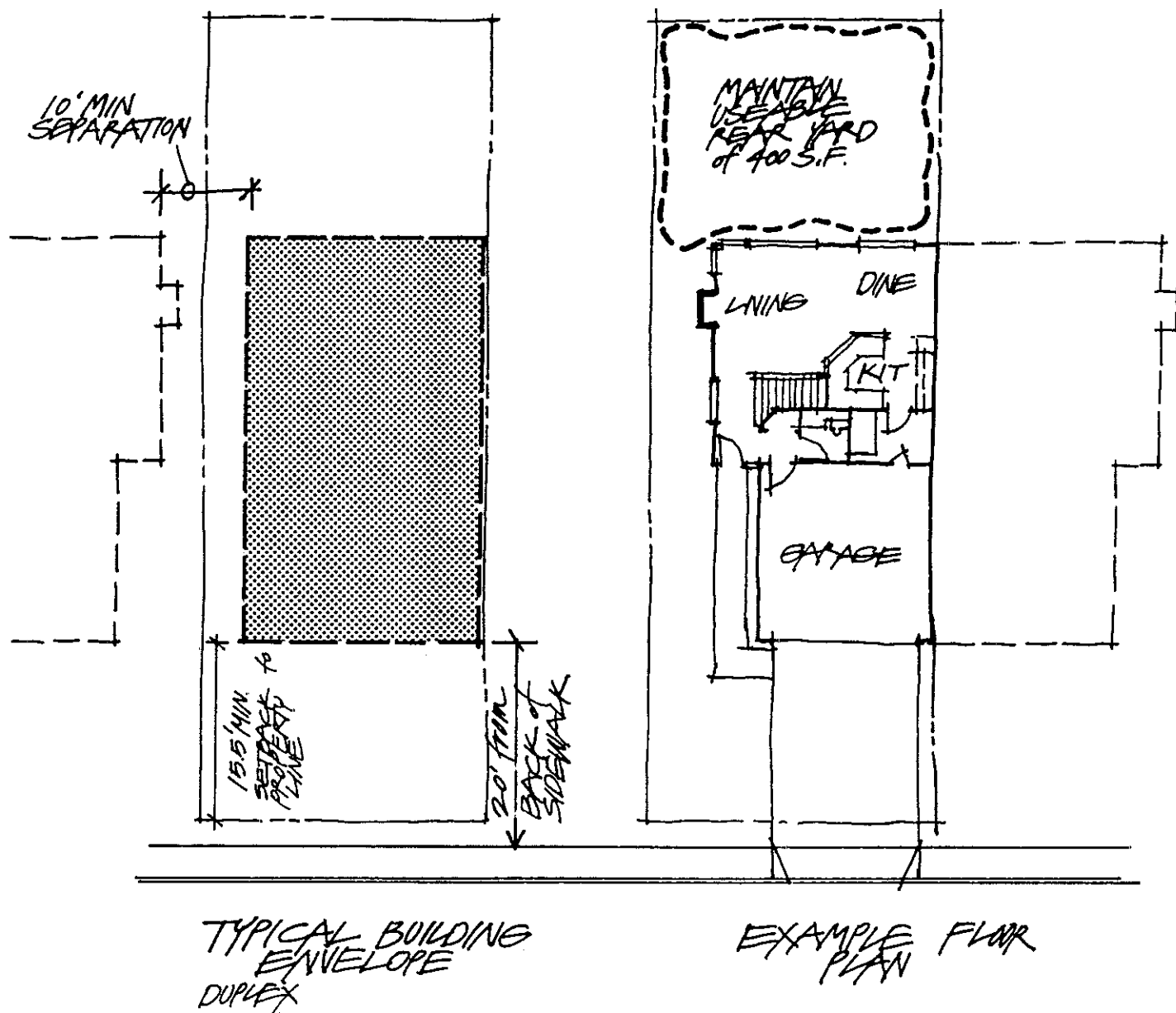
EXAMPLE FLOOR
PLAN

LOT WIDTHS and DRIVEWAY
LOCATIONS DESIGN TO
ACCOMMODATE ONE ON
STREET PARKING SPACE
per RESIDENCE.

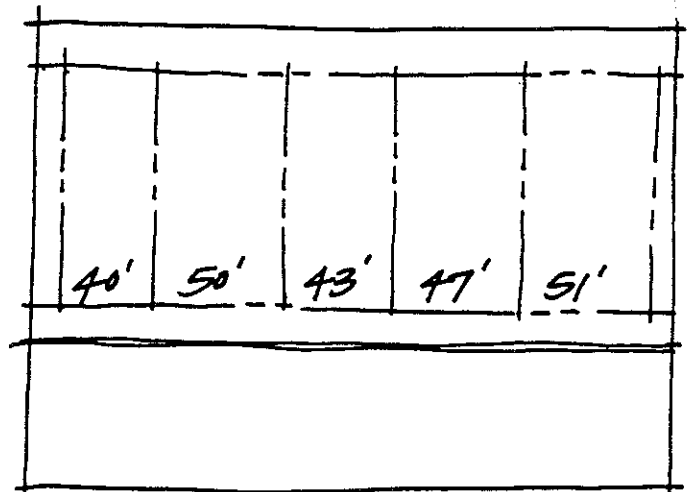
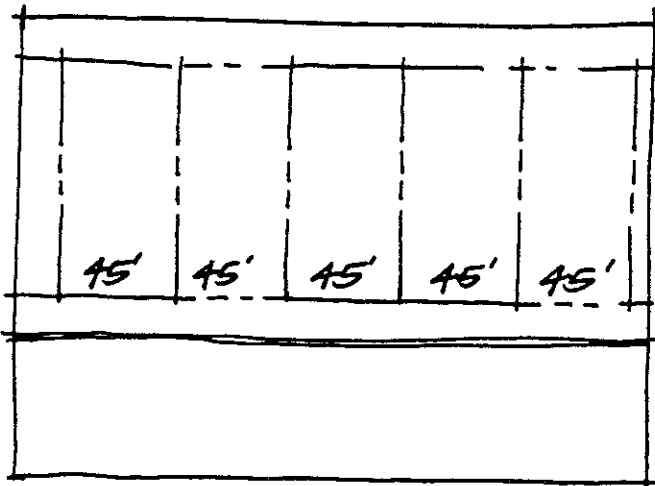
HOUSING TYPE : SFD-Cottage



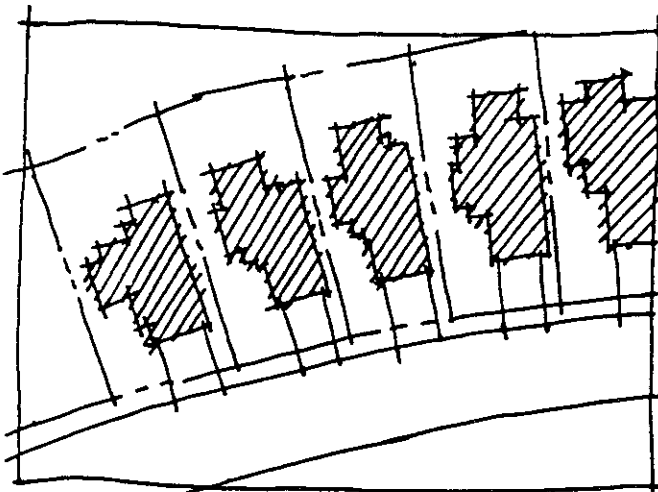
HOUSING TYPE: Duplex



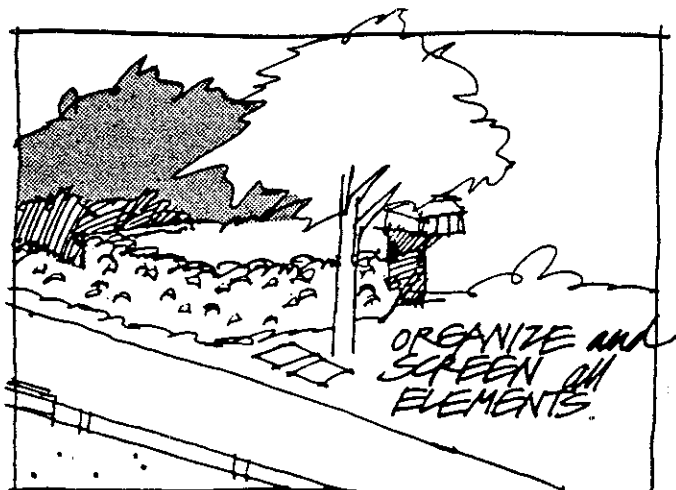
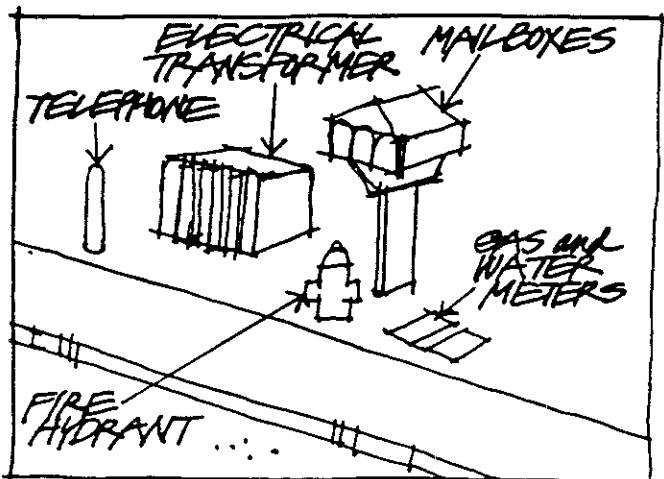
STREETSCAPES



VARY LOT WIDTHS



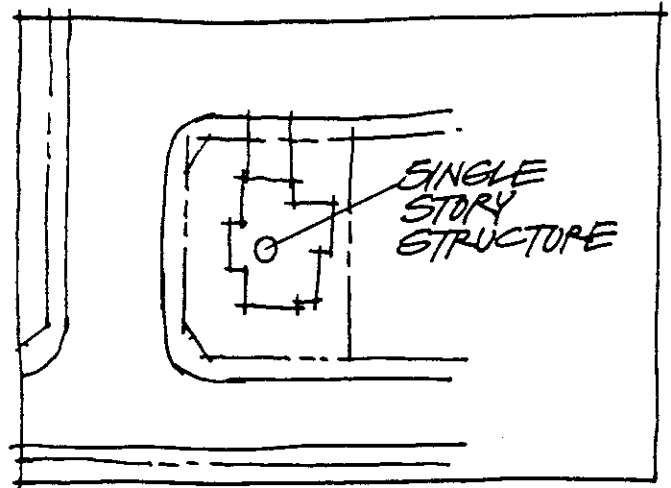
VARY FRONT YARD SETBACKS



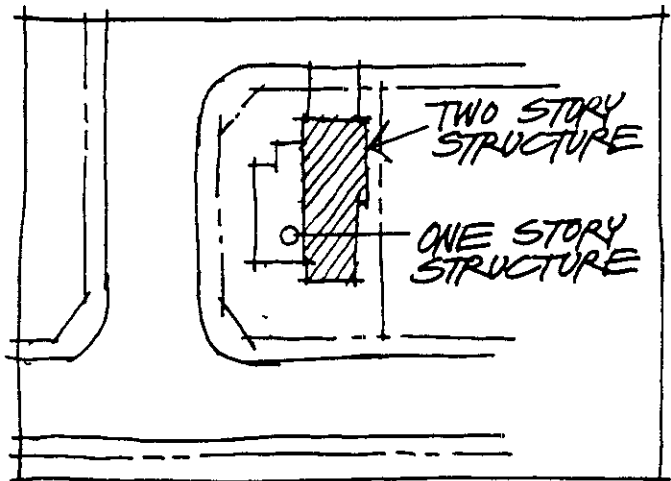
PARKWAY FURNITURE

CORNER LOT TREATMENT with SMALL LOTS

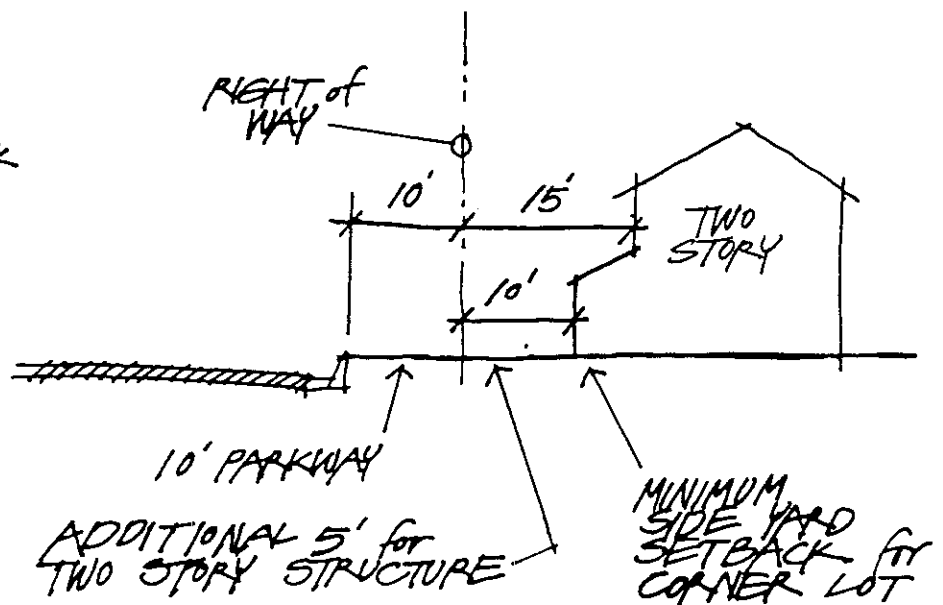
USE SINGLE STORY

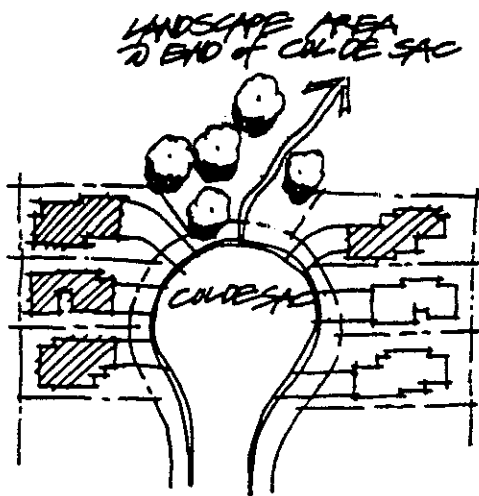


or SETBACK
TWO STORY ELEMENT

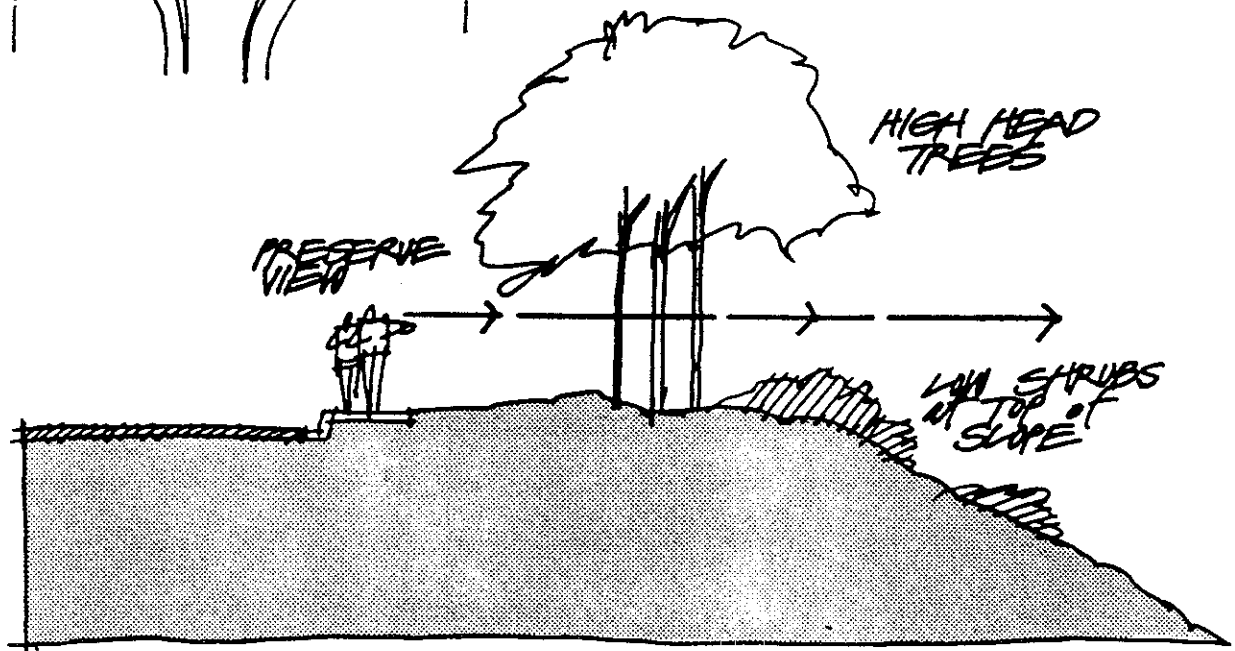


or INCREASE
SIDEYARD SETBACK

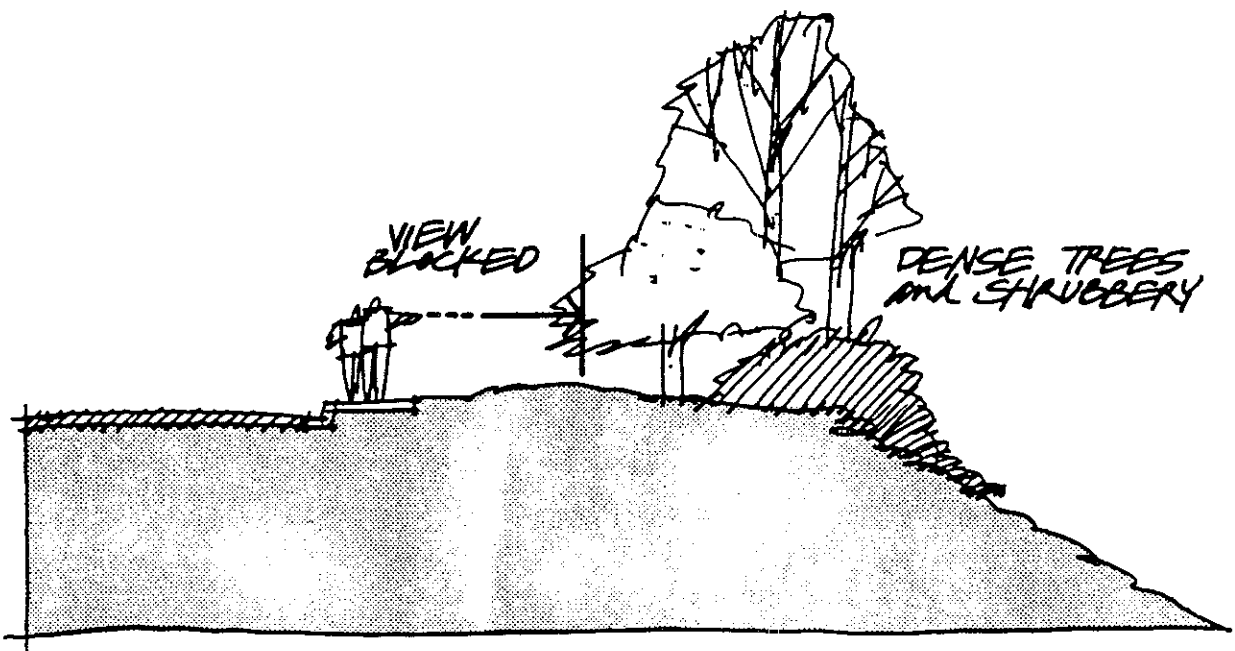




OPEN CUL DE SAC



PRESERVE DESIRABLE VIEW



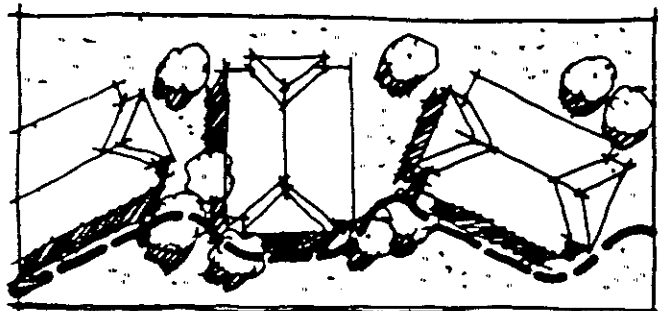
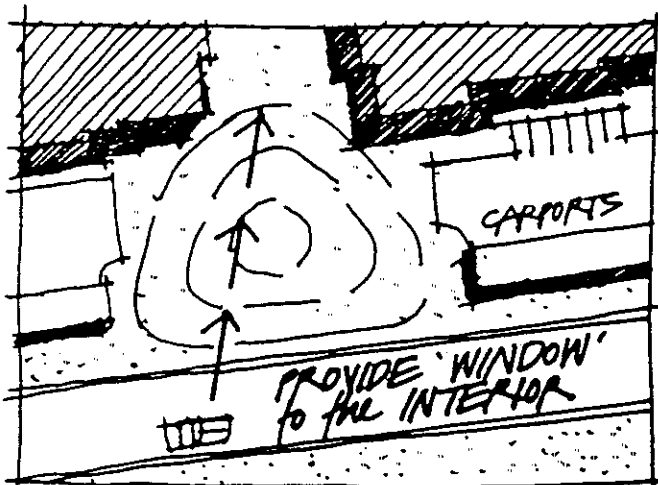
Yard Restrictions

Careful attention to maintaining continuity of design during initial construction can be negated by subsequent individual homeowner improvements. Enclosed additions, patio structures, decks, storage sheds, fencing and other similar homeowner improvements are of particular concern. Yet, restrictions such as setbacks, coverage, materials, etc. must relate to the particular type of lot and residence involved. In order to both control these homeowner improvements and, at the same time, relate the restrictions to the particular characteristics of the housing/lot type involved, a "Homeowner Improvements" supplement shall be a required component of the mandated Site Plan Review. This supplement will detail for each housing type, the specific restrictions on the size and location of balconies, covered patios, enclosed additions, or storage buildings. In addition, specific guidance and restrictions shall be provided for materials, colors and design characteristics. This supplement shall be officially adopted as a component of the Site Plan Review approval. And to insure continued conformance, it will also become a component of the recorded CC&R's given to each new home purchaser.

Multi-Family Products

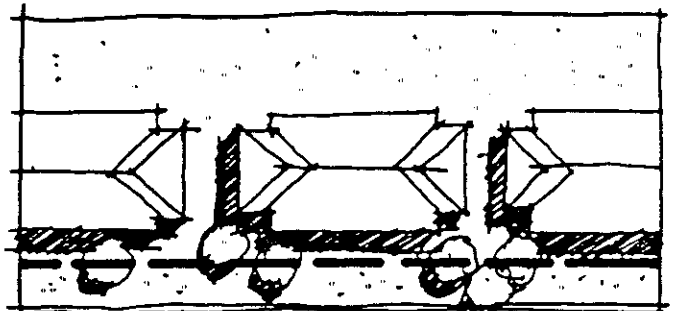
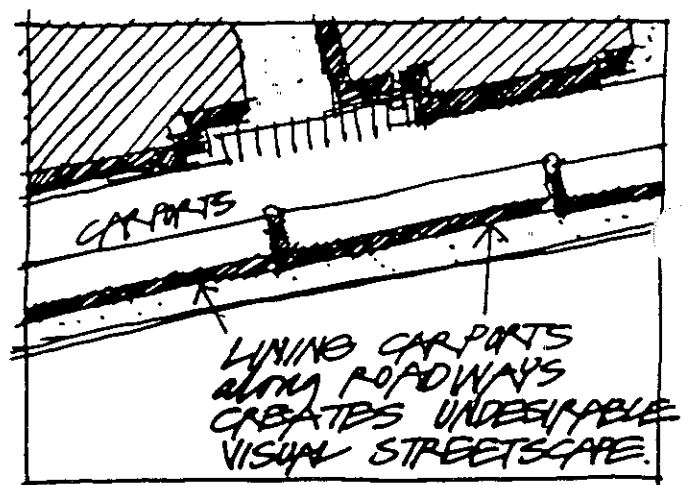
Site plans for attached products should consider the following issues: indoor and outdoor privacy, solar access, building appearance, and overall project design appeal. Buildings should be oriented to create courtyards and open space areas, thus increasing the aesthetic appeal of the site. Building architecture should incorporate a variety of units, building sizes and heights, and color accents. Building facades should include relief to avoid a monotonous appearance. Stairwells should be covered and integrated into the overall building design, and private spaces such as patios or balconies are encouraged for each unit. Another design consideration is the need to buffer group parking areas from the street and adjacent properties. A few of these design concepts are illustrated below and on the following pages.

DO THIS



WHERE UNITS BORDER ROADWAY. VARY SETBACKS FOR INTEREST

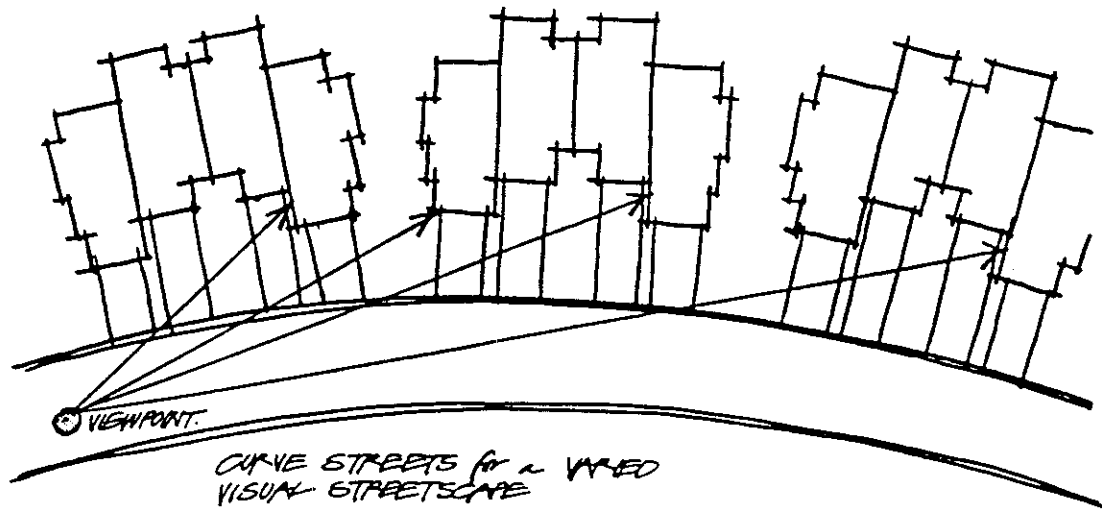
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UNITS that PARALLEL ROADWAYS CREATE MONOTOMY

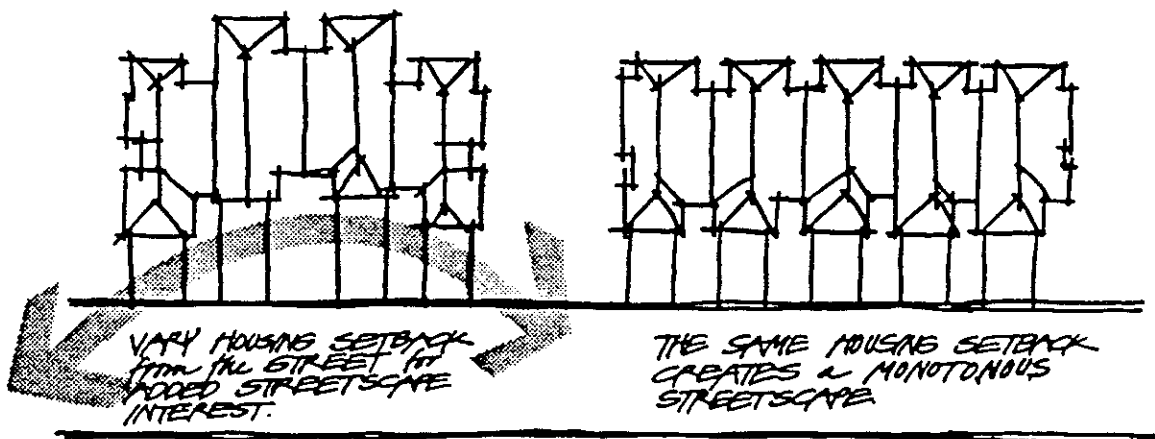
MULTI-FAMILY SITE DESIGN

MULTI-FAMILY STREET ORIENTATION



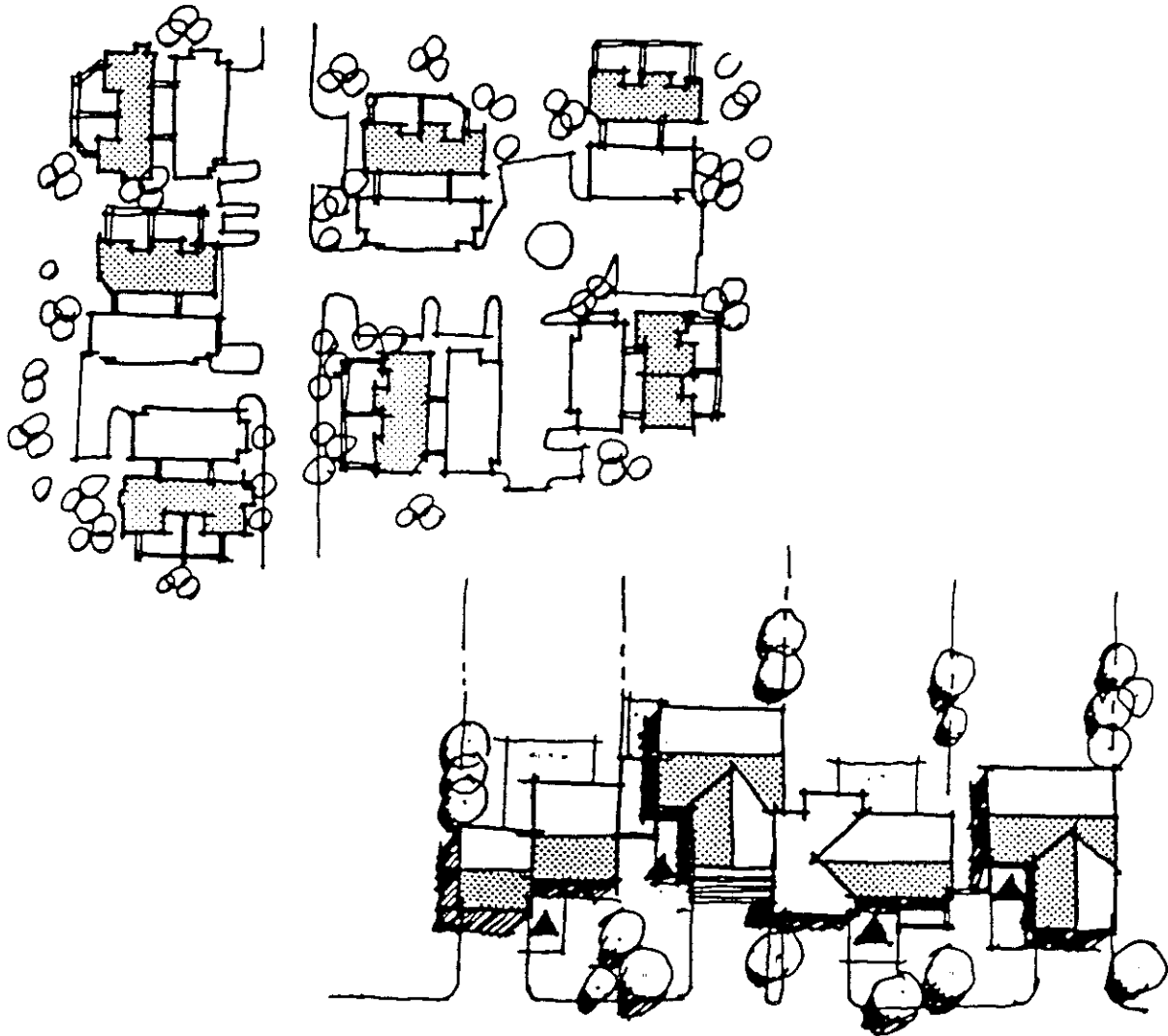
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MULTI-FAMILY SITE DESIGN

IN HIGHER DENSITY PROJECTS WITH TUCK UNDER PARKING AND OPPOSING GARAGES, INDIVIDUAL UNITS SHOULD BE TURNED AND ORIENTED IN A VARIETY OF WAYS TO AVOID THE MONOTONY OF GARAGE DOOR CORRIDORS.



IN MULTI-FAMILY AND ATTACHED HOUSING IT IS IMPORTANT TO PROVIDE EACH UNIT WITH ITS OWN IDENTITY AND ENTRY. THIS CAN BE ACCOMPLISHED BY STAGGERING AND OFFSETTING EACH SEPARATE UNIT AND COMBINING ONE AND TWO STORY BUILDING FORMS TO SEPARATE MASSING. THIS WILL ALSO PROVIDE VARIETY TO THE STREETSCAPE.

Design Issues by Parcel

The product descriptions, lot and pad sizes, and parcel plan features described in this section are those envisioned at the time of SPA Plan preparation. These designs and specifications are subject to change and refinement in conjunction with the tentative tract map approval, and are subject to such approval. Any alternative parcel plans which are prepared should respond to the listed planning and design criteria, implementing the techniques and solutions described in the previous sections of this text. All parcel plans shall conform to the development standards and other provisions of the EastLake I PC District regulations adopted by the City of Chula Vista.

Single Family Detached

Single Family Detached is the predominate housing type in the core residential development areas of EastLake Greens. The following are guidelines for site planning each of the single family detached parcels designated for single family detached products (refer to the Site Utilization Plan for the location of each parcel).

6.12.1 Scenic Corridor Guidelines

Telegraph Canyon Road, Orange Avenue, Hunte Parkway and future State Route 125 should be treated as scenic highways.

Where feasible, the City should maintain a landscaped corridor adjacent to the ultimate width right-of-way line along all scenic highways associated with EastLake Greens. The corridor should be landscaped and maintained to enhance the scenic roadway area and placed within an open space easement or made part of the road right-of-way, consistent with the provisions of the Scenic Highways section of the General Plan Land Use Element Update. Such a corridor is depicted conceptually on the Site Utilization Plan, Exhibit 3.

Any new residential development backing upon a scenic roadway shall have decorative solid walls and/or landscaped earthen berms, or otherwise implement the scenic highway policies of the General Plan. The silhouette of structures as viewed from scenic roads is important. To avoid a walled-in effect, the use of single-story structures is encouraged. Where two-story structures are within 100 feet of the curb, additional tree planting or second story elevation enhancement should be provided.

A scenic corridor is also depicted internal to the project at the western end of parcel R-28 to maintain entry views to the club house. Improvements, such as a recreation area, which maintain visual access are permitted in this area, along with appropriate landscaping.

Parcel R-2: This is an custom/semi-custom housing area in the central area of the northern half of the project. This parcel has been designed with a single entry in order to provide the potential for a private gated entry. Should such an entry be pursued, vehicle stacking, turnaround area, and other limited access circulation issues will need to be considered. Another issue will be the siting and design of homes and accessory buildings which will be prominently visible from the golf course. Additional rear yard setbacks and rear elevation detailing may be required. An open cul-de-sac at the end of the street will improve the visual quality of the development area and golf course.

Parcel R-2

Design Issues Summary

Product: Custom/Semi-Custom Home Lots

Golf Course: Views to and from golf course and trail

Entry: Vehicle stacking, if gated

Fencing: Off-site views; consistency of guard gate with theme
fencing

Edges: Golf course and neighborhood collector road

Landscaping: Privately owned slopes adjoining the golf course;
collector road edge and entry statement

Parcel R-5: This conventional single family housing parcel is located in the west central portion of the project. It is planned to have two entries off the neighborhood collector. It is surrounded on three sides by the golf course, while the collector forms the other edge. These edge conditions require that attention be given to building bulk, rear elevation detail, and consistency of fencing and slope planting along the perimeter. An open cul-de-sac is planned for the northeastern corner of the parcel.

Parcel R-5

Design Issues Summary

Product: Conventional Single Family Homes

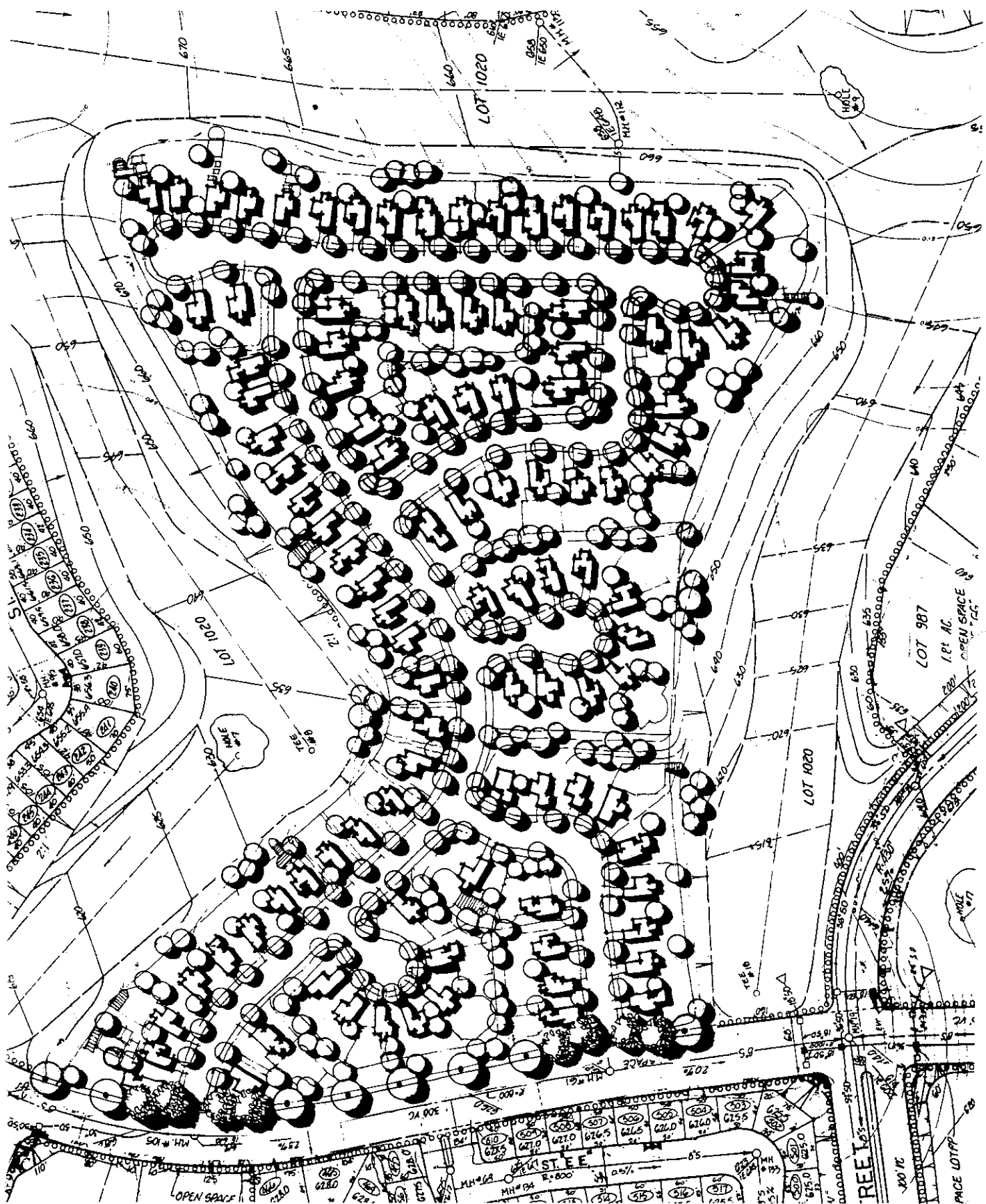
Golf Course: Perimeter views to and from the golf course

Entry: Community fencing and landscaping standards

Fencing: Off-site golf course views

Edges: Neighborhood collector

Landscaping: Interface with golf course; collector road



This conceptual plan is included for illustrative purposes only. Project design and site planning need not conform to this exhibit for approval.

PARCEL R-5 Site Plan Concept

nts

Parcel R-7: This parcel is located in the northern portion of the golf course; overlooking the course, the townhouse development area (Parcel R-19), and the Village Center. This prominent location requires careful attention to the appearance of the northeastern edge of the parcel. It is planned for small lot single family detached products.

The edge along the loop road has been planned to produce a variety of lot widths. Special detailed grading and rear lot line locations have been provided at the southwestern corner of the parcel to improve the appearance at this edge adjoining the golf course and collector road. The siting of individual buildings along this edge should reinforce the irregular lot pattern by using a variations in building orientation.

Parcel R-7

Design Issues Summary

Product: Small Lot Single Family Detached

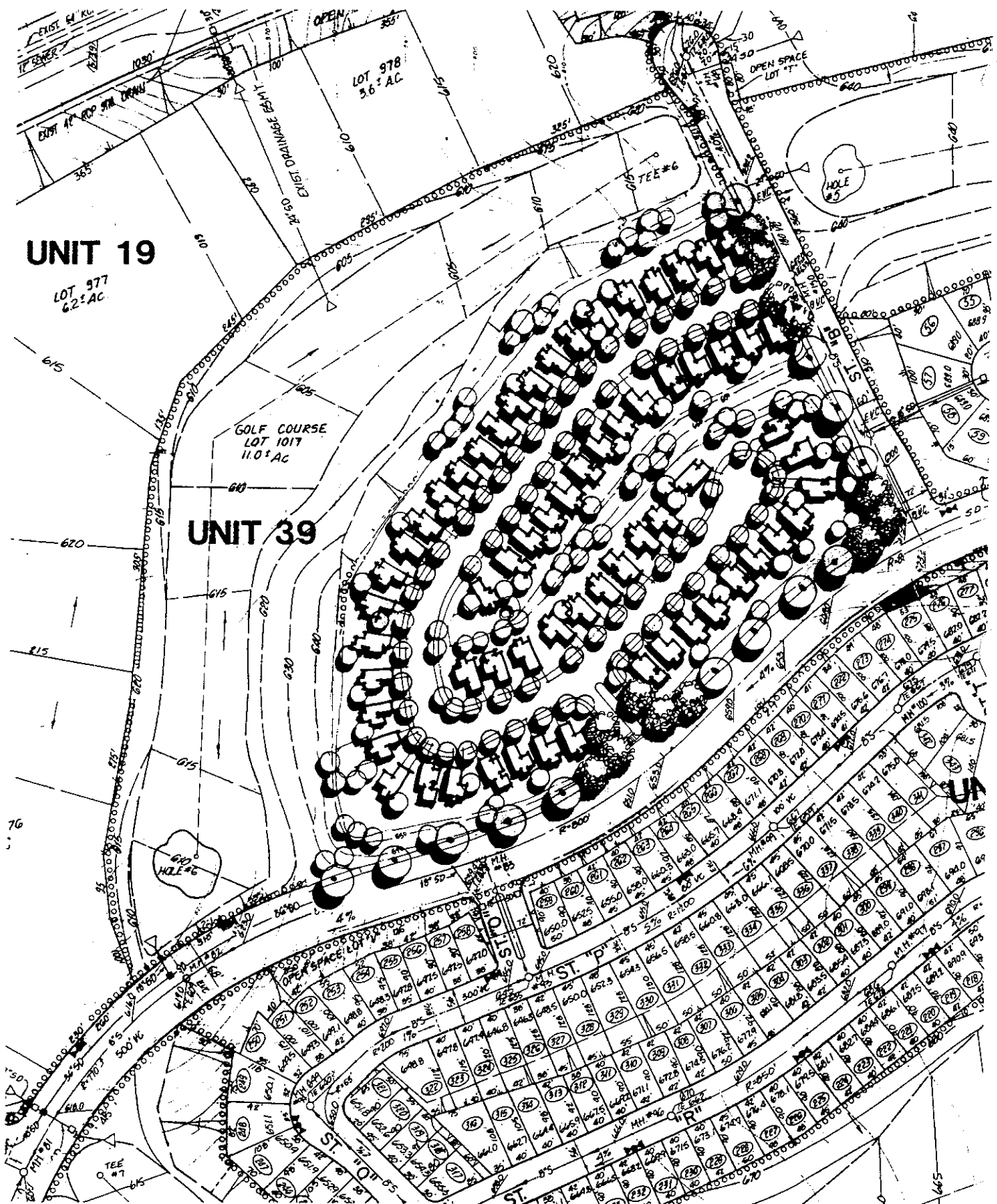
Golf Course: Views to and from golf course

Entry: Community theme

Fencing: Golf course and collector road edges

Edges: Golf course; detailed design at southwestern edge;
parcel entry road along eastern parcel boundary

Landscaping: Collector and entry road treatments



This conceptual plan is included for illustrative purposes only. Project design and site planning need not conform to this exhibit for approval.

PARCEL R-7 **Site Plan Concept**

Parcel R-11: This parcel is located just to the east of Parcel R-7. In addition to the two typical edges with the golf course and collector road, this parcel adjoins a neighborhood park (Parcel P-2) and the water reservoir site. The planning and design of appropriate interfaces will be important in these areas.

Provision of detailed grading and setbacks along the southwestern edge of this parcel should also be provided.

Parcel R-11

Design Issues Summary

Product: Small Lot Single Family Detached

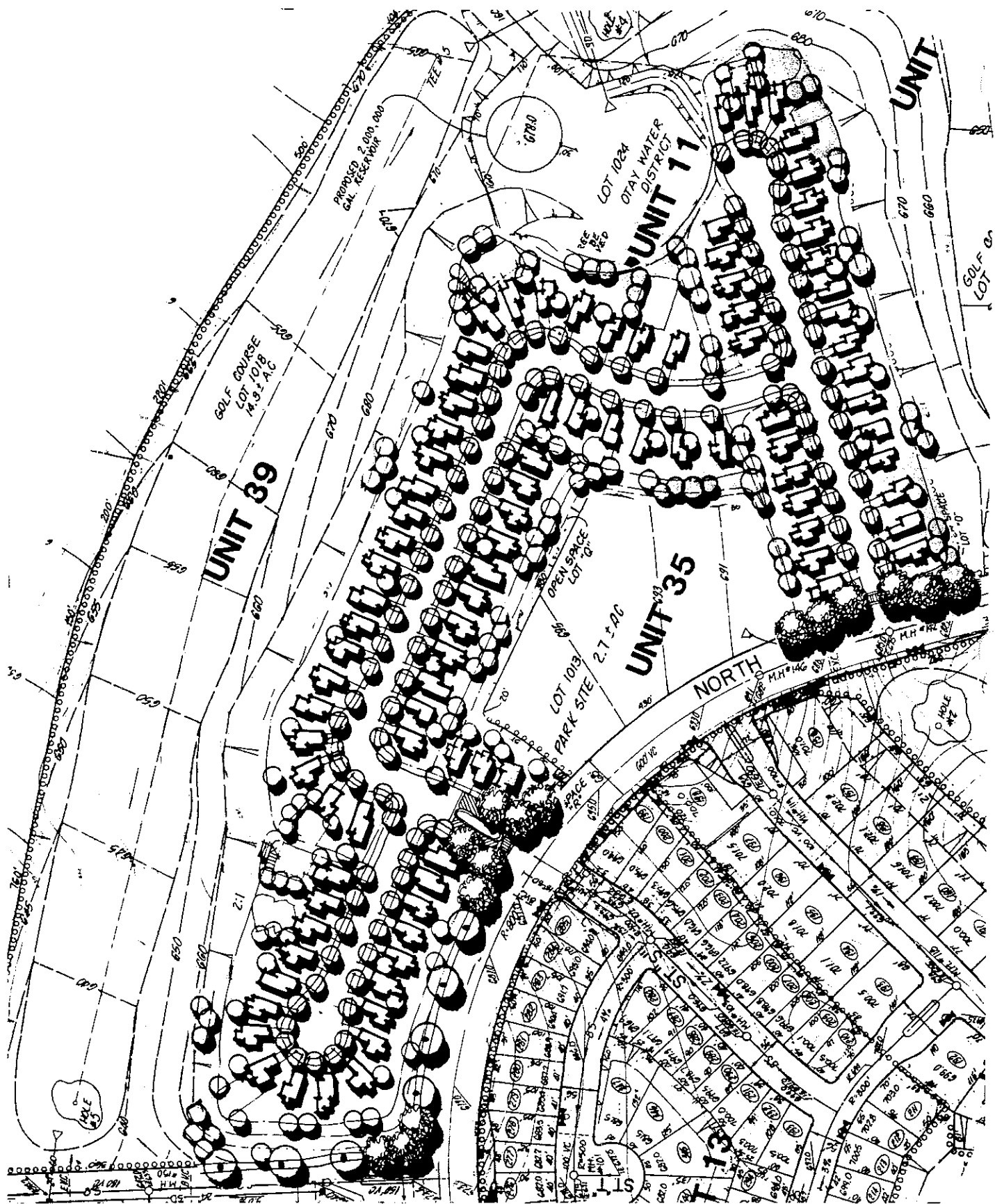
Golf Course: Views to and from golf course

Entry: Community themes

Fencing: Views along golf course; community fence at collector

Edges: Collector road; golf course; neighborhood park; and,
reservoir site

Landscaping: Edges



This conceptual plan is included for illustrative purposes only. Project design and site planning need not conform to this exhibit for approval.

PARCEL R-11 **Site Plan Concept**

nts

Parcel R-13: This parcel is located in the middle of the northern portion of the project, adjacent to Parcel R-2. Two entries from the neighborhood collector are planned.

Again, the important design issues are the golf course and collector road edges. Area for variable slopes and other detailed grading design is provided at the southwestern edge of the parcel, adjoining the golf course and collector road. This area will be highly visible from the northern project entry from EastLake Parkway. Site planning and architectural design should contribute variety in shape and scale in this area.

There may be some design conflicts at the edge adjoining Parcel R-2 due to the differing lot size and scale of buildings. Should this become apparent, a buffer using landscaping and elevation difference should be provided.

Parcel R-13

Design Issues Summary

Product: Small Lot Single Family Detached

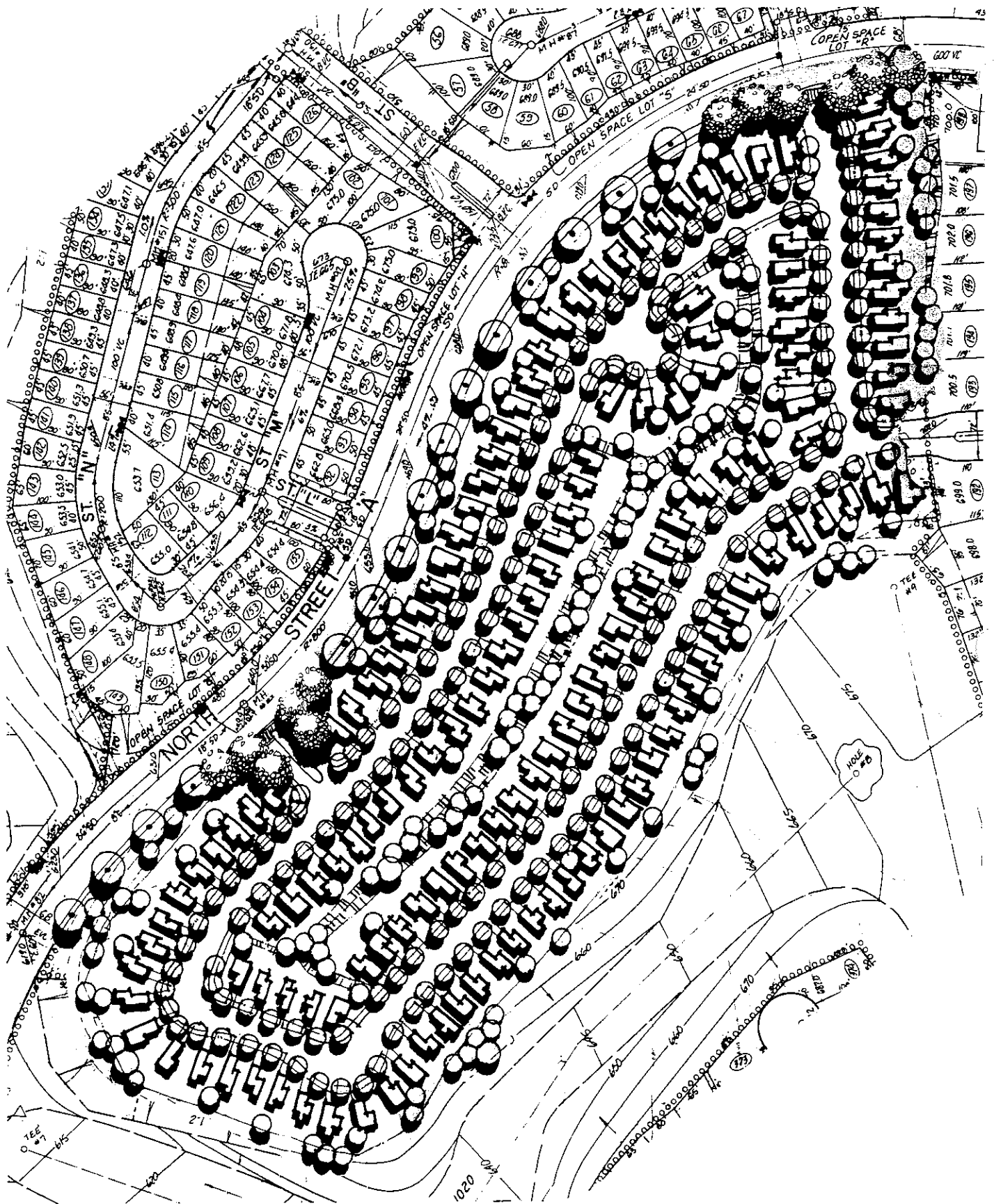
Golf Course: Views to and from the golf course

Entry: Community themes

Fencing: Views along golf course; community fence at collector

Edges: Golf course; collector road; Parcel R-2

Landscaping: Collector road; northwest corner edge



This conceptual plan is included for illustrative purposes only. Project design and site planning need not conform to this exhibit for approval.

PARCEL R-13 Site Plan Concept

nts

Parcel R-14: This parcel is immediately west of Parcel R-5 and has no frontage on the golf course. However three side of the parcel face roads which are important to the visual character of the neighborhood. EastLake Parkway is located to the west while the neighborhood collector is to the east. The second project entry from EastLake Parkway is located to the south. Landscaped slopes are to be provided along each of these edges.

The northern parcel boundary adjoins a high density multi-family site and will require landscaping and buffers to avoid conflicts. Rear yard privacy for units within this parcel should be addressed.

Parcel R-14

Design Issues Summary

Product: Cottage Single Family Detached

Golf Course: none

Entry: Landscaping adjoining neighborhood entry; community themes

Fencing: Views off-site; community theme at road edges; separation from multi-family parcel

Edges: Roads; multi-family parcel

Landscaping: Edge conditions

Single Family Attached

Parcel R-17: This parcel is located at the northeastern edge of the project. It comprises the majority of the project boundary with Telegraph Canyon Road and also borders on Hunte Parkway, both of which are designated Scenic Highways. The landscaping, fencing, and building elevations facing these highways should receive special attention.

The long narrow shape of the parcel mandates special attention to site planning. Long stretches of double loaded street should be avoided. The creation of courts or short cul-de-sacs to provide variety in the street scene and to integrate views to the golf course is recommended. Because the golf course and development are at about the same elevation, views from the interior street can be readily provided through "gaps" between homes. The lack of major elevation difference requires more attention to the integration of private yards and landscaping with that of the golf course.

The southern edge of the parcel adjoins the project entry from Hunte Parkway and should receive appropriate landscaping and edge design consideration.

Parcel R-17

Design Issues Summary

Product: Duplex Single Family Attached

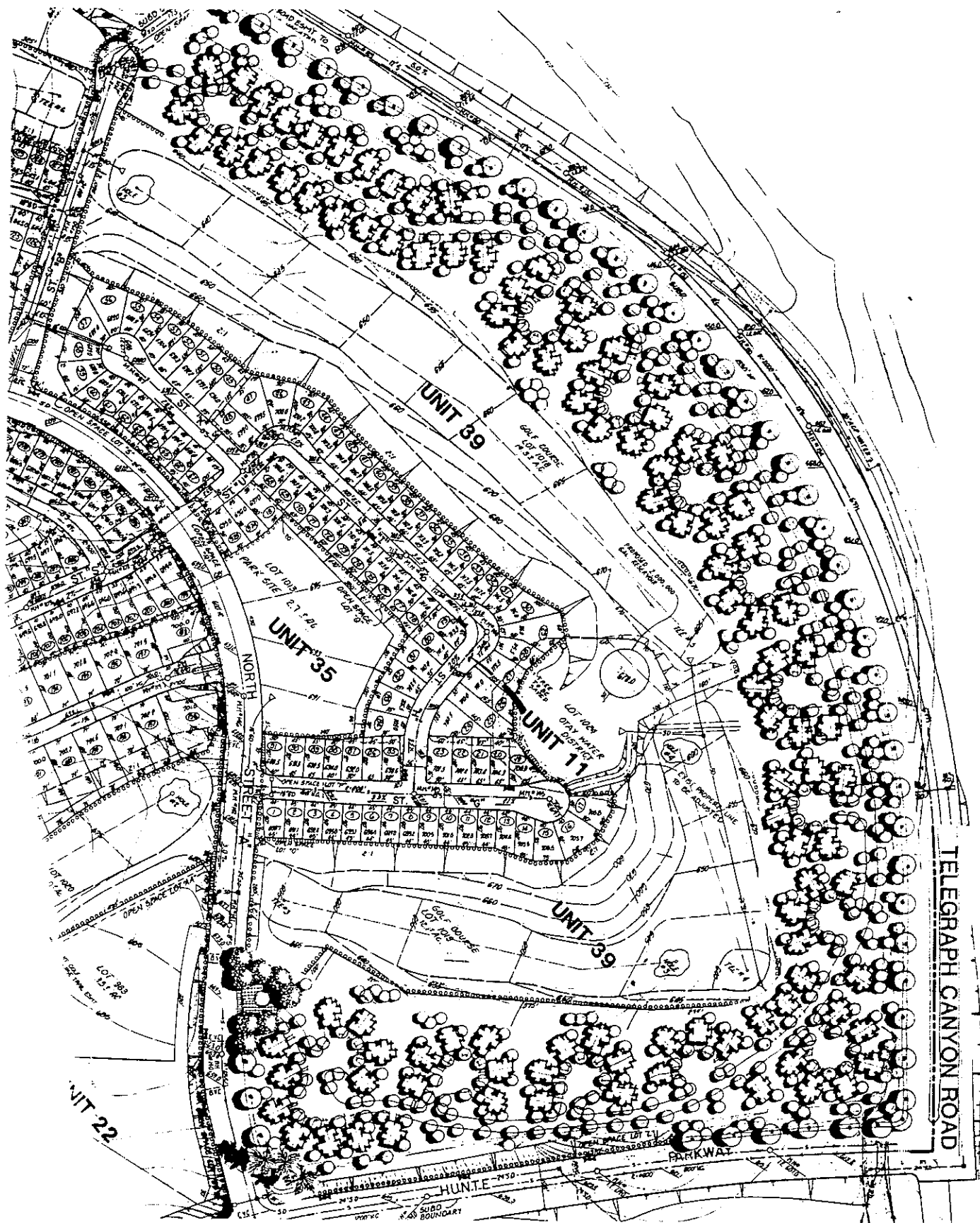
Golf Course: Integration of edges without major elevation differences

Entry: Community themes; neighborhood entry from Hunte Parkway

Fencing: Separation of private yards from golf course

Edges: Golf course; scenic highways; neighborhood collector/entry

Landscaping: Edge conditions



This conceptual plan is included for illustrative purposes only. Project design and site planning need not conform to this exhibit for approval.

PARCEL R-17 **Site Plan Concept**

nts

Multi-Family Housing

Multi-family housing sites are located in perimeter locations within EastLake Greens. A significant proportion is located along the western edge, between neighborhood park parcels P-3 and P-5. Development plans for these sites will be subject to Site Plan Review process through the City of Chula Vista. The following serve as a guide to the preparation of these individual site plan submittal packages, and are in addition to the other policies and regulations included in the SPA Plan.

Parcel R-19: This parcel is located at the northwestern edge of the residential neighborhood, adjacent to the intersection of Telegraph Canyon Road and EastLake Parkway. It's location above this major community intersection increases the need for an appropriate edge treatment on the back of this parcel.

The design issues associated with this parcel are essentially those of Parcel R-17 discussed previously. The parcel borders on Telegraph Canyon, a scenic highway, and has one edge adjacent to a major neighborhood entry, that from EastLake Parkway. The development area is above the adjacent golf course by approximately five feet, similar to the situation in Parcel R-17. The interior circulation system and its interface with pedestrian routes and landscaping should be carefully considered to create a quality street scene and walkway system.

Parcel R-19

Design Issues Summary

Product: Townhomes

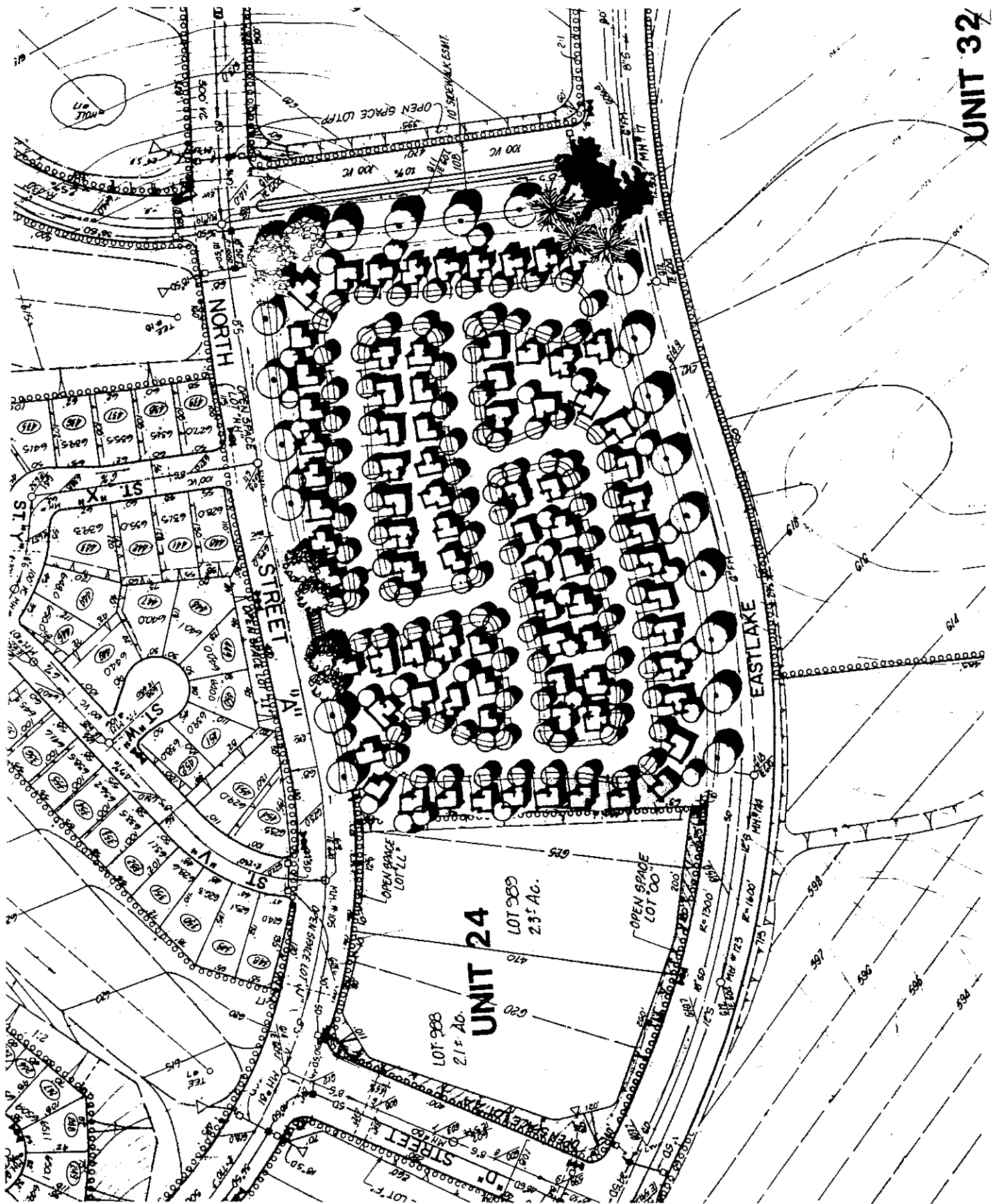
Golf Course: Integration of edges without major elevation difference

Entry: Community themes; neighborhood entry from Hunte Parkway

Fencing: Separation of private areas from golf course

Edges: Golf course; scenic highways; neighborhood collector/entry

Landscaping: Edge conditions

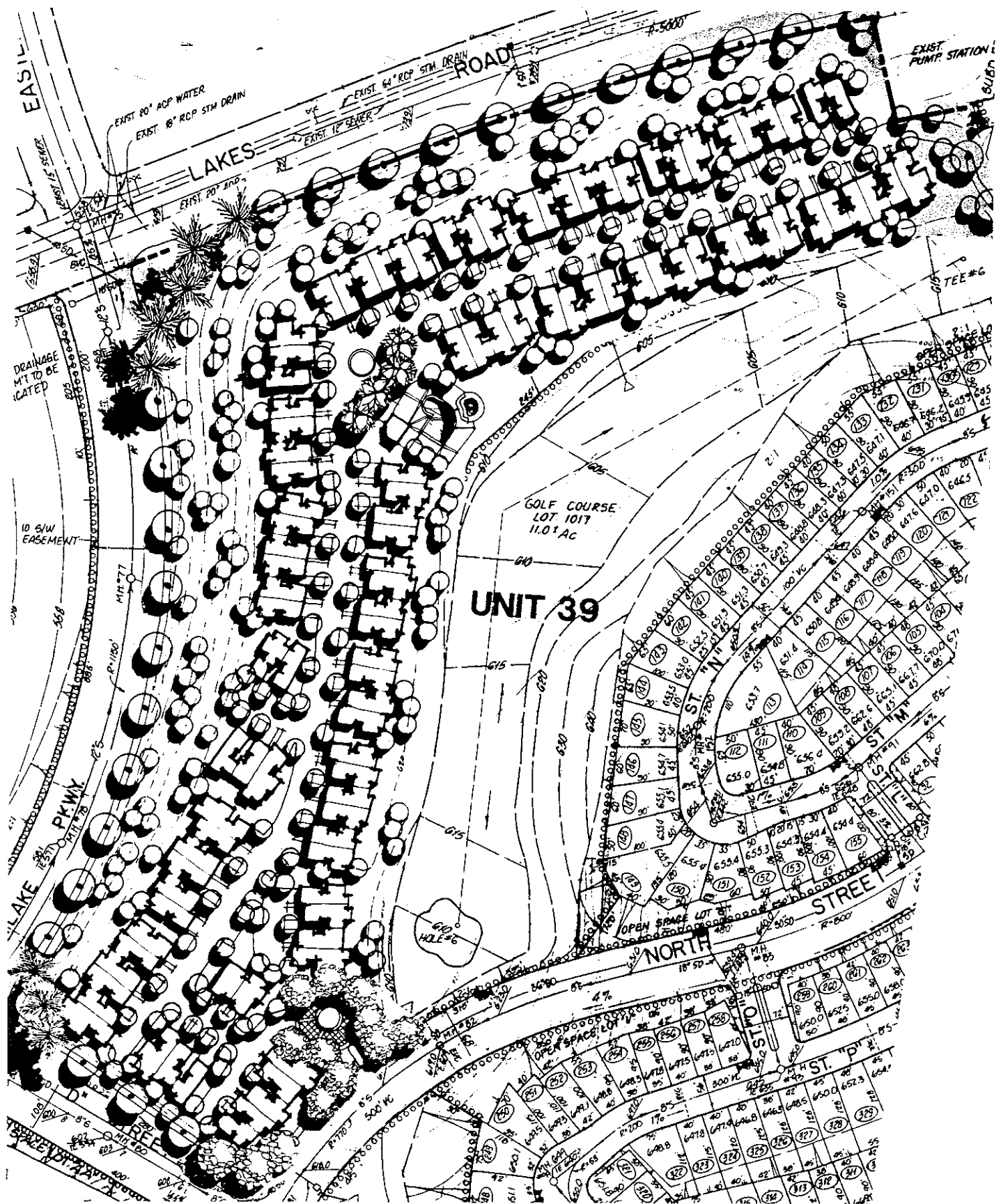


UNIT 32

This conceptual plan is included for illustrative purposes only. Project design and site planning need not conform to this exhibit for approval.

PARCEL R-14 Site Plan Concept

nts



This conceptual plan is included for illustrative purposes only. Project design and site planning need not conform to this exhibit for approval.

PARCEL R-19 Site Plan Concept

nts

Parcel R-22: Located along Hunte Parkway, at the neighborhood entry road, all edges of this parcel require special attention.

The northern edge is adjacent to the neighborhood collector road/entry and should be landscaped and fenced following the community standard. The western and southern edges face the golf course and driving range. A substantial slope bank at the southern edge will provide appropriate separation. The elevation difference along the western edge is less than that at the south but will provide a suitable buffer.

The eastern edge is adjacent to Hunte Parkway and 20-30 feet higher than the roadway. This elevation difference will minimize the amount of development visible from the road but the edge condition will be important. Landscaping of the slope should enhance the visual quality of the road.

Parcel R-22

Design Issues Summary

Product: Multi-Family Condominiums (15 du/ac)

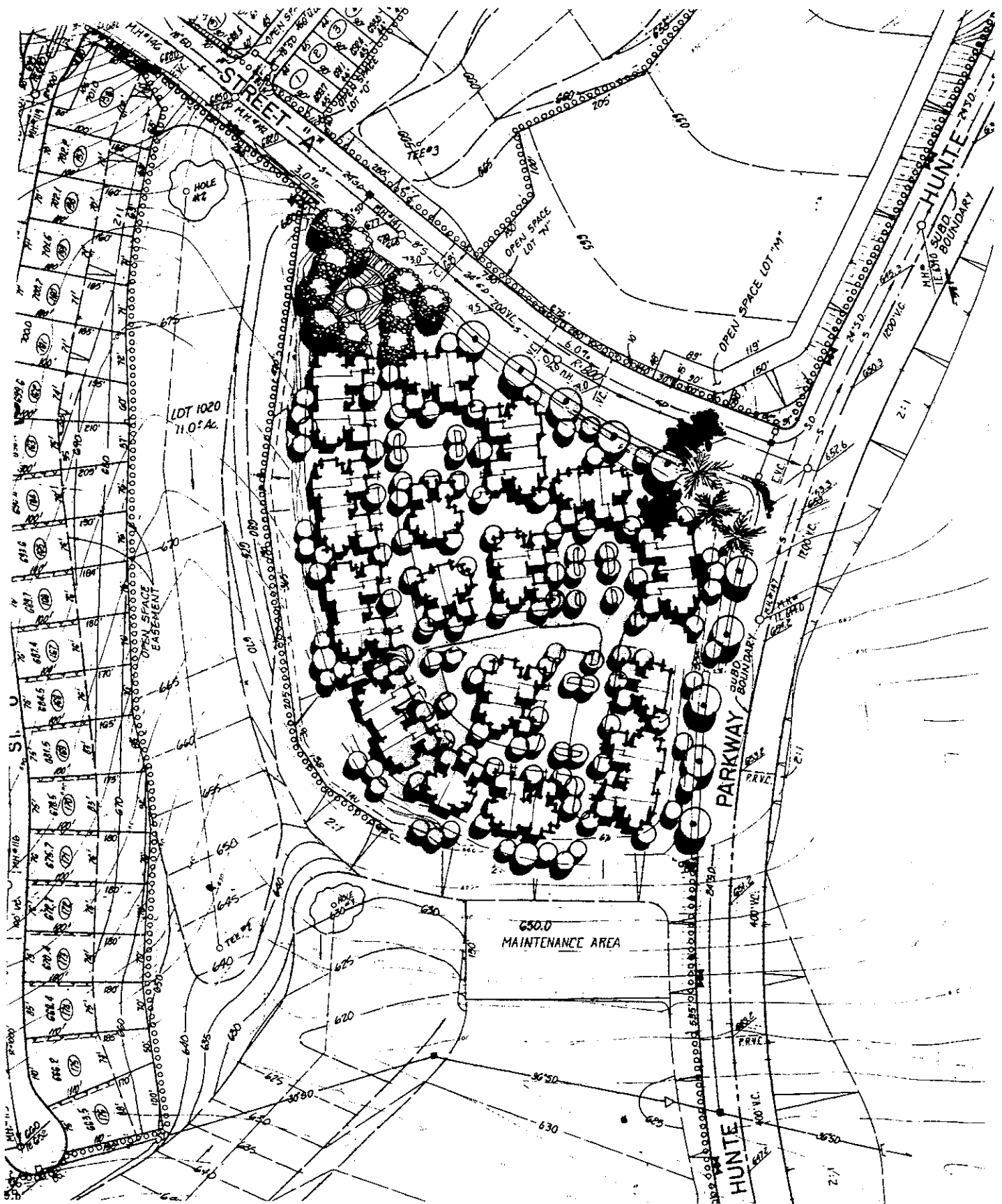
Golf Course: Views to and from course and driving range

Entry: Community themes; neighborhood entry road edge

Fencing: To be determined with Site Plan

Edges: Hunte Parkway; golf course and driving range;
neighborhood entry

Landscaping: Hunte Parkway scenic corridor



This conceptual plan is included for illustrative purposes only. Project design and site planning need not conform to this exhibit for approval.

PARCEL R-22 **Site Plan Concept**

nts

Parcel R-24: This parcel is located adjacent to the northern neighborhood entry from EastLake Parkway. Because of this location, the edge treatment along three edges will need to respond to community design themes and standards. The fourth edge is adjacent to the cottage single family development in Parcel R-14. Provision of an appropriate buffer and separation along this edge will be a primary issue. Privacy in the rear yard areas of homes within Parcel R-14 should be maintained through grade separation.

All visible edges should present a variety of building forms and open space pockets to passing motorists. A continuous string of identical building types or highly visible parking bays should be avoided in favor of a mixture of parking and building facades. Berms and landscaping should be used to screen and soften edges of the development.

Internal circulation and parking areas should be planned to avoid confusion and congestion. Direction and information signs should be designed to be functional and to blend with the architectural character of the development. Circulation for oversized emergency and service vehicles is also an important design criteria.

Parcel R-24

Design Issues Summary

Product: Multi-Family Condominiums (22 du/ac)

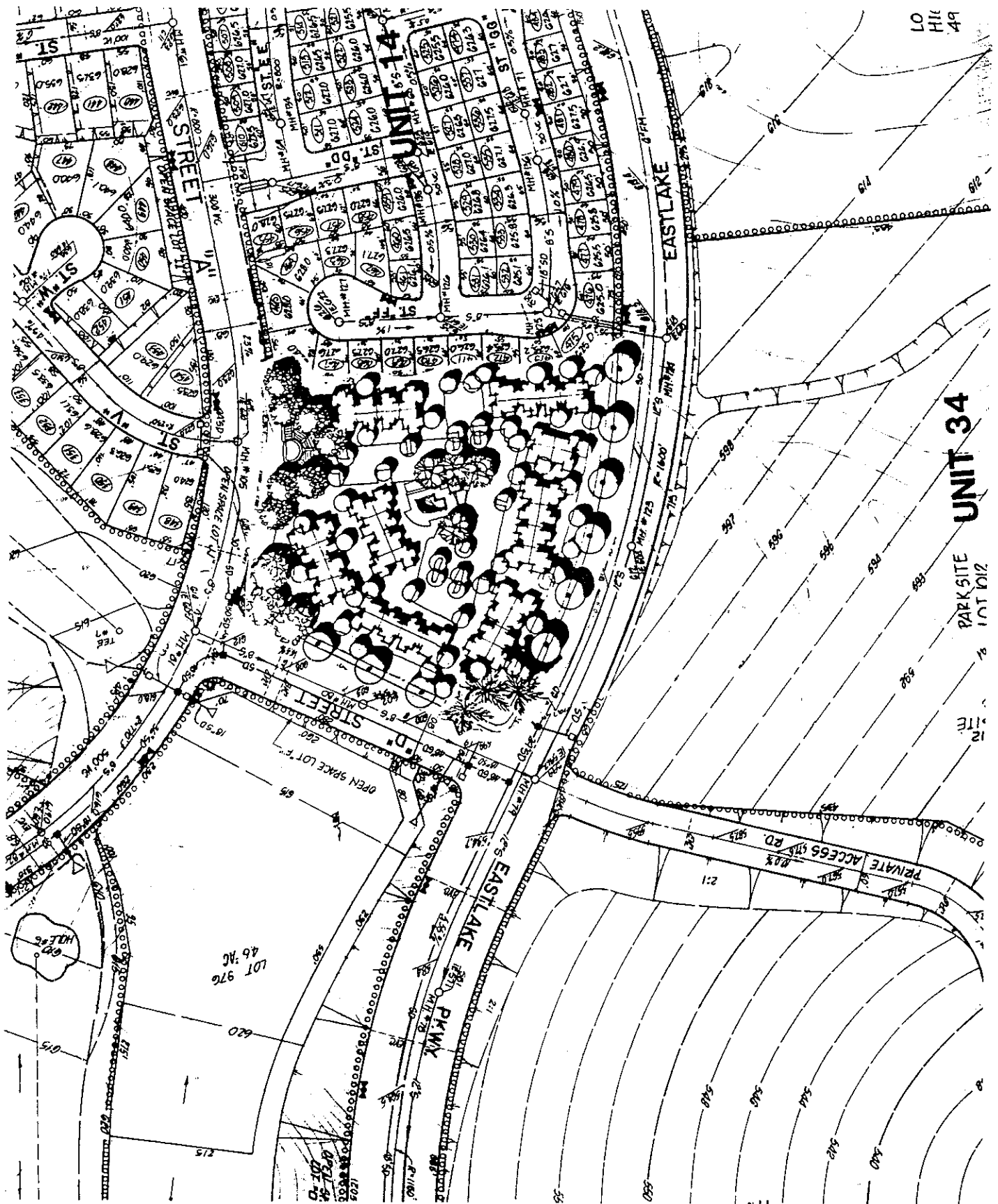
Golf Course: None

Entry: Adjacent to neighborhood entry; intersection spacing

Fencing: To be determined with Site Plan Review

Edges: EastLake Parkway; adjacent SFD parcel; neighborhood entry/collector

Landscaping: Edge conditions



This conceptual plan is included for illustrative purposes only. Project design and site planning need not conform to this exhibit for approval.

PARCEL R-24 **Site Plan Concept**

nts

Parcel R-28: This high density development parcel is located in close proximity to the Club House facility and fronting on the golf course. It is intended to provide a luxury housing opportunity for residents who wish to focus their social and recreational activities on the Country Club. A unique site planning issue for this parcel is the scenic buffer designated at the western end of the parcel. Development in this area is limited to "open" recreational and other uses which will not interfere with the view to the golf course/club house from the neighborhood entry from EastLake Parkway. Street "E" which extends through the neighborhood, past this parcel, is the route of the Community Trail (Thematic Corridor). Attention should be paid to the distinct landscaping and increased pedestrian and bicycle circulation that are associated with this route.

Because of the proposed density, and the parcel's location, the quality of architectural design will be critical. Elevations with variety and an abundance of detail should be provided. Careful attention to landscape design and execution will be critical also. The architectural style and materials used for the Country Club should also be considered in the design for this parcel.

Internal circulation and parking areas should be planned to avoid confusion and congestion. Parking beneath the units in subterranean or semi-subterranean configurations is expected to achieve the projected densities. Direction and information signs should be designed to be functional and to blend with the architectural character of the development. Circulation for oversized emergency and service vehicles is also an important design criteria.

Parcel R-28

Design Issues Summary

Product: Luxury Multi-Family Condominiums (35 du/ac)

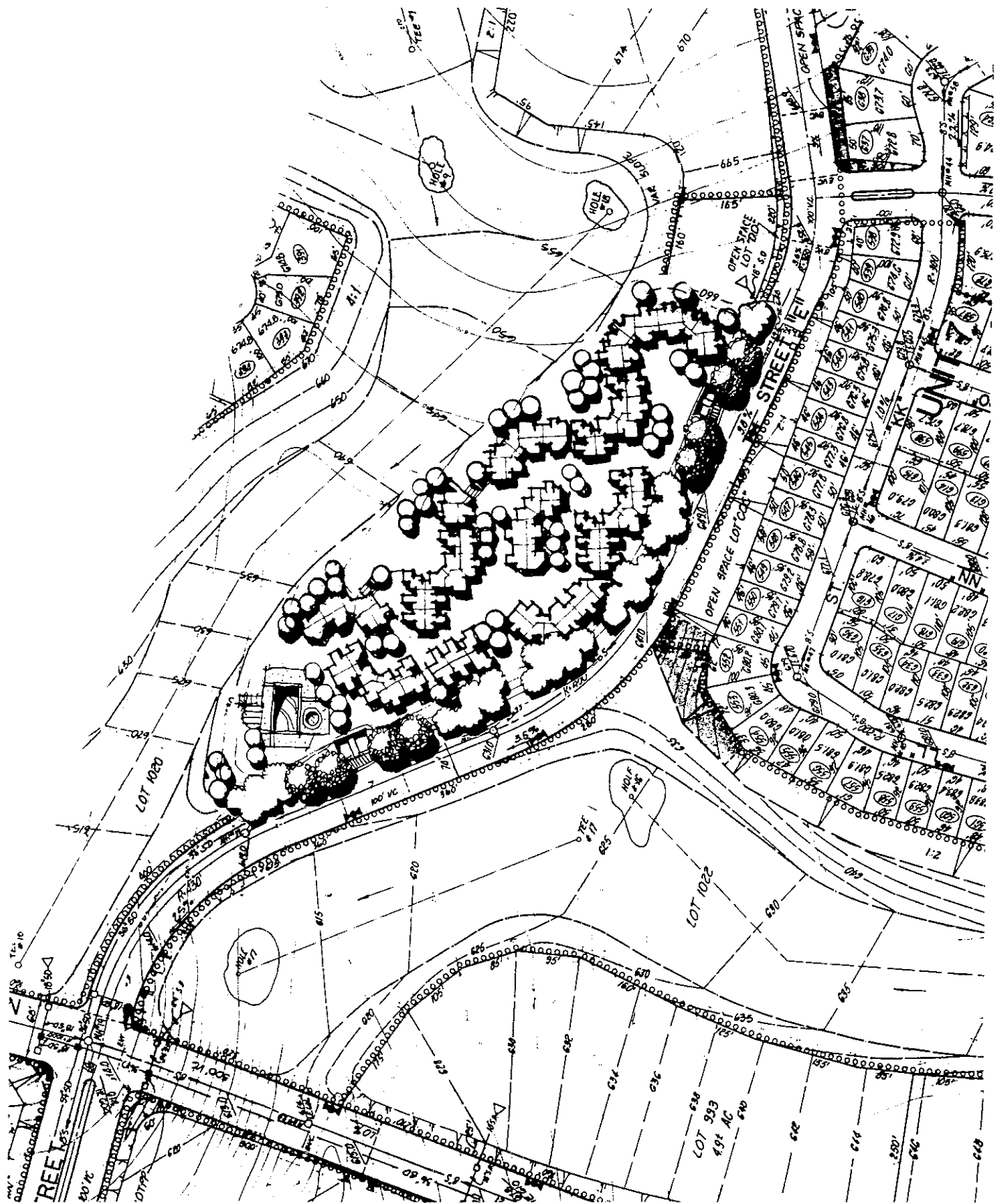
Golf Course: Integration of development edge adjacent golf course and club house building(s)

Entry: Visibility from neighborhood entry; intersection spacing with parcel entries to the south (Parcel R-8)

Fencing: To be determined with Site Plan Review

Edges: Golf course; scenic buffer to entry; community trail

Landscaping: Edge conditions; scenic buffer; thematic corridor plant materials



This conceptual plan is included for illustrative purposes only. Project design and site planning need not conform to this exhibit for approval.

PARCEL R-28 **Site Plan Concept**

nts

**Design Guidelines Supplement
for “Land Swap” Area
of EastLake Greens SPA**

Adopted November 24, 1998

by Resolution No. 19275

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**SECTION II.4
DESIGN GUIDELINES
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II.4.1 INTRODUCTION

II 4.1.1 Purpose

This document is a manual to guide the design of site plans, architecture, and landscape architecture within the "Land Swap" areas of the EastLake Greens Sectional Planning Area (SPA) of the EastLake Planned Community. These guidelines supplement the Residential Design Guidelines adopted for the EastLake Greens SPA as a whole, with initial approval of the SPA plan in 1989. As a supplemental document, these guidelines do not repeat the information provided in the original guidelines but build upon the provisions of that document and details guidance for the "Land Swap" parcels which were recently added to the EastLake Greens SPA area.

II.4.2 DESIGN REVIEW PROCESS

II.4.2.1 Introduction

The design review process includes two integrated procedures: design review and approval by the master developer and review and approval by the City of Chula Vista. Essentially the process requires the builder to formulate the design for his parcel and review it with the master developer prior to formal application and review of final designs by the City. The City of Chula Vista requires Site Plan and Architectural Review, as well as Landscape Review.

Master Developer Review Process

The review requirements of the master developer are intended to ensure that the builder's intended product and designs meet the standards and criteria for the entire planned community. The items to be included in the builder's design submittal package to the Master Developer are covered by private agreements between the builder and developer.

Following acceptance of the builders schematic design, a continuing exchange of information will be expected as the design is finalized and the City's review process begins. Final, approved plans shall be provided to the master developer for his records.

City of Chula Vista Design Review Process

The requirements of the City are fairly typical and are further detailed below, but each builder should contact the City for current, specific requirements. The design review process with the master developer should be initiated prior to formal review by the City.

The standards and requirements for Site Plan and Architectural Approval shall be as provided for in the EastLake Planned Community District Regulations. Specific requirements for application and review procedures are published in the City's Zoning Ordinance.

The City has also published a "Landscape Manual" which describes the landscape review process and provides some guidelines for landscape design from the City's perspective. The Manual also includes specific standards for landscape and irrigation improvements.

Conceptual Master Plan Process

Each of the Land Swap parcels is relatively large and has the potential to be developed in multiple phases over an extended period of time. In order to assure high quality design and consistent site planning throughout that period, a Conceptual Master Plan shall be required whenever final designs are not submitted for an entire parcel. The purpose of the Conceptual Master Plan requirement is to allow diversification in spatial relationships, density, buildings, landscaping and open space through detailed site plan review, along with architecture and signs. This level of review allows the City to adopt specific conditions of approval and to tailor development standards to suit unique site conditions or development goals. However,

such evaluation requires a basic level of information regarding the entire development parcel, including those portions which may not be developed for some time.

Any project submittal which does not include the entire parcel (as identified on the Site Utilization Plan) shall include a Conceptual Master Plan for the entire parcel. Submittal to both the Master Developer and the City, as outlined above is required. The following guidelines are provided to encourage efficient submittal and processing of project design packages for the Land Swap Parcels.

1. Project specific boundaries within a parcel may vary in accordance with the pre-application consultation with the City Planning Director and the status of the Conceptual Master Plan, if existing. Any proposed project planning area should meet the following criteria:
 - a. The project planning area should be a contiguous area which: 1) can be adequately accessed from a public street; or, 2) be adequately accessed from a previously approved development area; or, 3) shall address temporary access, landscaping, etc., from a public street to the satisfaction of the Planning Director.
 - b. Any project plan area adjacent to a public street right-of-way shall include landscaping and entries design for the entire frontage of that street.
 - c. Each project plan area shall include the necessary parking to meet the off-street parking requirements of the proposed uses. Any proposal to implement shared parking within the project plan area, either in the current submittal or in a future submittal, shall be identified. It shall be the responsibility of the developer to inform all builders/users of the intention to utilize shared parking and of any limitations or restrictions on uses or activities associated with the proposed shared parking arrangement. Any shared parking proposal shall be consistent with appropriate guidelines and is subject to specific approval by the City.
 - d. The project plan area shall extend to any nearby parcel boundary unless it is demonstrated that another project plan area, consistent with these criteria, should more appropriately include the area.
 - e. The configuration of the project plan area shall not impede the implementation of the Conceptual Master Plan, if existing, in adjacent areas, in a manner consistent with the adopted policies and plans for the entire parcel.
 - f. Project plan boundaries are not required to correspond to legal lot lines. However, they should coincide with the edges of common area elements such as private drives, major landscape or hardscape features, or slopes.

2. Once an acceptable project plan boundary has been established, a Conceptual Master Plan (or revisions to an existing Conceptual Master Plan) which includes all of the parcel not within the project plan area shall be submitted with the detailed plans for the project plan area. The Conceptual Master Plan shall demonstrate the following throughout the parcel:
 - a. continuity in access and circulation patterns (including parking, trails, bicycle and pedestrian routes);
 - b. continuity in major landscape, hardscape, signing, color and material themes;
 - c. consistency in architectural design, building scale and orientation; and,
 - d. consistency with parcel level statistics, development standards, design guidelines and other adopted plans and policies for the EastLake Greens SPA.
 - e. At a minimum, the Conceptual Master Plan shall include skeletal depictions of the following for the entire parcel: circulation, major building locations and orientation, preliminary grading, landscaping, density/intensity statistics, parking, and pedestrian and bicycle access.
3. Once a Conceptual Master Plan is adopted with approval of the related project plans, future project plan submittals for the parcel shall include a revision to the master plan which demonstrates continued compliance per items 2a -d above, considering both the previously approved project and the proposed increment.
4. The requirement for a Conceptual Master Plan is in addition to the project specific plans required by the applicable standard design review process(es) of the City.

II.4.2.2 Zoning Administrator Design Review

The Zoning Administrator is authorized to consider and approve, disapprove or modify applications on several subjects as provided in Section 19.14.030 of the Chula Vista Zoning Code, specifically including: site, architectural, and landscape plan approval.

II.4.2.3 Design Review Committee

The Design Review Committee shall review plans as required by the EastLake II Planned Community (PC) District Regulations, and as provided for herein. They shall base their findings on the City's Design Manuals and these Design Guidelines. Refer to Sections 19.14.581 through 19.14.600 of the City's Zoning Ordinance for additional information.

II.4.2.4 Appeals

An appeal to the Planning Commission on a decision to the Design Review Committee may be filed within ten days after the decision as provided for in Section 19.14.583 of the City's Zoning Ordinance

II.4.3 COMMUNITY DESIGN CONCEPT

II 4.3.1 Community Character

The character of the EastLake Planned Community at the broadest level is established by the EastLake General Development Plans and subsequent SPA Plans. During the preparation of these plans, numerous community design features were established or considered. As individual parcels are developed, attention to these pre-established criteria is necessary to successfully execute the intended design. This section is intended to describe and promote the design features to be implemented in the "Land Swap" of the EastLake Greens SPA and provide guidance for consistent detailed design.

The primary SPA Plan features which influence the character of the EastLake Greens neighborhood are the land use and circulation patterns (see Site Utilization Plan Exhibit 1) and the golf course which is internal to the majority of the Greens residential neighborhood. The Land Swap area is located away from this internal feature and does not relate to it in any significant way. It is, however, significantly influenced by the community Activity Corridor along EastLake Parkway and adjacent to the future SR-125 alignment. The Activity Corridor in the location of several community level service and activity centers such as the Village Center retail site, EastLake High School, Community Park and major public/quasi-public facility sites. This concentration of non-residential and residential support uses continue along EastLake Parkway, north of Otay Lakes Road, in the EastLake I SPA. The Land Swap adds the FC-1 commercial site and R-9 multi-family residential site to the southern end of the corridor and the PA-1 commercial site west of the SR-125 alignment on the south side of Otay Lakes Road (see Community Structure Exhibit 2).

For the Land Swap parcels the most significant design influences are the major streets and highways adjacent to them and adjacent existing or planned land uses.



Parcel No.	Attached (A)* Detached (D)*	Density Range	Acres	Target Density	Target Units
RESIDENTIAL					
R-1	D	0-5	19.7	2.7	54
R-2	D	0-5	14.7	2.7	40
R-3	D	0-5	21.8	4.5	99
R-4	D	0-5	24.0	4.8	114
R-5	D	0-5	23.0	4.6	105
R-6	D	5-15	17.4	4.4	76
R-7	D	5-15	10.7	5.6	60
R-8	D	5-15	17.5	5.5	96
R-9	A/D	5-15	65.0	11.5	750
R-10	D	5-15	34.6	7.1	246
R-11	D	5-15	14.6	6.0	87
R-12	D	5-15	18.2	5.1	92
R-13	D	5-15	22.6	6.3	142
R-14	D	5-15	11.4	7.5	86
R-15	D	5-15	11.9	5.4	64
R-16	A/D	5-15	10.9	10.0	109
R-17	A/D	5-15	28.6	7.5	214
R-18	A/D	5-15	9.9	5.5	54
R-19	A/D	5-15	14.4	11.0	158
R-20	A/D	5-15	14.3	7.6	109
R-22	A/D	5-15	11.7	11.9	139
R-23	A/D	5-15	20.3	3.5	72
R-24	A/D	5-15	5.1	9.4	48
R-25	A/D	5-15	7.9	9.9	78
R-26	A/D	15-25	15.3	17.0	280
R-27	D	0-5	9.2	4.3	40
R-28	A/D	5-15	6.1	8.4	61

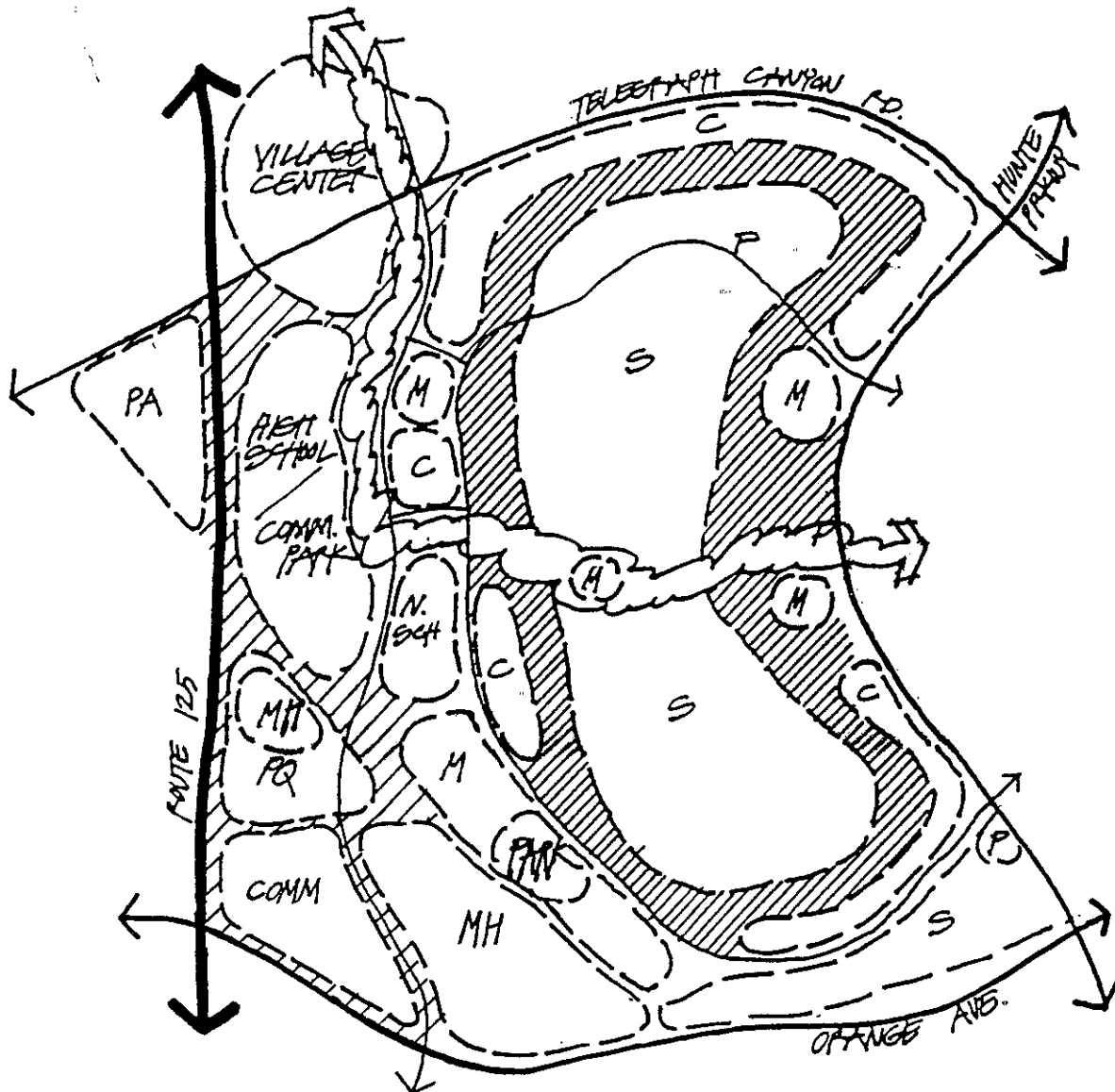
Sub-total Residential	480.8	7.2 avg.	3443
NON-RESIDENTIAL			

VC-1	Village Center	19.6
FC-1	Freeway Commercial	50.7
PA-1	Prof. & Admin.	24.7
PQ-1	Public/Quasi-Public	10.3
PQ-2	Public/Quasi-Public	15.8
S-1	High School	49.2
S-2	Elementary School	10.0
P-1	Community Park	15.1
P-2	Neighborhood Park	3.0
P-3	Neighborhood Park	11.8
P-4	Neighborhood Park	4.5
P-5	Neighborhood Park	3.0
OS-1	Open Space	2.9
OS-2	Open Space	1.1
OS-3	Open Space	1.9
OS-4	Open Space	7.8
OS-5	Open Space	6.5
OS-6	Open Space	4.9
OS-7	Open Space	5.9
	Golf Course	160.4
	Major Circulation	105.0

Sub-total Non-Residential	514.1		
PROJECT TOTAL	994.9	3.5	3443

* A/D symbolizes that certain detached housing is permitted.
Note: Refer to tract maps for precise acreages and parcel boundaries.

Community Structure



GOLF COURSE



PUBLIC PARK



PRIVATE PARK



MULTI-FAMILY NODE



CLUSTER HOUSING EDGE



SINGLE FAMILY CORE



ESTATE HOUSING EDGE

EASTLAKE

A PLANNED COMMUNITY BY EASTLAKE DEVELOPMENT CO



Cinti

Exhibit 2

II.4.3.2 Landscape Concept

The purpose of the Landscape Concept is to provide a comprehensive framework for individual site landscape plans. It will assure that all individual projects will conform to an overall landscape scheme which will result in a consistently landscaped community.

The General Landscape Plan, Exhibit 3, provides a general design framework which allows latitude and flexibility to each individual project while maintaining the overall goals and objectives of the community.

The intent of the landscape concept is to reinforce the design pattern established by the Site Utilization Plan. This pattern consists of the predominate residential district and an recreation/greenbelt corridor along with a series of paths, edges and landmarks. Dominant trees have been selected to create distinct identities and visual continuity.

1. District Concept - Each district or neighborhood shall have a dominant tree.
2. Paths - The hierarchy of paths is as follows:
 - The thematic corridor provides the common thread to link the various community elements together. The thematic corridor will have its own dominant tree.
 - Major thoroughfares (e.g., Otay Lakes Road, Hunte Parkway, and Olympic Parkway). A separate dominant tree will be used in the median

Supplemental trees may be introduced to provide contrast and a transition into surrounding areas. This landscape approach will provide strong visual directions and connections throughout the site, while providing the necessary contrast to create an interesting experience as one travels through the community.

3. Edges - Edges will be strongly defined by landscaping. This will create the appropriate delineation of one district or area to another.
4. Entries - These are common points of entry and significant intersections. The hierarchy of entries is as follows:
 - Community Entry
 - Neighborhood Entry

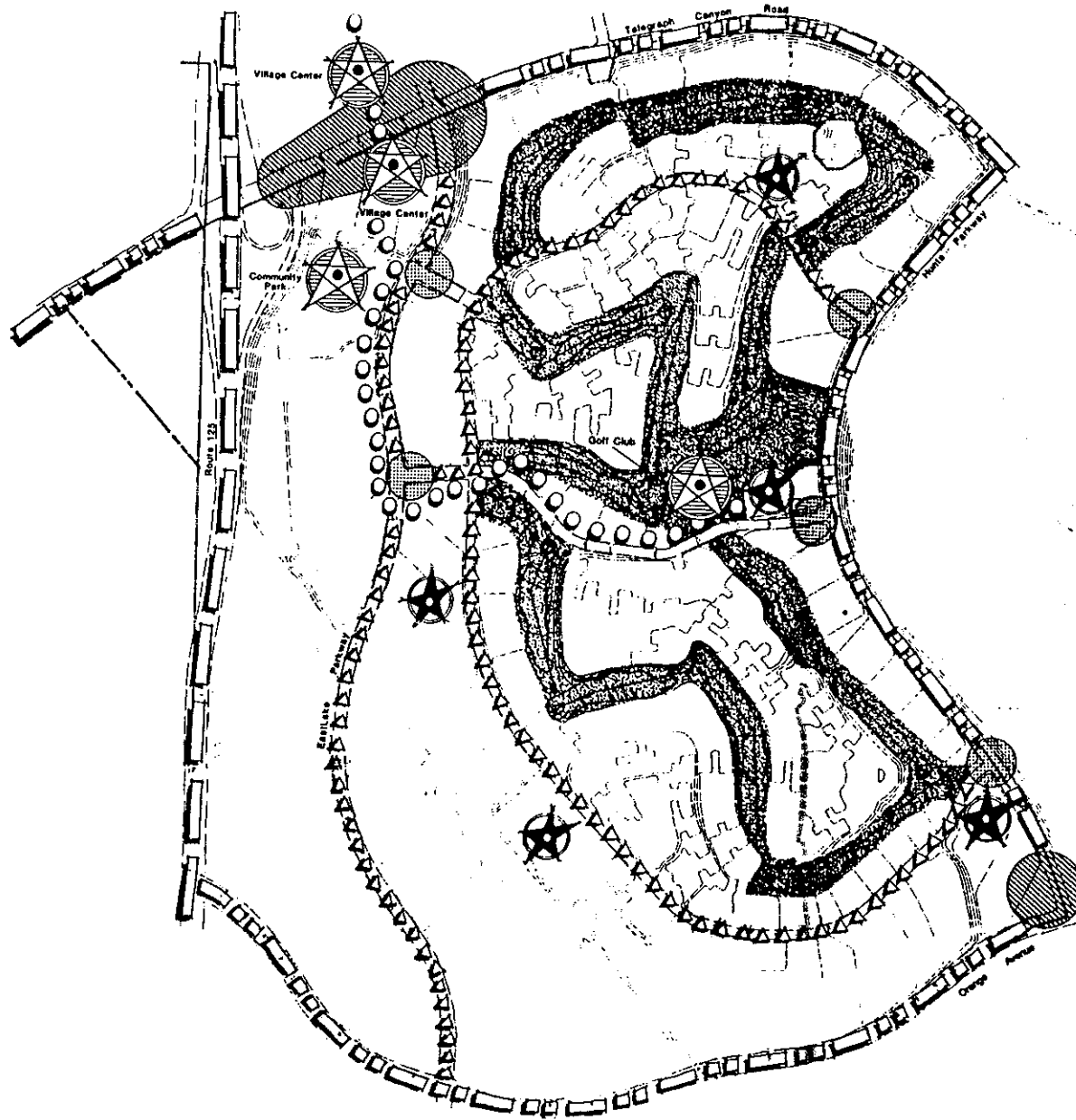
A tree which differs from the adjacent path and district trees will be to provide a distinct accent statement and sense of arrival at entries.

5. Landmarks - Each landmark, whether major or minor, will have a distinct landscape character (similar to the district concept). As an example, all parks may have a

common theme tree, so that parks are easily recognized and highlighted throughout the community.

The entire EastLake Community shall be designed to include a well-balanced landscape palette. Plant material intensity classifications will vary from highly manicured areas to naturalized and native areas. These classifications are mapped in Exhibit 4, Landscape Intensity Classifications.

General Landscape Plan

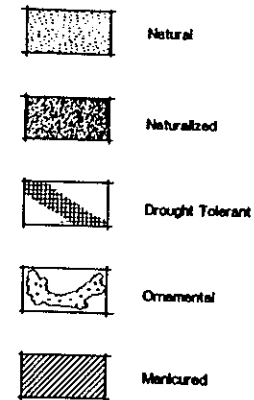
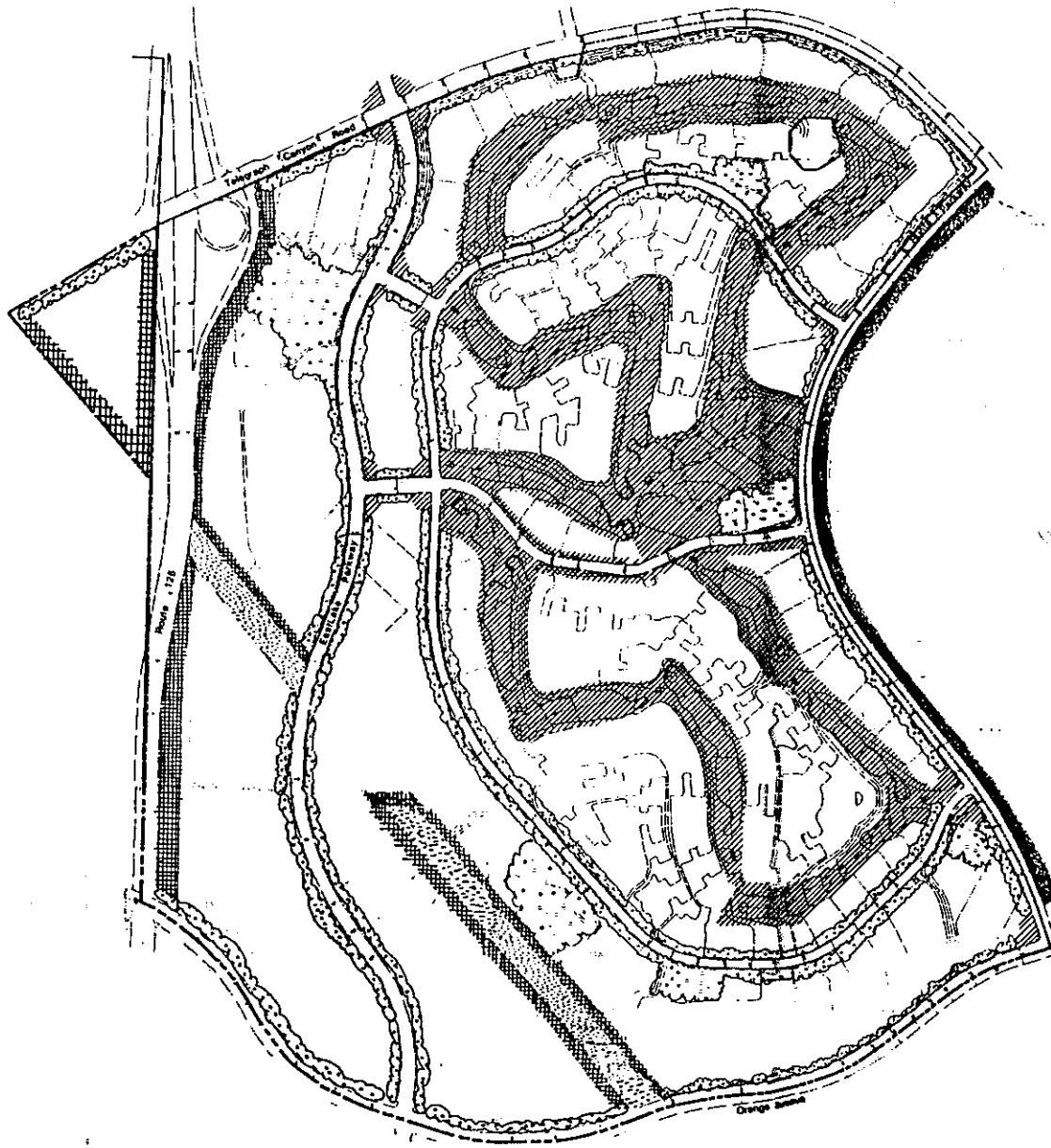


- Paths**
- Route 125
 - Thematic Corridor
 - Arterials (Scenic Buffer)
 - District Interior Streets
- Entry/Edges**
- Community Entry
 - Neighborhood Entry
- Landmarks**
- Major
 - Minor
- Special Landscape Zone**
- Golf Course

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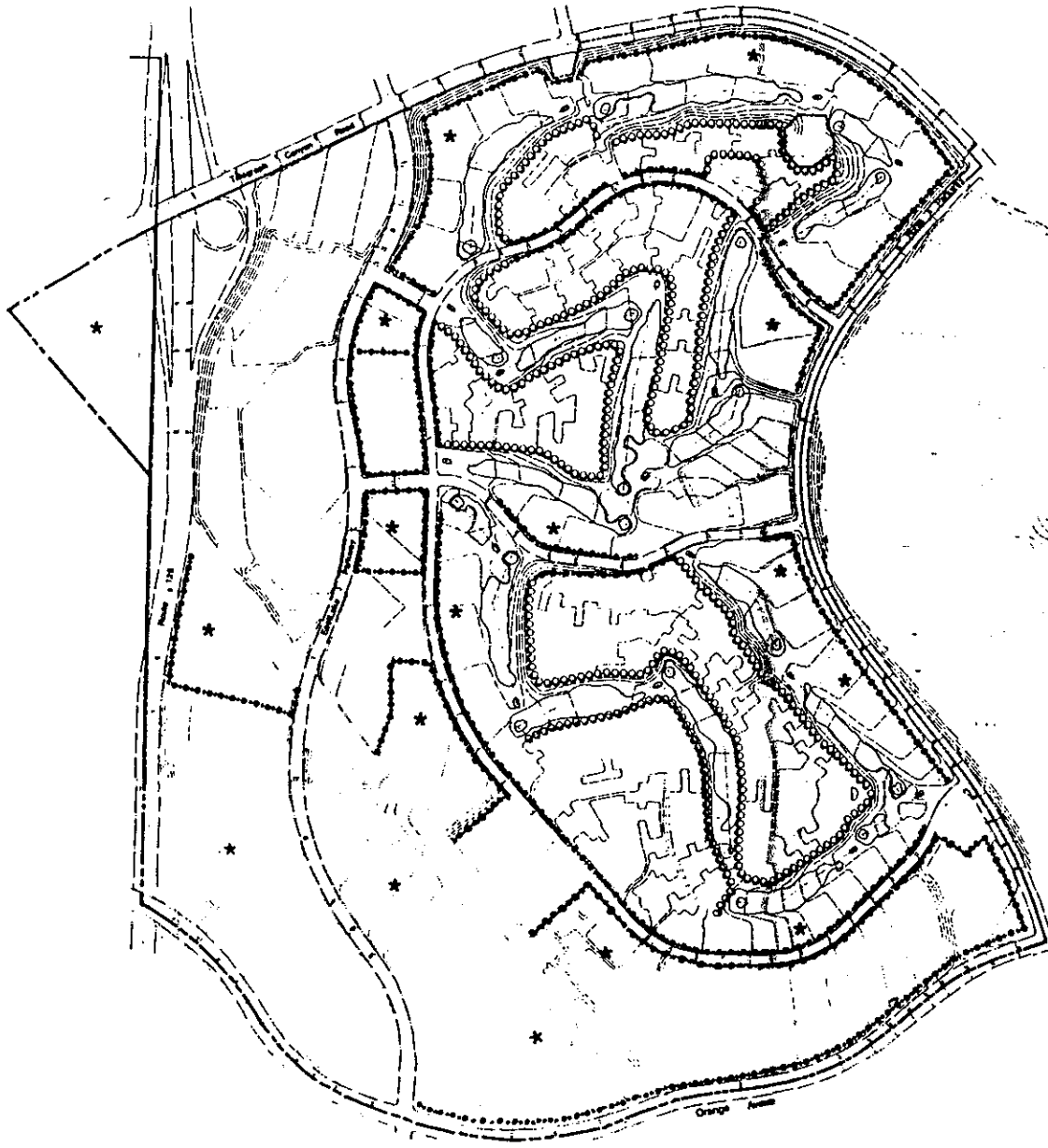
Landscape Intensity



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Fencing Plan



- 000000000000 Golf Course View Fence
- 0-0-0-0-0-0-0-0 Community Theme Fence
- * Fencing to be established by Site Plan Review process

Note: Refer to SPA text for Design Standards for fencing. Fencing types may be combined and fencing lines varied to create interest. Other fencing will be established by Tract Maps and Site Plans.

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Exhibit 5

II.4.3.3 Community Fencing

One of the most dominant visual elements of a community is its fencing. It is essential for this element to be aesthetically pleasing and provide continuity in design to unify the various architectural styles within individual neighborhoods into a single community theme.

Fences and walls can serve many functions including security, identity, enclosure, privacy, etc. However care must be exercised in the design of fencing in order to avoid long, boring or awkward sections of fencing. It is intended that the available fencing types be combined to attract interest and provide variety. Using a combination of open and solid styles, changing angles and directions is encouraged. Long straight runs of a single fence style is monotonous and inappropriate.

The elevations of the EastLake Planned Community fencing program are sketched below. These are to be used for all fencing indicated on the Fencing Plan. Fencing for multi-family residential and non-residential projects are not specified on the Fencing/Entries Plan (Exhibit 5), because the placement of such fences will be a design detail of each individual site plan in these areas. However, any fencing proposed in these residential neighborhoods shall use the same fencing style as indicated for the single family detached areas. The pilaster serves as the unifying design element among the different fence types and will establish the theme for community fencing.

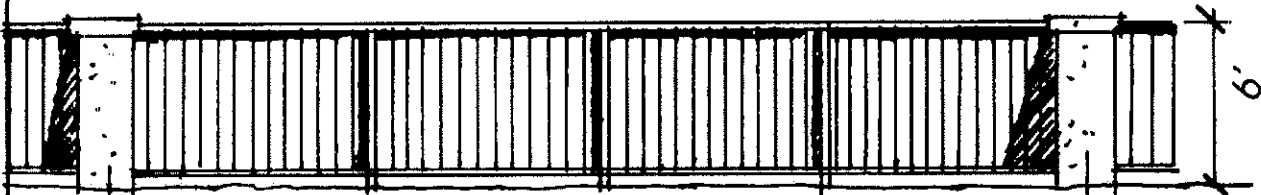
Each type of fence serves a particular purpose. The sound wall is a plaster coated masonry wall intended to provide noise mitigation and privacy. The solid theme wall is used where visual privacy is needed, but protection from the noise of arterial highways is not important. This wall uses a pilaster similar to the sound wall, but may use fence boards between. An open wall is used where a physical barrier is needed, but a view needs to be preserved. Within EastLake, wrought iron fencing between the theme pilasters is proposed as the open wall. Pilasters should be provided at each property line intersection or at a maximum spacing of approximately 50 feet.

Exterior fences should be designed and placed according to the following guidelines:

1. Walls should be made of a textured surface material that is compatible with the design of the neighborhood area.
2. The monotony of a long wall should be broken by visual relief through periodically recessing the wall or constructing pilasters.
3. Landscaping, such as trees, shrubs or vines, should be used to soften the appearance of the wall.
4. Walls which serve as a subdivision exterior boundary should be up to six feet in height from the highest finished grade.
5. Walls used as rear or side yard walls should be constructed up to six feet in height depending upon the conditions that exist.

Fencing Types

Possible wood fencing

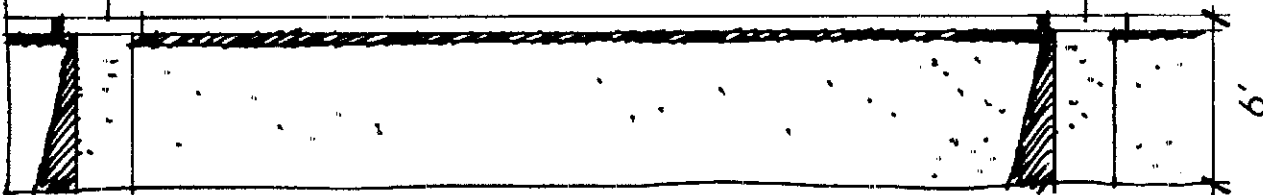


SOLID THEME

Visual privacy

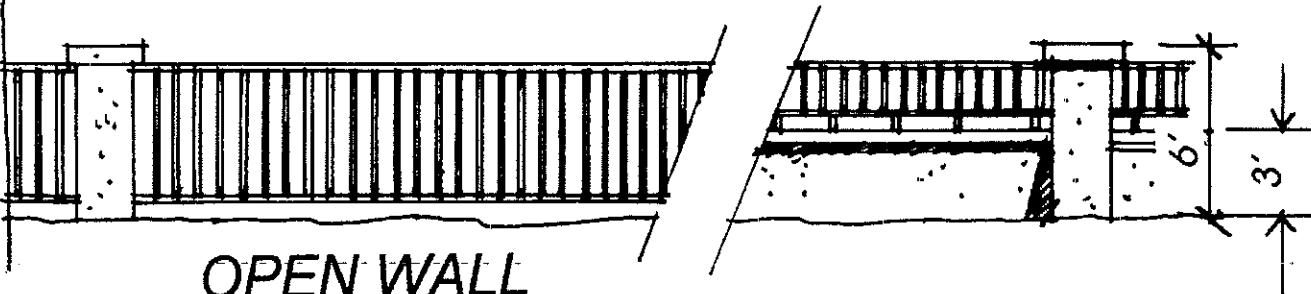
*50' maximum**

** Pilaster at all property line intersections
Typical pilaster spacing on all styles*



SOUNDWALL

*Plaster coated masonry
Noise mitigation and privacy*



OPEN WALL

View preservation

6. Combined solid fencing, walls and open fencing may be used to create interest. Masonry walls are required only where necessary for noise attenuation.
7. Fencing design should avoid long continuous runs. Jogging the fence line to avoid monotony is encouraged.
8. Earth berms to substitute and supplement the fencing should be used whenever practical.
9. Sound wall fencing, where required, should be used to mitigate adverse noise impacts on residential units.
10. Landscape planting should be used to supplement and soften fencing and obscuring long lengths of fence with vines and shrubs is encouraged.

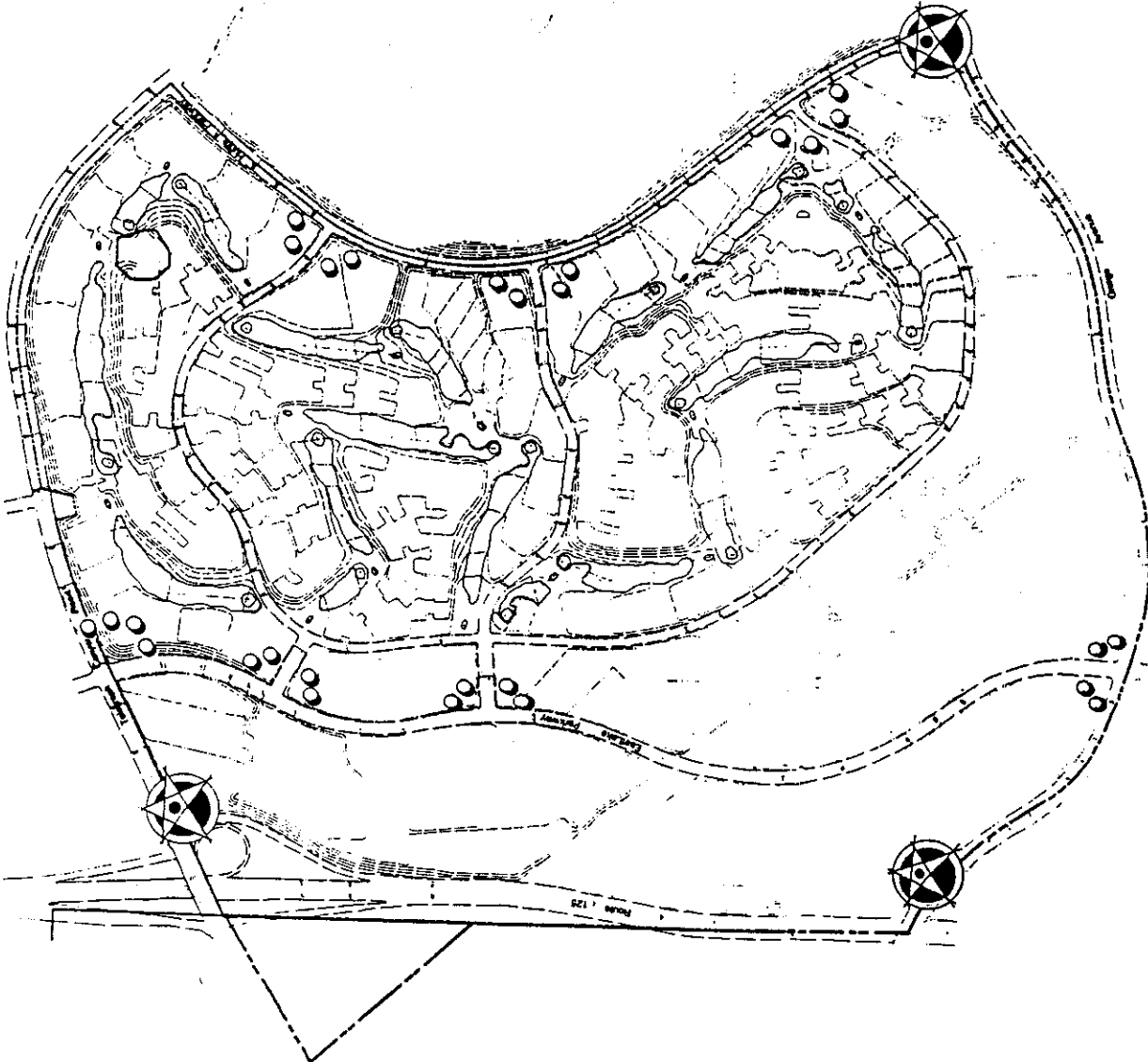
II.4.3.4 Community Signing

The purpose of a planned sign program is to provide a continuity of design which will contribute to an integrated, well-planned, high quality environment. All signs with the EastLake Greens SPA will be designed and constructed in accordance with the standards of the comprehensive sign program which has been prepared for the EastLake Planned Community. Community and neighborhood entry sign locations are identified in Exhibit 6, Signage Plan.

Permanent signs include:

1. Community Entry - Entry sign should be a large scale, monument type sign, creating a major statement. Materials used should be compatible with landscape and hardscape elements. Entry sign could be illuminated.
2. Neighborhood Entry - Neighborhood entry sign should relate its use of materials and styling to the neighborhood thematic treatment.
3. Identification Sign (for parks, libraries, schools, etc) - Sign should be low key, monument type sign, with single or double face. Materials will be consistent with the thematic treatment for the major neighborhood or district in which it exists.
4. Street Name Sign - A sign to identify street names and inform the viewer, through symbolic graphics, that it is a street within EastLake. The EastLake theme logo, colors, and letter-style will be used.
5. Community Trail Sign - A sign to identify and direct traffic, vehicular and pedestrian, to special community trails such as bicycling and jogging. Form should be small scale, freestanding, consistent with community signs.

Signage Plan



Community Entry Sign



Neighborhood Entry Sign

Note: Monument signs are proposed to be located at the corners of the site. Open space for establishment of the monument signs.

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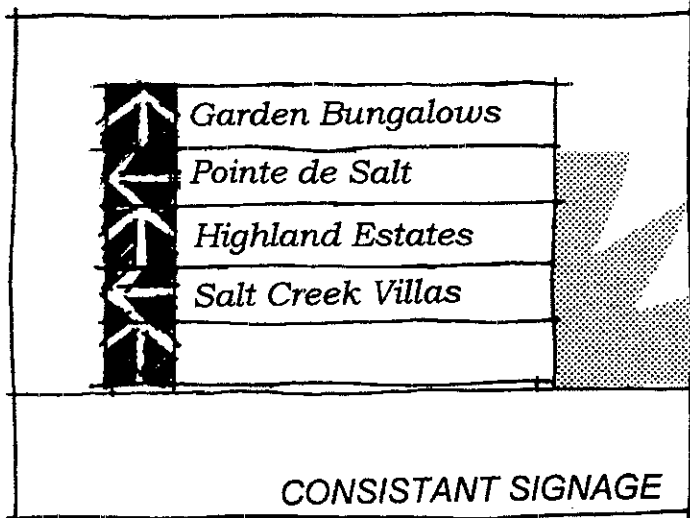
Temporary signs will be used to identify and direct traffic to specific neighborhoods and products during construction and sales periods. These signs will be subject to permit approval for specified periods of time.

Temporary signs include:

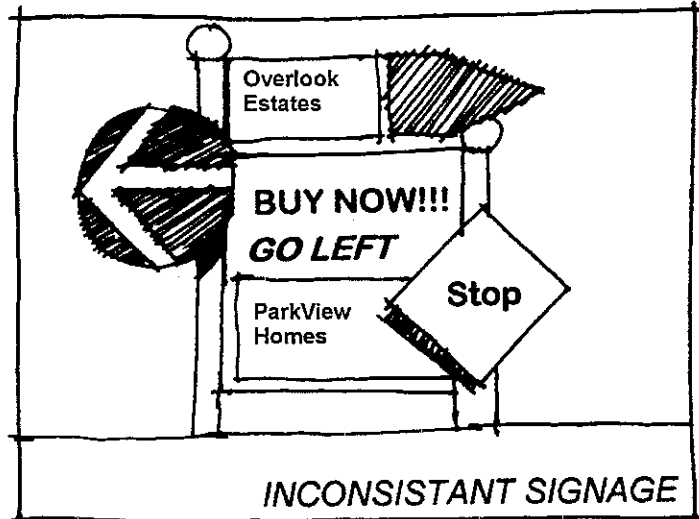
1. Neighborhood/Product Directional Sign - A sign to direct vehicular traffic to specific neighborhoods and/or products in the context of the merchandising program. Constructed of painted plywood panels on wood support posts.
2. Product Identification Sign - A sign to identify a specific residential product, sales complex or information center.
3. Secondary Directional Sign - A small sign to direct the viewer to specific areas within a product such as parking, sales office and models. Consisting of painted plywood panel(s) on wood support posts. Installed with bottom of sign not more than 12 inches above finished grade.
4. Future Facility Sign - A sign which informs the viewer, through symbol and verbal reinforcement, of the various future building sites in EastLake indicating opening dates, building names and phone numbers. They consist of painted plywood sign panels supported on wood posts.

Graphic and construction standards for each of these sign types have been specified by the Master Developer. The following illustrations provide some common sense guidance in the design of signs; additional, more specific sign regulations will be implemented by the master developer. Within the EastLake II PC Regulations, Section VII - Comprehensive Sign Regulations should be consulted for specific sign restrictions (e.g., sizes, permit requirements, prohibitions, etc.).

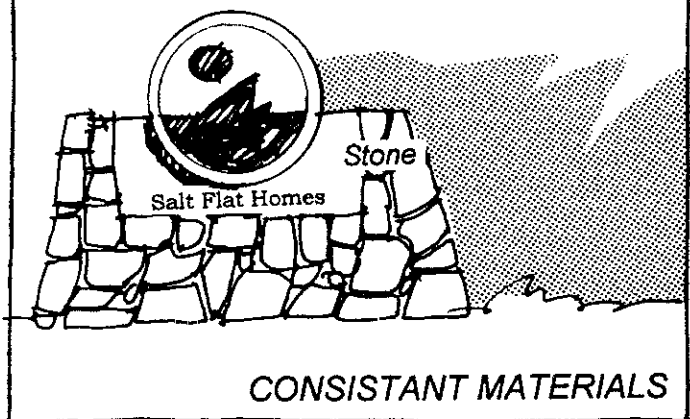
THIS



NOT THIS

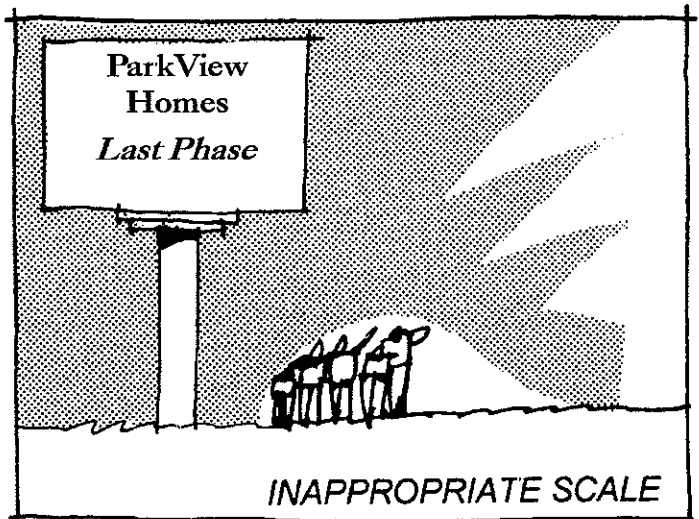
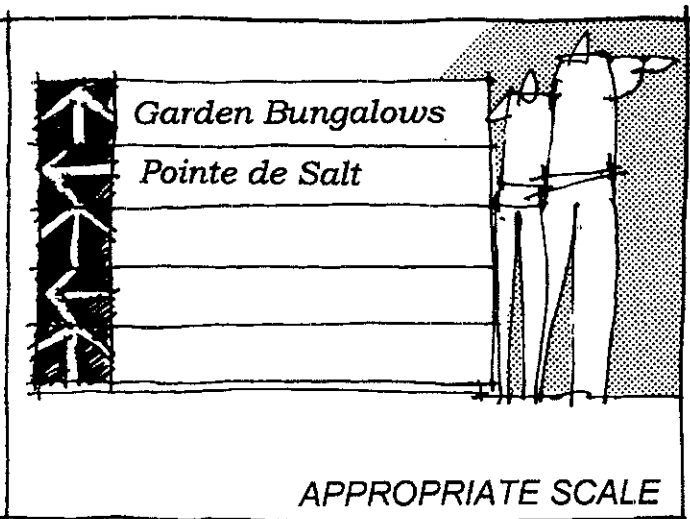
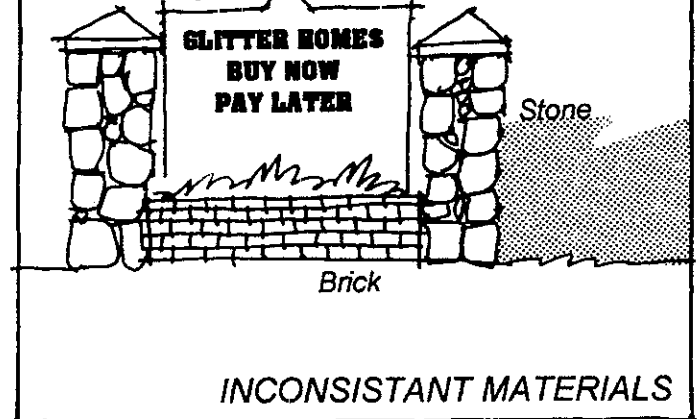


Sandblasted painted wood sign



Plexiglas

Concrete

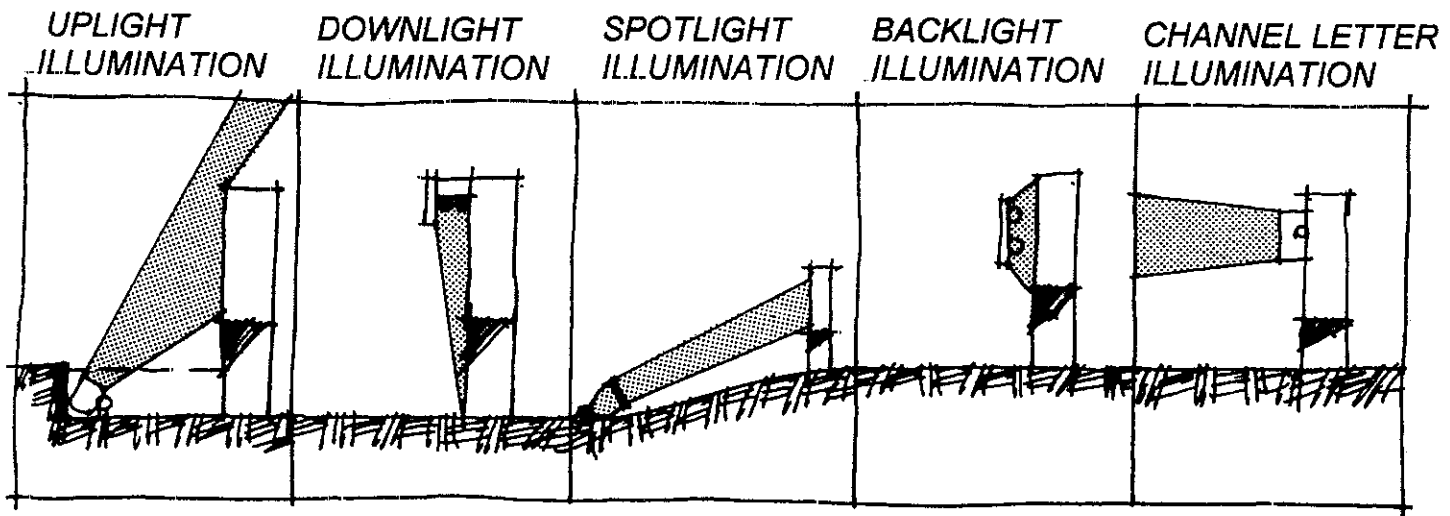


II.4.3.5 Community Lighting

The design issue of "lighting" includes street lighting, as well as, building and landscape accent lighting, and sign illumination. Three basic principals should be considered in the provision of lighting:

1. Street lights should provide a safe and desirable level of illumination for both motorists and pedestrians without intruding into residential areas.
2. Lighting fixtures should relate to the human scale especially in pedestrian areas.
3. Lighting and lighting fixtures should complement the design and character of the environment in which they are placed.

All street lighting shall conform to City standards or an approved theme lighting program, and shall be approved by the City Engineer.

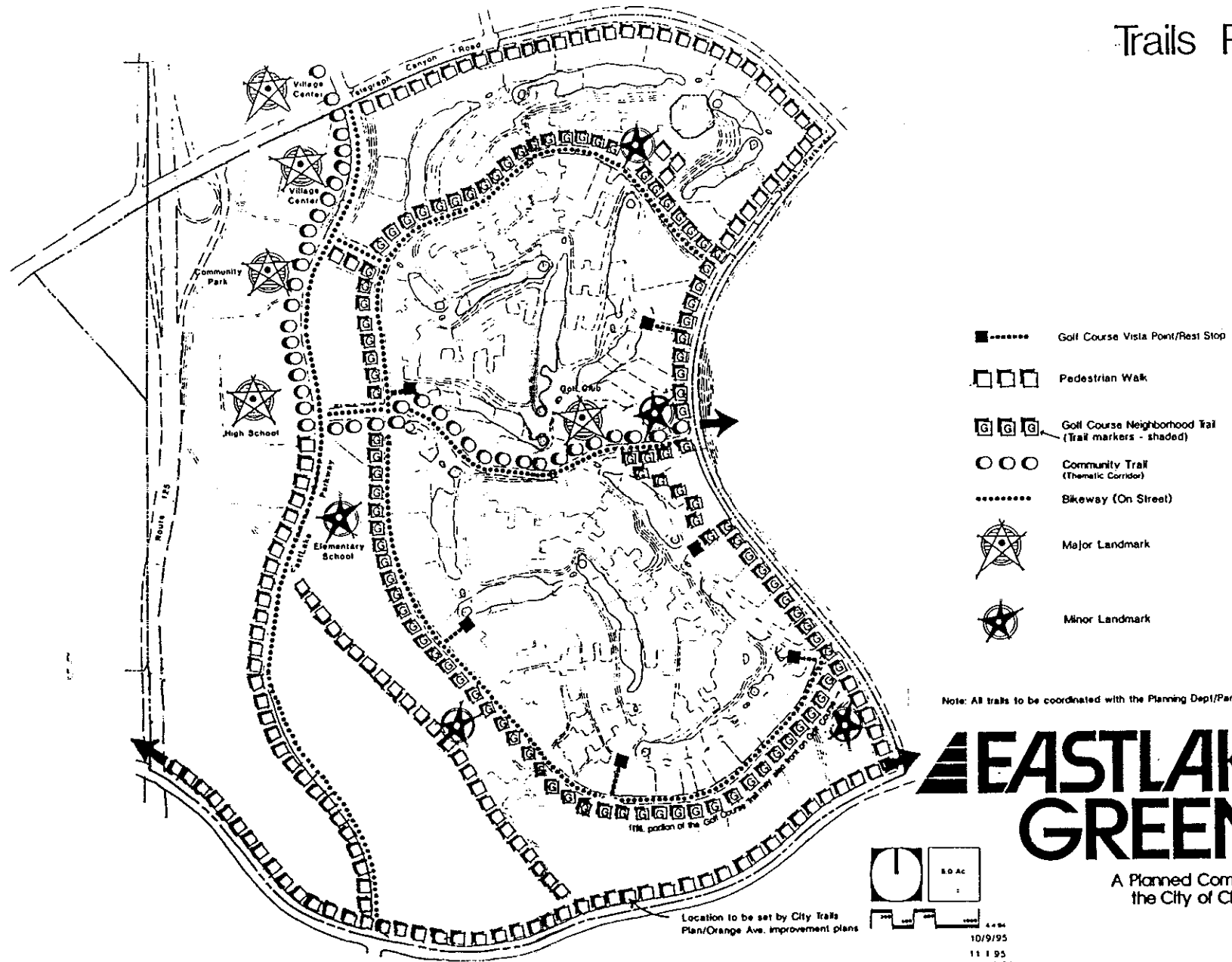


Lighting for community facilities and recreation areas shall be considered as an element of Site Plan Review. Any such lighting which will illuminate a residential area past the hour of 10:00 p.m. shall be clearly identified on the site plan.

II.4.3.6 Community Trails

The major EastLake Community Trail (thematic corridor) which extends through the developed portion of the EastLake Planned Community does not affect the Land Swap parcels. However, a bicycle route and pedestrian walk will be extended along the edges of the FC-1 and R-9 parcels (see Trails Plan Exhibit 8).

Trails Plan



II.4.3.7 Community Entries

Entries serve two primary purposes. The first is informational; they identify the community or neighborhood. To this end, entry signs must be clearly readable to the motorists and not so overly sculpted and landscaped that their basic message becomes obscured.

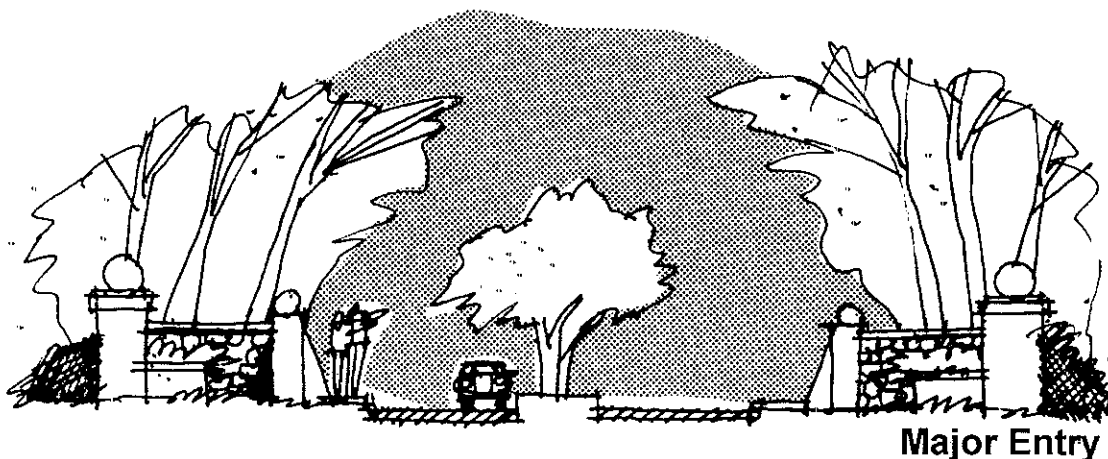
The second purpose is to provide unifying design accents throughout the community. If each project or neighborhood attempted to compete for attention via their entries, the overall unity of the community would be decreased. Therefore, there will be a common design treatment for all entries to reinforce the overall sense of community.

Entry monumentation will be provided by both the master developer and individual builders. There are two primary types of entries: major entries and minor entries, and gated entries. The approximate location of these entries is depicted on the Signage Plan Exhibit 6.

Major Entries

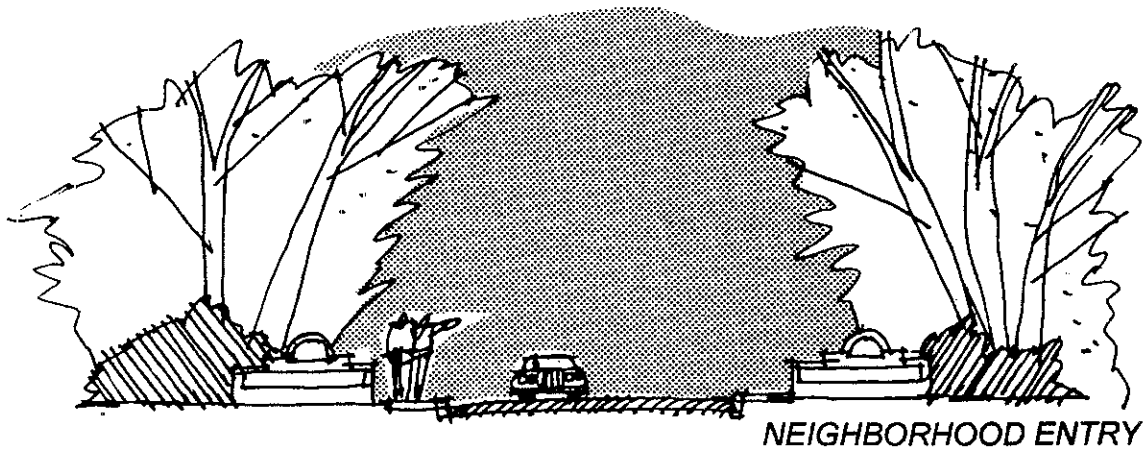
Major entries are those which provide access to the entire EastLake Community. Eventually, one such entry point will be located at the intersection of Hunte Parkway and Olympic Parkway which is a southern entry to the EastLake Community. Although the Otay Ranch property to the south is not currently developed and construction of the entry may not be justified yet, the eventual placement of entry monumentation at this location should be planned and adequate space reserved. A typical entry with special monumentation and landscape planting, as illustrated below.

These entries should be designed to create a portal and convey a sense of arrival. They will inform the motorist that this is the entrance to the EastLake Planned Community. They will include design features that are consistent with community fencing materials. Entry design should flow with the terrain and appear to be an extension of adjacent land forms.



Minor Entries

These are the entries to the EastLake Greens neighborhood. They are to be designed as an enhanced extension of the community fencing detail. These will be limited to the major entry points of the neighborhood and will provide visitors with the neighborhood identification.



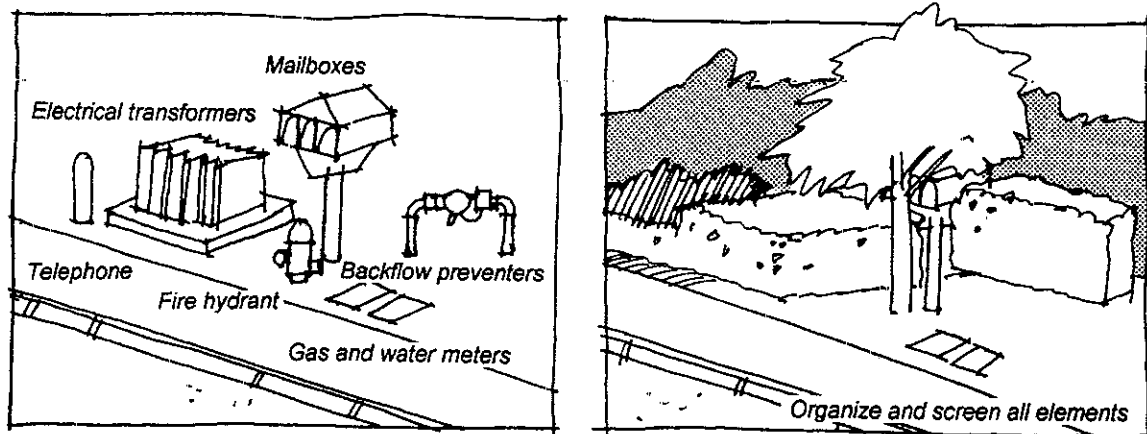
II 4 3.8 Street Furniture

Street furniture includes all of the various objects generally found adjacent to the street such as: fire hydrants, post boxes, bus benches, utility company boxes, sprinkler and traffic signal control boxes, etc. Two principal design issues should be considered in regard to these objectives. The first is their overall aesthetic appeal or their contribution to the overall design of the community. The second issue is the location of street furniture in relation to the sidewalk travelway.

In the majority of cases, street furniture is designed for basic utility, ease of maintenance, and service longevity. Because of this, and the fact that they are located for easy service access, street furniture can be intrusive and detract from the aesthetic quality created by other design elements. The often conflicting requirements of the project designer and service provider necessitate close coordination and cooperation between the builder and service company in regard to the installation of such items.

Design standards vary with the various street furniture items and the agencies involved. In some cases the standards are fairly strict, while in others, ample room exists for negotiation. As an example, the Postal Service requires ganged, curb-side post boxes for new single family detached developments. This may be provided by several rural-type boxes at a single location, or the installation of Neighborhood Delivery Collection Box Units (NDCBU) supplied by the Post Office. However, the facade or structure surrounding these boxes can be designed to suit any motif, allowing the designer to integrate the required unit into the character of the neighborhood. Similar post box standards have been established for other residential and commercial/industrial uses. As an example of rigid requirements, the standards for fire hydrants are strictly applied due to their importance to the safety of residents.

When designing for street furniture, every effort should be made to reduce potential adverse aesthetic impacts. Techniques to be considered include landscape screening, construction of a facade, use of neutral or complimentary colors, and undergrounding, where possible.



PARKWAY FURNITURE II 4

3.9 Scenic Corridor Guidelines

Three off-site roadways should be considered scenic corridors during the project design process for the Land Swap parcels in EastLake Greens. These are Otay Lakes Road, SR-125 and Olympic Parkway (Orange Avenue). Views from these streets to development areas will be comprised mainly of perimeter fencing and/or slopes and some building edges or roofs. In such visible areas, attention may need to be given to side or rear building elevations and, potentially, roof appearance. Whenever feasible, special slope landscaping and/or additional landscape buffer/screening should be the first priority to minimize unattractive views of development from these highways.

II.4.3.10 Specific Design Guidelines

See Individual Parcel Design Criteria exhibits for specific guidance in the design of each development parcel.

II.4.3.11 Edge Treatment

The interfaces between uses, or "edges", are extremely important in creating an overall harmony in community design. Site planning and landscape design should not terminate at the boundary of an individual parcel, but should make a design connection with the adjacent use. Only one significant edge condition arises with the Land Swap parcels.

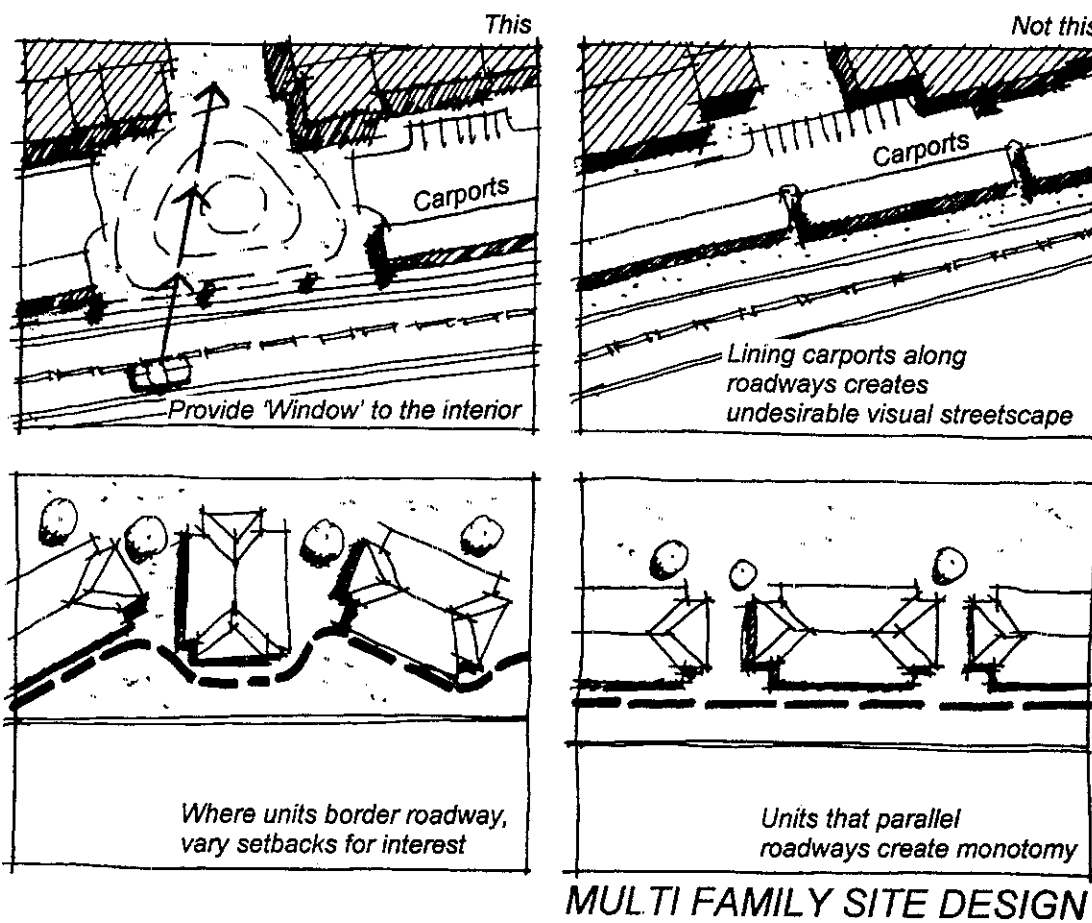
Utility Easements

Major water and power utility corridors are located adjacent to two of the Land Swap parcels. These corridors represent both an opportunity and constraint. The opportunity arises from the open space characteristics of these easements which can also incorporate neighborhood trail linkages. The constraint lies in the limitations on the types of landscaping which can occur, particularly within corridors with overhead power lines. The fundamental design concept for these edges is to blend the site landscaping with the typically natural or naturalized landscape of the utility easement. Landscaping should blend and transition from the development site into the easement, avoiding a "hard brown edge" at the site/easement interface.

II.4.5 RESIDENTIAL DESIGN GUIDELINES: MULTIFAMILY

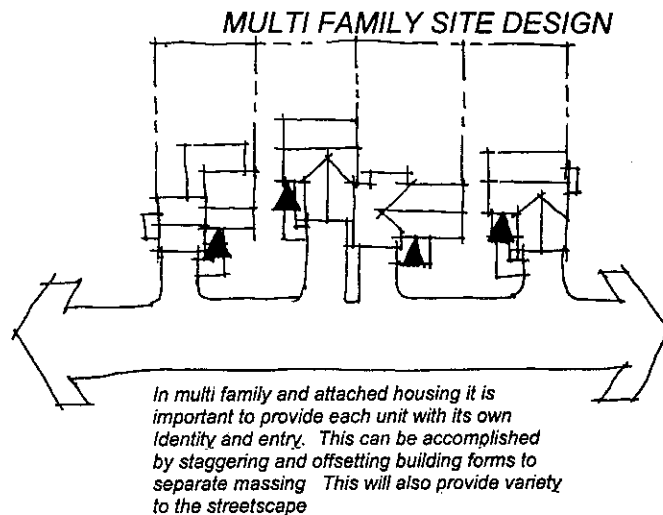
The Land Swap portion of the EastLake Greens SPA includes Parcel R-9 which is designated for both attached and detached residential products within a density range of 15 to 25 du/ac. Design guidance for multi-family residential development is provided in Chapter 6 of the previously adopted Residential Design Guidelines for the EastLake Greens SPA which should be referenced for additional details. Following a review of basic design concepts, a parcel summary consistent with the format of those guidelines is provided below for the "new" Land Swap parcel, Parcel R-9.

Generally, site plans for attached products should consider the following issues: indoor and outdoor privacy, solar access, building appearance, and overall project design appeal. Buildings should be oriented to create courtyards and open space areas, thus increasing the aesthetic appeal of the site. Building architecture should incorporate a variety of units, building sizes and heights, and color accents. Building facades should include relief to avoid a monotonous appearance. Stairwells should be covered and integrated into the overall building design, and private spaces such as patios or balconies are encouraged for each unit. Another design consideration is the need to buffer group parking areas from the street and adjacent properties.



Various types of multiple family units and single-family attached areas are planned for EastLake Greens to provide a greater variety in design and life-style preference. The following unit types may be proposed in the R-9 parcel within EastLake Greens:

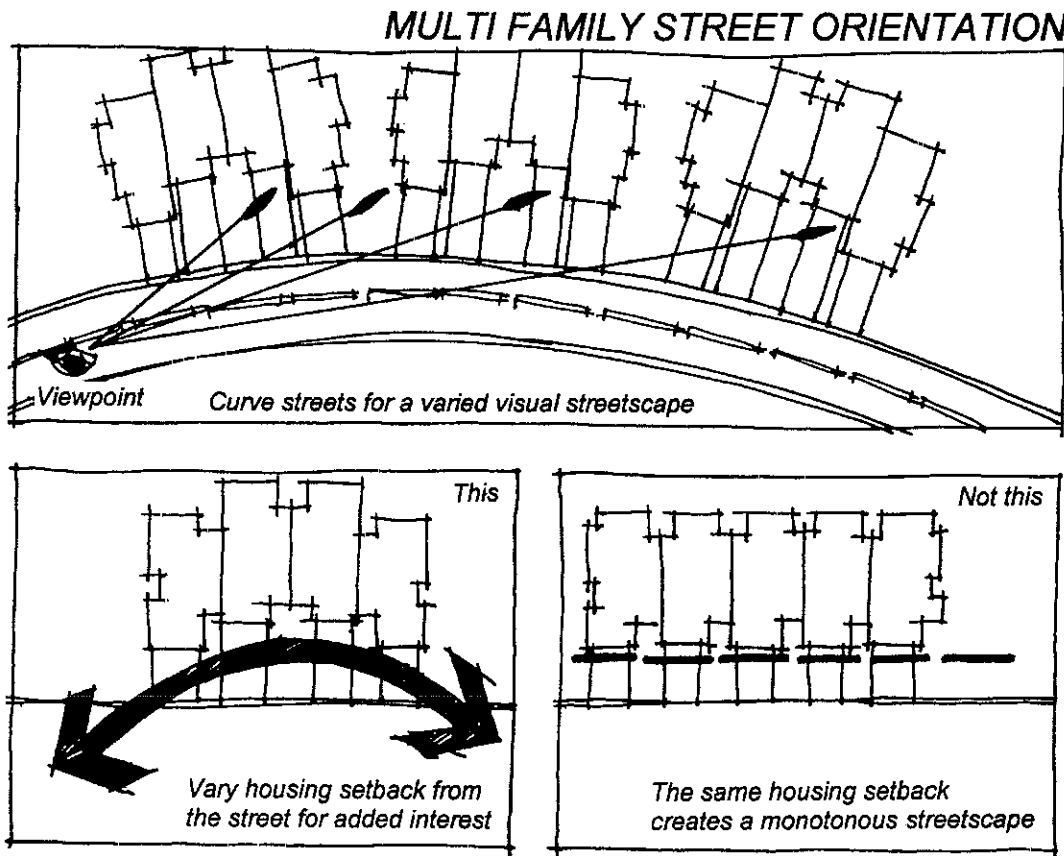
- Zero-Lot Line Homes: One or two story detached or attached homes where either a single structure is built on a single side lot line or two structures share a single wall astride a side lot line, thus increasing the usable side yard area.
- Patio Homes: Attached and detached homes clustered in a courtyard fashion, often in zero-lot line ownership and individually oriented toward an outdoor patio area.
- Town Houses: One and two story attached units in buildings with 4 to 8 or more units that are the traditional "Southern California Condominium." These may have individual fee ownership lots or condominium ownership.
- Flats: The traditional apartment-type building where an individual units is typically situated on a single level and may have others above or below.



Building orientation in multiple family housing should consider indoor and outdoor privacy, solar access and overall aesthetic appearance:

1. Buildings should be oriented in such a way as to create courtyards and open space areas, thus increasing the aesthetic appeal of the area.
2. Building design should incorporate variety in the type of materials, colors, units, heights and facades.
3. Textured materials such as stucco, rough sawn wood and split faced block are encouraged.

4. Buildings with roof overhangs are encouraged to give a traditional residential appearance.
5. Building facades should include relief to avoid a monotonous line.
6. Private spaces such as patios or balconies are encouraged for each unit.
7. Solid walls or fences, not less than 5 feet in height, should be provided along property lines adjoining access or parking areas, except where adjacent to another multiple family housing area.



Individual Parcel Design Criteria

The product descriptions, lot and pad sizes, and parcel plan features described in this section are those envisioned at the time of SPA Plan preparation. These designs and specifications are subject to change and refinement in conjunction with the tentative tract map approval, and are subject to such approval. Any alternative parcel plans which are prepared should respond to the listed planning and design criteria, implementing the techniques and solutions described in the overall design guidelines. All parcel plans shall conform to the development standards and other provisions of the EastLake II PC District regulations adopted by the city of Chula Vista.

Parcel R-9: This medium-high density development parcel is located at the southern end of the Activity Corridor, bounded by EastLake Parkway on the west, utility easements on the east, and Olympic Parkway on the south. It is a large site (58.1 acres), targeted for 750 units with an average density of 12.9 du/ac. Because of this large size, it will likely be developed with multiple products in multiple phases. In order to assure, consistent and high quality planning and design throughout the parcel, it will be subject to the "Conceptual Master Plan" process described in Chapter 2.

A significant site planning issue for this parcel is the utility easement/trail corridor extending the entire length of the eastern edge of the parcel. Providing strong connections through this area is critical to connecting this parcel to the majority of the residential neighborhood and local amenities in the Greens neighborhood to the east. Another edge issue is the landscape buffer along the southern edge adjacent to Olympic Parkway, a scenic corridor.

Internal circulation and parking areas should be planned to avoid confusion and congestion. Parking location and design will be dependent upon the type of unit proposed and will need to be determined in conjunction with the Conceptual Master Plan process. Direction and identification signs should be designed to be functional and to blend with the architectural character of the development. Circulation for oversized emergency and service vehicles is also an important design criteria.

Parcel R-9
Design Issues Summary

Product: Mixed (Attached & Detached allowed) (12.9 du/ac average)

Golf Course: None.

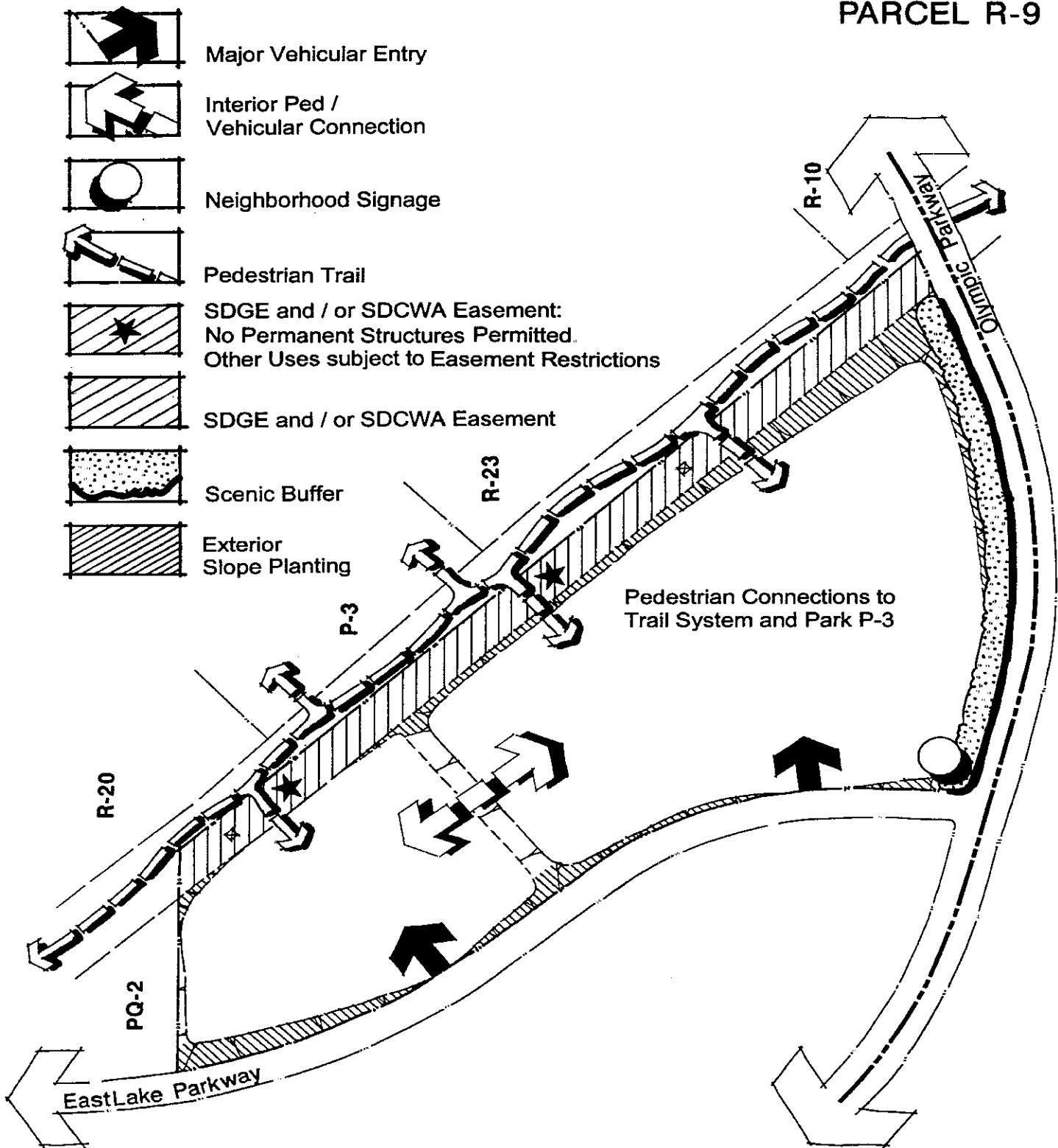
Entry: Multiple parcel entries from EastLake Parkway; internal coordination of individual projects required. Coordination with parcel entries to FC-1 parcel to the west also required.

Fencing: To be determined with Site Plan Review

Edges: Utility easement and scenic corridor; internal individual project edges.

Landscaping: Edge conditions; scenic buffer.

PARCEL R-9



EASTLAKE GREENS
A Planned Community in the City of Chula Vista

Cinti
Land Planning
San Diego, CA (619) 225-7408

II.4.6 COMMERCIAL DESIGN GUIDELINES

Parcels FC-1 and PA-1 within the Land Swap area of EastLake Greens SPA are proposed for freeway commercial and professional and administrative office commercial uses, respectively. This chapter provides basic guidelines for commercial site design. These commercial sites will be subject to the City's Precise Plan approval process which will provide detailed review of each development proposal.

The design issues discussed in this chapter are those which do not have a mandatory component in community design. Design solutions in these areas will be much more the product of the creativity of the site designers rather than conformance to a pre-established standard or solution. The following guidelines are provided to influence site plan designers and reviewers, but are not intended to impose arbitrary or inflexible design requirements.

Architecture, Color and Materials

Design Role

Architectural design, including colors and materials, for commercial buildings are not elements of EastLake Greens Community Design program. The formulation of design "precedents" in this area will occur with the approval of the initial project plan(s) within a single parcel. The intent of this section of the guidelines is to generally describe an intended overall architectural character and vocabulary which will create a distinctive sense of place.

Design Elements

Architecture

The underlying water-oriented theme for EastLake should be considered and reiterated, where feasible, through the selected use of water-oriented building materials, riparian plant palette, street furniture, colors, etc. There is no pre-determined architectural style defined for buildings on these parcels. Because of the range of building sizes and uses, there probably is no one single style which would be appropriate for all structures. However, architectural design within each parcel or project area should represent a unified style which is responsive to adjacent structures and the community setting. Architectural detailing and material selection is essential to good character definition. Accents in color, texture or pattern changes should be used to provide interest and provide scale.

All structures should exhibit articulated building planes, as well as, the use of appropriate textures and materials. Each structure should be evaluated using the criteria of a three-tiered hierarchy of articulation, materials and colors as described below:

Ground Level - Scale and texture should be sensitive to pedestrian interaction. Elements such as landscape pockets, trellis, pergolas, and canopies as well as recessed windows to produce deep shadow lines should be provided. Textured materials are most effective if incorporated into the building design at this level so that the apparent mass of the structure

is reduced.

Mid-Level - The mid-level, generally the most dominant portion of the facade, should be designed with a sensitivity to rhythm and proportion so that a harmonious composition can be perceived from the major viewing angles.

Top Level - Buildings should be designed with a definite termination at the top. The intent is to provide a "cap" so that the exterior walls do not "disappear" as they meet the sky.

Building Massing

The structural form should exhibit a variety of building masses and heights. Generally, maximum building heights should fall into the following categories:

Professional & Administrative:	2-3 Stories
Freeway Commercial:	1-2 Stories

The heights listed above are based on typical floor-to-floor heights and exclude penthouse mechanical equipment, etc. Parking structures may include a greater number of parking levels than the number of stories indicated, as long as they are not taller than an acceptable habitable building.

Landmarks and other special features may exceed these heights, if approved in a precise plan. When large or tall buildings are proposed, special consideration should be given to massing and proportion with respect to adjacent buildings.

Building complexes should be designed to create opportunities for pedestrian spaces such as plazas, courtyards, patios and decks. Landscaping may be used to reinforce this concept through the use of pergolas, trellises, etc. Buildings within a precise plan area should appear as an assemblage of integrated smaller forms, not as one large mass. Building masses should have an ordered "randomness" with focus, articulation and emphasis where appropriate such as entryways, major plazas, etc. Buildings located in "gatepost" locations (adjacent to entries off public and private streets), should be designed with a more distinct or "landmark" character.

Colors and Materials

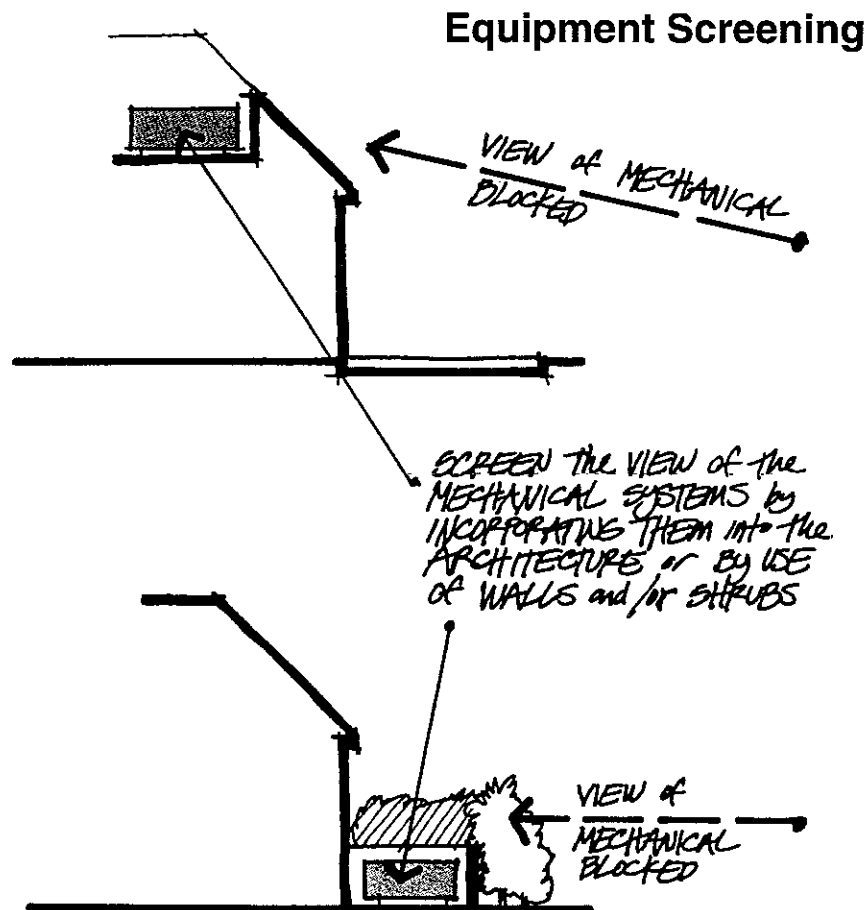
A light colored stucco should be the predominate wall material used throughout the parcels. A single, unifying accent color should be used in such items as site furniture, landmarks, entry monuments and signs. Sloped roof areas should be of natural materials such as slate or concrete tile. Metal roofs may be acceptable, if approved by precise plan. Wood shake or shingle roofs are discouraged.

Screening

A critical design issue is screening of unattractive utility and mechanical equipment, trash receptacles and storage areas, loading and service areas. Certain restrictions can reduce some of these potential design issues, others must receive attention from the site designer. The EastLake II PC District regulations restrict or prohibit outdoor storage and require screening of ground and/or roof mounted equipment/utility connections. Loading or unloading should occur in the rear or on the side of buildings away from public streets or be screened.

Fences and walls which provide screening should be designed as an integral part of the building design concept and be constructed of materials, textures and colors that are complementary to the adjacent building.

Outdoor refuse collection areas should be completely enclosed and screened from view by a wall or fence constructed of materials which are complementary in color, finish and texture to adjacent buildings. All such areas should have concrete floors and loading pads and be of sufficient size to accommodate all business related refuse. Refuse collection areas should not be located adjacent to public streets.



Site Furnishings

Site furnishings, such as the following, should introduce a consistent system of architectural, color and material character unique to the community, as established in existing commercial development:

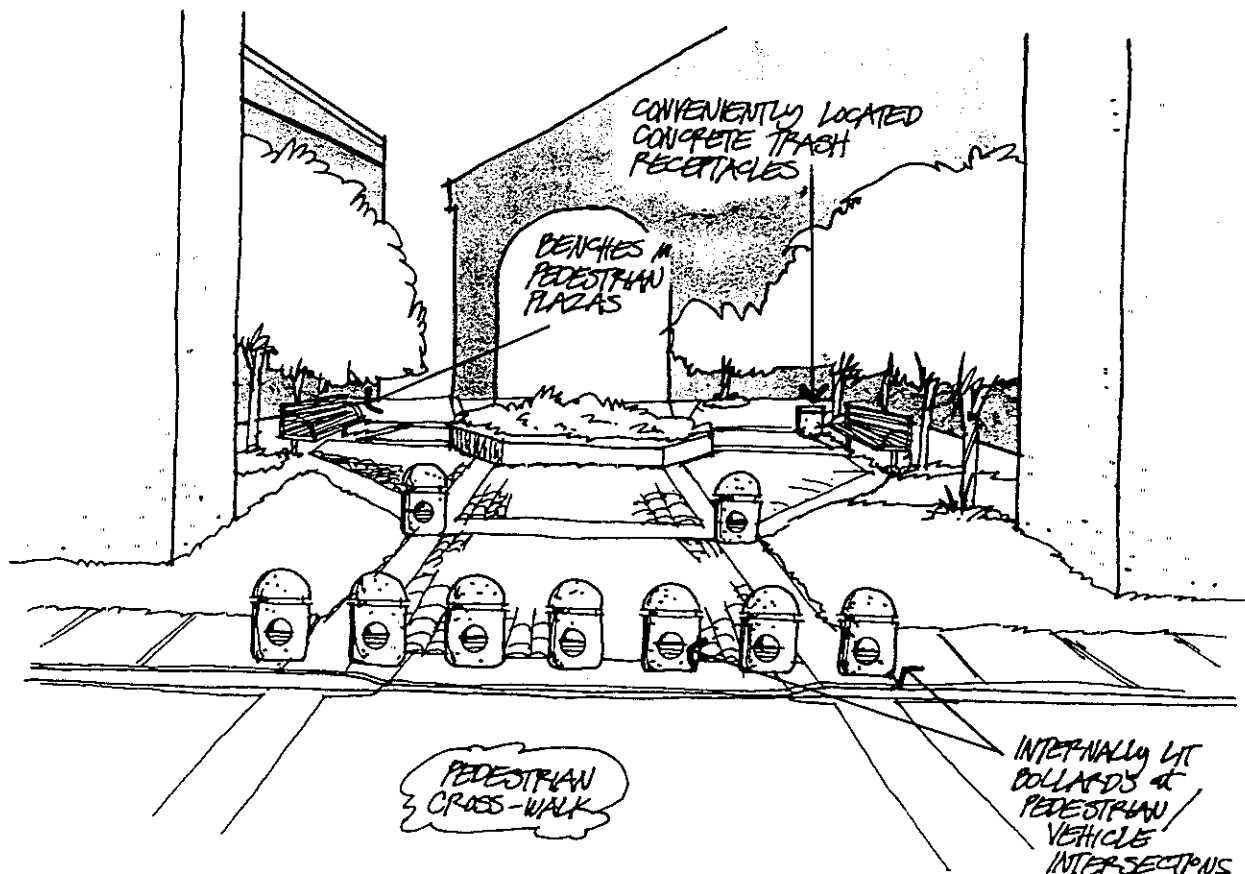
Benches: A bench should be designed/selected for use in all the pedestrian areas, complementing the design elements described in the other site furnishings.

Bollards: A concrete bollard should be used at the intersections of trail systems and vehicular crossings. They should contain internal light sources for safety at night.

Lighting Fixtures: A designated light standard base should be used for illumination of public areas.

Trash receptacles: Pre-cast concrete trash receptacles should be used.

Site furnishings, transit shelters and other streetscape furniture should be placed in "pockets" so as to not obstruct pedestrian or bicycle circulation.



Lighting and Signage

Design Role

Lighting and signage, when implemented in a consistent manner, play a large role in the unification of a development district. The purpose of this element is to identify principles of lighting for streets, paths, open spaces and buildings. The signage component is intended to specify sign and monumentation criteria to insure that all individual graphics and signs are coordinated with each other and contribute to the overall theme of the EastLake Community.

Design Elements

Lighting

The final design and selection of on-site lighting standards and supports should be coordinated with the overall site furnishings program discussed in the preceding section. Metal halide light fixtures on selected bases should be used in all parking areas to provide design continuity and safety. Parking lot light standards should be restricted to a maximum of 25 feet in height.

Walkway/trail illumination should be provided by the use of low intensity fixtures for safety and comfort. The lighting pattern and intensity should become more intense at path intersections and vehicular crossings.

Within building groups, architectural and accent lighting should be indirect and subtle. Increased lighting levels should highlight pedestrian areas to clearly define the pedestrian path. Service area lighting should be contained within the service area boundaries/enclosure. The actual light bulb for service area lighting should not be visible from adjacent properties.

Signage

A complete signage program is to be developed as part of the initial project Precise Plan submittal. All individual project/use identification signs should be designed to fit on a monument system that is compatible and part of the architectural style for the parcel. Signs associated with the identification of the community trail system and ancillary pathways should be designed as part of the overall streetscape vocabulary of site furnishings, lighting standards and special hardscape materials.

The signage program for each project should provide the means for adequate identification while regulating and controlling design, location and maintenance. The signage program should establish specific standards for all exterior signage to ensure aesthetic continuity and consistency. Sign programs for areas fronting on Otay Lakes Road, a scenic highway, should be limited to entry monument/signage and necessary directional signs.

Individual Parcel Design Criteria

The product descriptions, lot and pad sizes, and parcel plan features described in this section are those envisioned at the time of SPA Plan preparation. These designs and specifications are subject to change and refinement in conjunction with the tentative tract map approval, and are subject to such approval. Any alternative parcel plans which are prepared should respond to the listed planning and design criteria, implementing the techniques and solutions described in the overall design guidelines. All parcel plans shall conform to the development standards and other provisions of the EastLake II PC District regulations adopted by the city of Chula Vista.

Parcel FC-1: This freeway commercial development parcel is located at the southern end of the Activity Corridor, bounded by SR-125 on the west and EastLake Parkway on the east, and Olympic Parkway on the south. As a regional commercial site, exposure to vehicles on SR-125 will be a critical goal for site designers. This need for exposure will need to be balanced with the goal to maintain scenic quality in the SR-125 corridor. The parcel is a large site (50.7 acres). Because of this large size, it may be developed in multiple phases. In order to assure, consistent and high quality planning and design throughout the parcel, it will be subject to the "Conceptual Master Plan" process described in Chapter 2.

Internal circulation and parking areas should be planned to avoid confusion and congestion. Parking location and design will be dependent upon the type of development proposed and will need to be determined in conjunction with the Conceptual Master Plan process. Direction and identification signs should be designed to be functional and to blend with the architectural character of the development. Circulation for oversized emergency and service vehicles is also an important design criteria.

Parcel FC-1
Design Issues Summary

Product: Freeway Commercial

Golf Course: None.

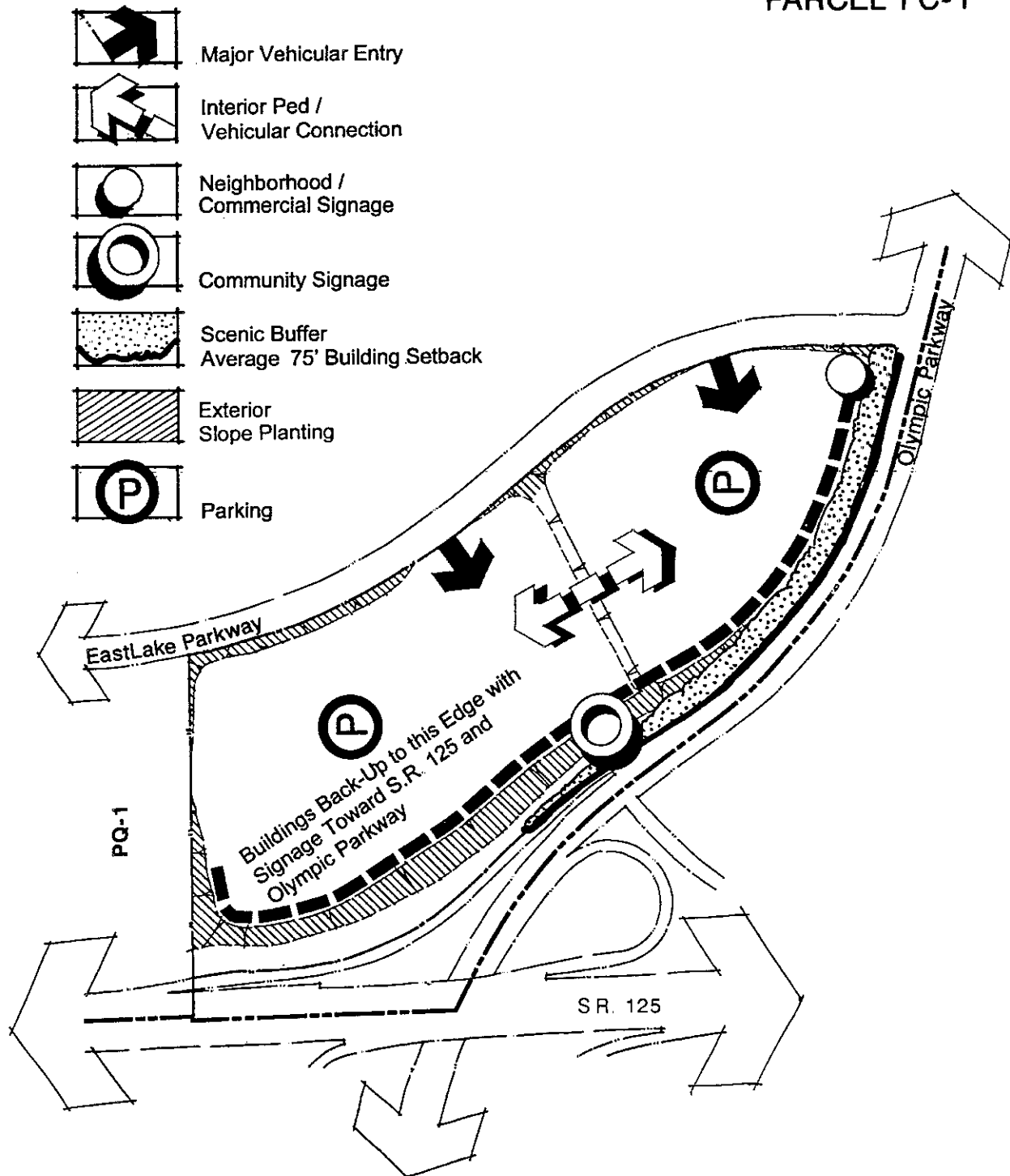
Entry: Multiple parcel entries from EastLake Parkway; internal coordination of individual projects required. Coordination with parcel entries to R-9 parcel to the east also required.

Fencing: To be determined with Precise Plan Review

Edges: Perimeter slopes and scenic corridor; internal individual project edges.

Landscaping: Edge conditions; scenic buffer.

PARCEL FC-1



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San Diego, CA (619) 223-7408

Parcel PA-1: This Professional & Administrative Office Commercial development parcel is located along Otay Lakes Road, west of the SR-125 alignment. It is the only EastLake development parcel west of SR-125, south of the EastLake Shores neighborhood. In this relatively isolated location, physical connections and design continuity with the majority of the EastLake community is less important. There is a greater opportunity to create a stand-alone project both in terms of uses and design on this site than any other in the EastLake Planned Community.

The site is bounded by utility easements on both the west and east edges. Otay Lakes Road, a scenic corridor, forms the third side of the triangular site. It is a moderately sized site (24.7 acres), which may be developed in multiple phases. In order to assure, consistent and high quality planning and design throughout the parcel, it will be subject to the "Conceptual Master Plan" process described in Chapter 2, if a multiple phased approach is proposed.

Internal circulation and parking areas should be planned to avoid confusion and congestion. Parking location and design will be dependent upon the type of development proposed and will need to be determined in conjunction with the Conceptual Master Plan process. Direction and identification signs should be designed to be functional and to blend with the architectural character of the development. Circulation for oversized emergency and service vehicles is also an important design criteria.

Parcel PA-1
Design Issues Summary

Product: Professional & Administrative Office Commercial

Golf Course: None.





Entry: Single parcel entry from Otay Lakes Road.


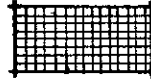

Fencing: To be determined with Precise Plan Review

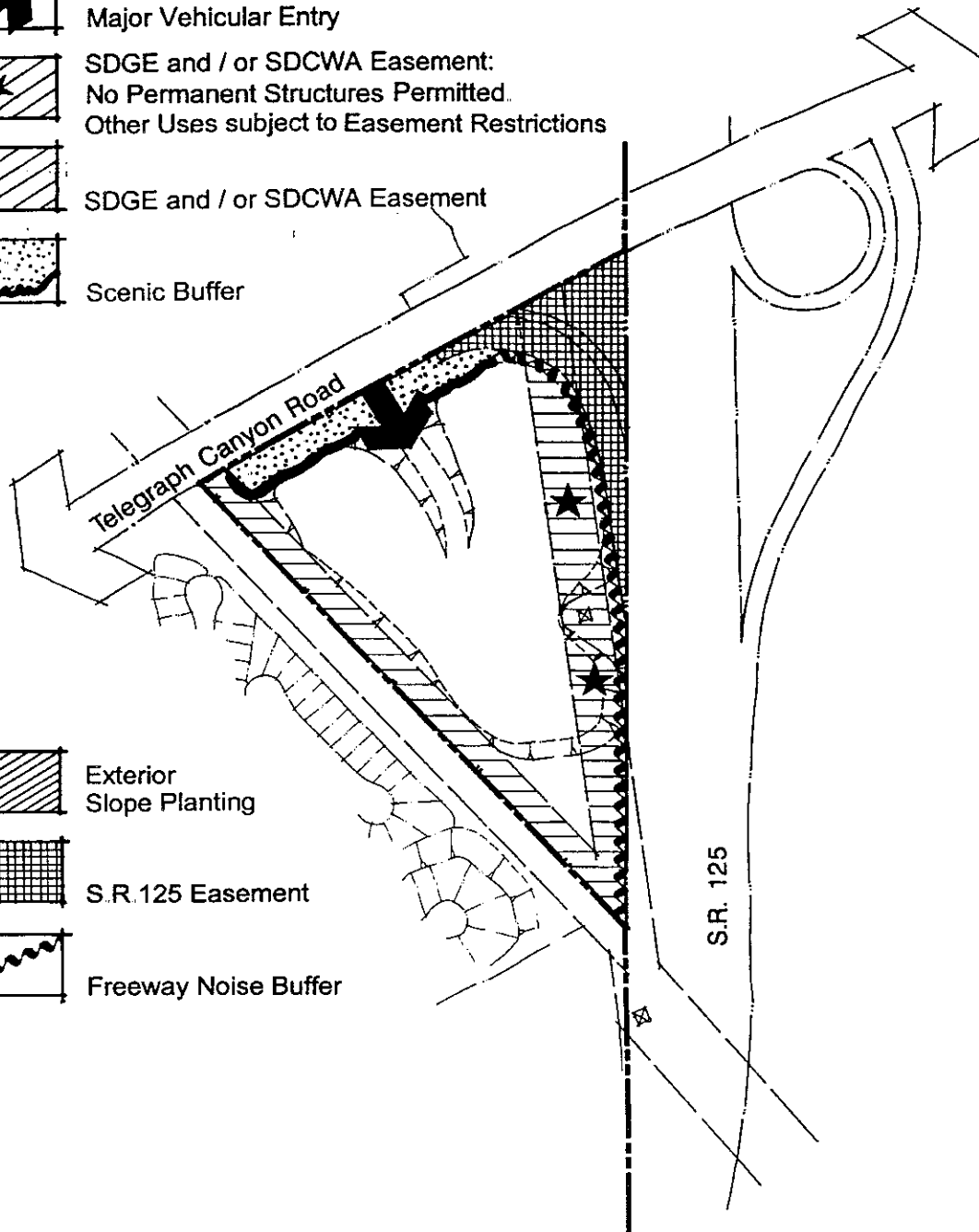
Edges: Utility easement (2 sides) and scenic corridor (3rd side).

Landscaping: Edge conditions; scenic buffer.

PARCEL PA-1

-  Major Vehicular Entry
-  SDGE and / or SDCWA Easement:
No Permanent Structures Permitted.
Other Uses subject to Easement Restrictions
-  SDGE and / or SDCWA Easement
-  Scenic Buffer

-  Exterior Slope Planting
-  S.R. 125 Easement
-  Freeway Noise Buffer



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Land Planning
San Diego, CA 92121-7408

II.4.8 LANDSCAPE DESIGN

Complete Landscape Design guidance is provided in Chapter 5 of the previously adopted EastLake Greens Design Guidelines which should be consulted for landscape concepts applicable to the Land Swap Parcels.

**CITY OF CHULA VISTA
CALIFORNIA**

**EASTLAKE GREENS SPA
and
“LAND SWAP” SUPPLEMENTAL
PUBLIC FACILITIES FINANCE PLAN**

**Adopted November 24, 1998
by Resolution No. 19275**

Consultants

EastLake Greens PFFP:

**Jay Kniep Land Planning
(916) 541-1817**

“Land Swap” Parcels PFFP:

**Burkett & Wong and
Planning**

REVISION
RECORD:

#1	10/17/95	Comprehensive revision/update to reflect completion of EastLake North Greens and revised phasing for EastLake Greens.
#2	12/19/95	Revisions per GDP/SPA Plan amendment relating to park relocations, density transfers, and removal of "ID" designation on parcel R-26.
#3	(date)	Revisions per GDP/SPA amendment relating to the annexation of 141.7 acres commonly known as the Land Swap Parcels. (See Chapter VI).

CITY OF CHULA VISTA
PUBLIC FACILITIES FINANCING PLAN

-EASTLAKE GREENS-

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NOTE

"Land Swap" Parcel Exhibits are located in Chapter VI.

CHAPTER I

INTRODUCTION

BACKGROUND and REGULATORY CONTEXT

This Public Facilities Financing Plan ("PFFP") is a required element of the Planned Community District Regulations adopted for the EastLake Planned Community. More specifically, the District Regulations require that a Public Facilities Financing Plan be approved by the City of Chula Vista prior to or concurrent with the adoption of a Sectional Planning Area ("SPA") Plan for an area within the EastLake Planned Community.

Figures 1 and 2 are a Vicinity Map and a Project Component Map, respectively, illustrating the location of the project in the City of Chula Vista and as part of the Eastern Territories of the City of Chula Vista (that area generally easterly of Interstate 805).

On February 19, 1985, a Public Facilities Financing Plan for the initial development phase of the Eastlake Planned Community, known as EastLake I, was adopted by the City Council of the City of Chula Vista as an element of the related SPA document. SPA #1 is EastLake I (EastLake Hills and EastLake Shores) and SPA #2 is EastLake Greens. This document is intended to address public facility needs associated with the EastLake Greens SPA Plan (SPA #2).

This document includes revisions to the PFFP originally prepared when the EastLake Greens Sectional Planning Area (SPA) Plan was approved in 1989. Since that time, development has progressed in the northern portion of the SPA and numerous public facility improvements have been made both on- and off-site. These revisions update the original PFFP and addresses only those facilities which remain to be constructed in conjunction with development within the southern portion of the EastLake Greens SPA (EastLake South Greens). This PFFP update also reflects the minor amendment to the EastLake Greens SPA Plan (Figure 3) and related project plans approved by the City Council on August 16, 1994 and a GDP/SPA Plan amendment approved on December 12, 1995.

The 1998 EastLake Greens SPA amendment annexed 141.7 acres located along the west and south side of the EastLake Greens SPA boundaries. The annexation of this area, which is known as the "Land Swap" parcels, required an amendment to the adopted EastLake Greens development plan along with the installation of most of the required public facilities have been built, a supplemental PFFP was prepared as a separate document and incorporated as Chapter VI of the EastLake Greens PFFP. Thus, the adopted EastLake Greens PFFP, approved by the City Council on December 19, 1995 remains unchanged.

Since 1989, the city of Chula Vista has developed a comprehensive approach to addressing new development and the impacts its places on public facilities and services. What was previously a project-by-project approach to facilities improvement and financing has become

public facilities impacted by the project. It is understood that assumed growth projections and related public facility needs are subject to a number of external factors such as the state of the economy, the City's future land use approval decisions, etc. It is also understood that the funding sources specified herein may change due to financing programs available in the future or requirements of either state or federal law. It is intended that revisions to cost estimates and funding programs be handled as administrative revisions, whereas revisions to the facilities-driven growth phases are to be accomplished through a Public Facilities Financing Plan update process, as set forth herein.

KEY ASSUMPTIONS

There are a number of key assumptions implicit to this Public Facilities Financing Plan. The assumptions play a major part in determining public facility needs, the timing of those needs and the staging of growth corresponding to the various facilities. Key land use and phasing assumptions can be summarized as follows:

EastLake I SPA (SPA #1) and EastLake Greens SPA (SPA #2) are initial development phases of the 3,200± acre Eastlake Planned Community to be developed within the city of Chula Vista. Future development will be implemented in phases generally consistent with the information utilized in the City's Transportation Phasing Plan. The EastLake Planned Community is subject to future land use approvals and growth management decisions by the various jurisdictions involved, such as the City's Growth Management Program.

Land use allocation and intensity of development will be regulated by the EastLake Planned Community (PC) General Development Plan, PC District Regulations, and the Eastlake Greens SPA Plan as amended on August 16, 1994 and December 12, 1995.

CONSISTENCY

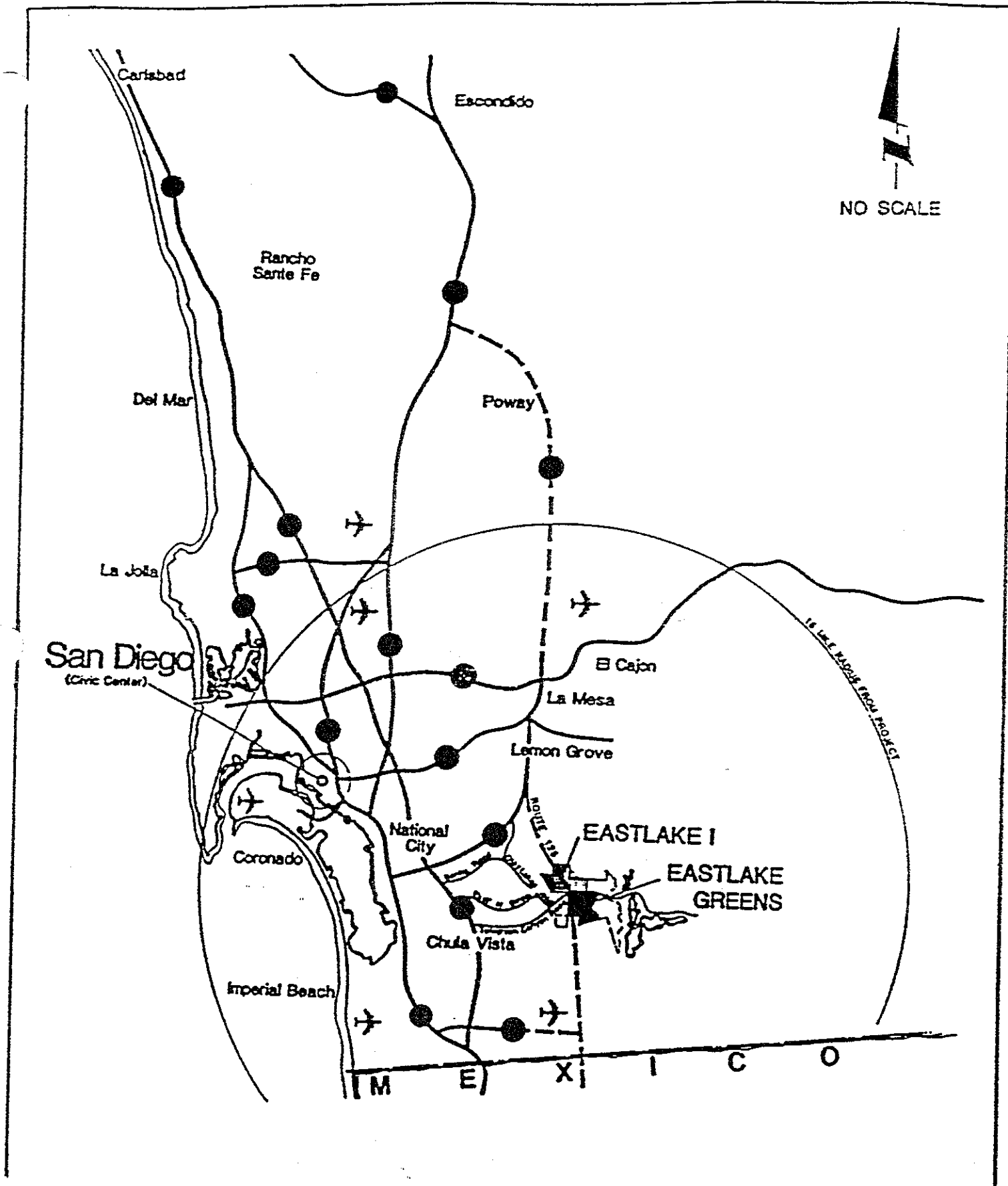
The provisions of the Public Facilities Financing Plan are, to the extent practical, consistent with and reinforce certain other public documents. More specifically, consistency with the following documents has been addressed in the context of this Public Facilities Financing Plan:

The PFFP adopted for the EastLake I SPA development and the originally adopted PFFP for EastLake Greens SPA. It is also consistent with the improvement projects previously completed or under construction as a part of the EastLake Planned Community.

The EastLake Greens Environmental Impact Report and subsequent CEQA documents prepared for plan amendments. The various mitigation measures pertaining to public facilities which remain to be constructed within the EastLake Greens SPA are incorporated in the projects herein.

Chapter VI
Supplemental Public Facilities Financing Plan
EastLake Greens "Land Swap" Parcels

10/16/98

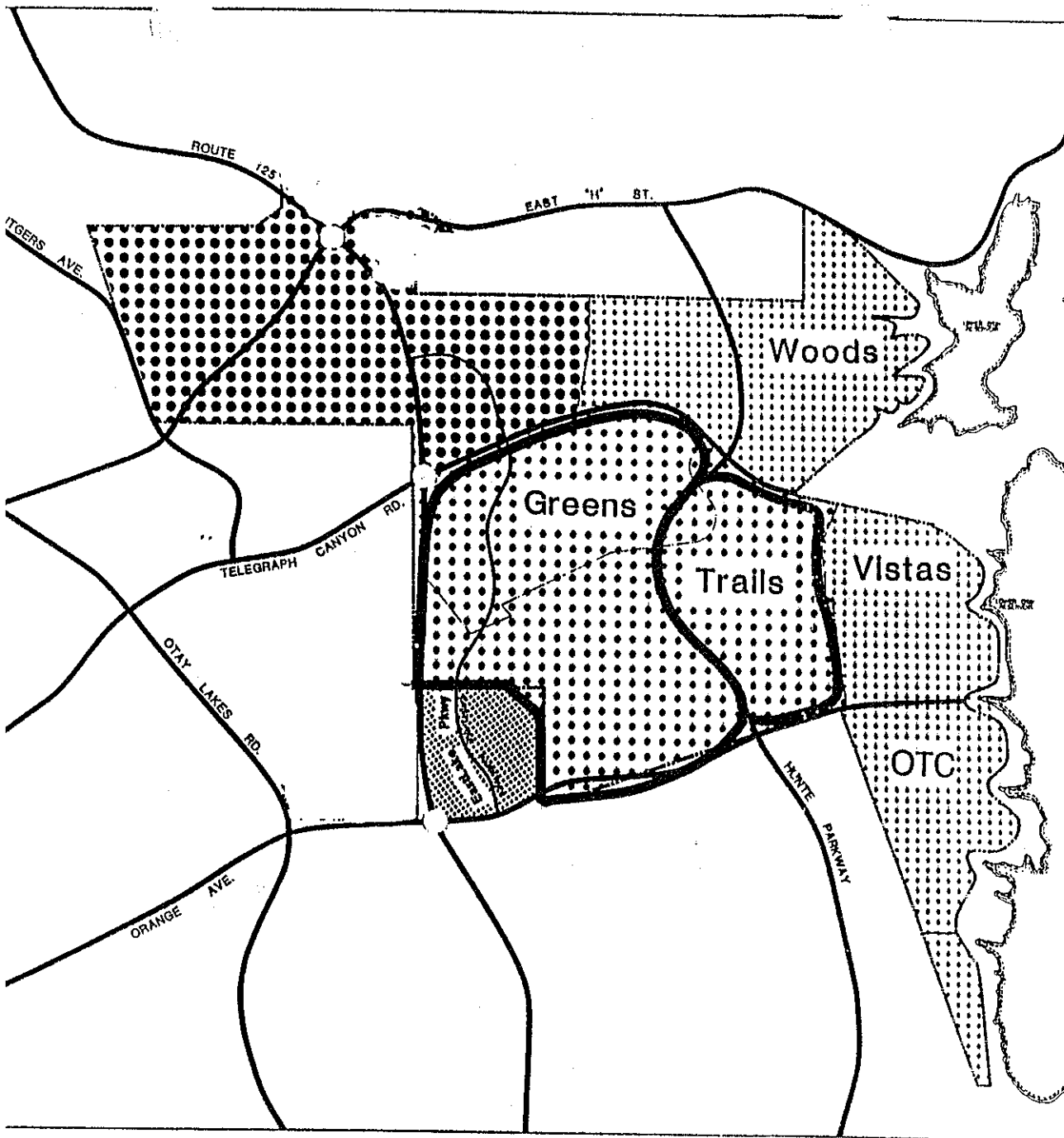


VICINITY MAP

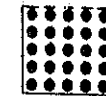
FIGURE 1

WILLDAN/SIMPSON

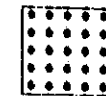
Project Components



LEGEND



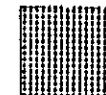
EASTLAKE I
Spa 1 Hills, Shores &
Business Center



EASTLAKE II
Spa 2 Greens
Spa 3 Trails



EASTLAKE III
Spa 4 Vistas
Spa 5 Woods
OTC SPA



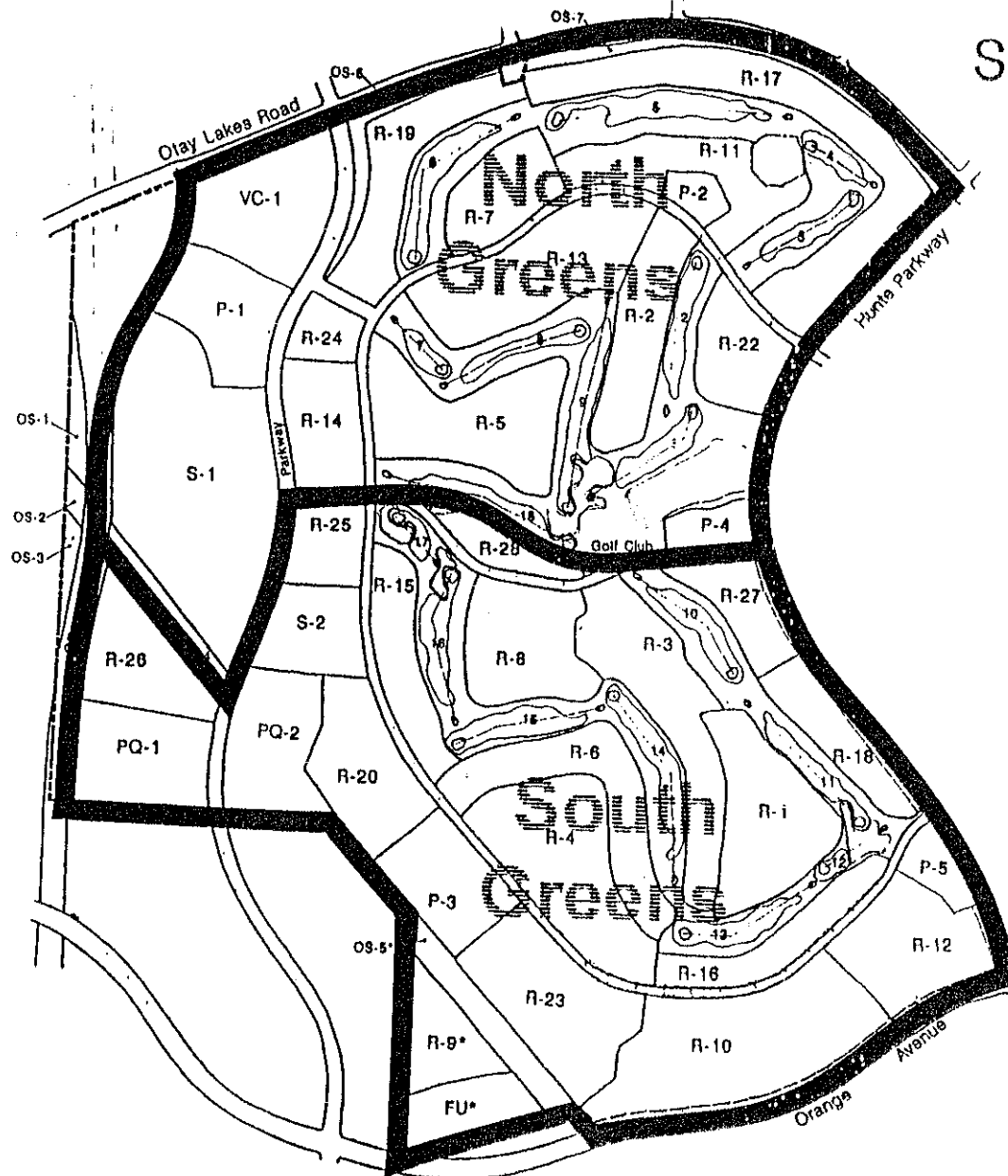
EASTLAKE II EXPANSION



NOT IN PROJECT



SITE UTILIZATION PLAN



Residential

Parcel Number	Detached (D) Attached (A)	Density Range	Acres	Target Density	Target Units
R-1	D	0-5	19.7	2.7	54
R-2	D	0-5	14.7	2.7	40
R-3	D	0-5	21.8	4.5	99
R-4	D	0-5	24.0	4.8	114
R-5	D	0-5	23.0	4.8	105
R-6	D	5-15	17.4	4.4	78
R-7	D	5-15	10.7	5.8	60
R-8	D	5-15	17.5	5.5	96
R-9*	D	5-15	8.5	5.3	45
R-10	D	5-15	34.8	7.1	248
R-11	D	5-15	14.6	8.6	87
R-12	D	5-15	18.2	5.1	92
R-13	D	5-15	22.8	8.3	142
R-14	D	5-15	11.4	7.5	88
R-15	D	5-15	11.9	5.4	84
R-16	A/D	5-15	10.9	10.0	109
R-17	A/D	5-15	28.6	7.5	214
R-18	A/D	5-15	9.9	5.5	54
R-19	A/D	5-15	14.4	11.0	158
R-20	A/D	5-15	14.3	7.8	109
R-21					
R-22	A/D	5-15	11.7	11.9	139
R-23	A/D	5-15	20.3	3.5	72
R-24	A/D	5-15	5.1	9.4	48
R-25	A/D	5-15	7.9	9.9	78
R-26	A/D	15-25	15.3	17.0	260
R-27	D	0-5	9.2	4.3	40
R-28	A/D	5-15	8.1	8.4	51

Sub-total 424.3 ac 6.8 du/ac 2738 du

Non-Residential

Parcel Number	Land Use	Acres
VC-1	Village Center	19.6
PQ-1	Public/Quasi-Public	10.3
PQ-2	Public/Quasi-Public	15.8
S-1	High School	49.2
S-2	Elementary School	10.0
P-1	Community Park	15.1
P-2	Neighborhood Park	3.0
P-3	Neighborhood Park	11.8
P-4	Neighborhood Park	4.5
P-5	Neighborhood Park	3.0
OS-1	Open Space	2.9
OS-2	Open Space	1.1
OS-3	Open Space	1.9
OS-4	Open Space	7.8
OS-5*	Open Space	8.3
OS-6	Open Space	4.9
OS-7	Open Space	5.9
	Golf Course	180.4
FU*	Major Circulation	87.1
	Future Urban	8.3

Sub-Total 428.9 ac

Project Total 853.2 ac 3.2 du/ac 2738 du

* Interim Designation: Parcel subject to future SPA Amendment to be consistent with Chula Vista General Plan.

** A/D symbolizes that certain "detached" housing is permitted.

Scenic Buffer

Note: Refer to tract maps for precise acreage and parcel boundaries.

Figure 3

**EASTLAKE
GREENS**

A Planned Community in
the City of Chula Vista

E. REGULATION of DEVELOPMENT

As referenced above, this Public Facilities Financing Plan is intended to serve as the basis for reviewing public facility requirements associated with localized development phasing and, thereby, provide a means to insure that public facilities are installed in a timely manner. With this in mind, a series of development "phases" have been keyed to specific public facility improvement projects such that public facility improvement sequence and related funding assurances can be paced with growth within EastLake Greens and other nearby projects.

For each public facility identified, a certain status of implementation is specified for threshold monitoring purposes. Generally speaking, public facilities located on-site and off-site must be "committed" in the manner specified herein in a particular phase or increment of development prior to building permits being issued for a subsequent phase.

When "Commitment" of required improvements necessitates condemnation of land off-site of EastLake Greens, the obligation to start construction may be waived if improvement plans are finalized for approval, a condemnation proceeding has been initiated and estimated funds for right-of-way acquisition and construction have been deposited with the City in the form of cash, bonds, a letter of credit or other acceptable form of financial guarantee.

Obligations to governmental entities other than the City (*e.g.*, school district) will be considered "committed" when the obligation has been satisfied as evidenced in writing from the entity.

In some instances, substitution of improvements may be appropriate. Where substitution is contemplated, the threshold standards of the Growth Management Program will be used as the basis for determining the acceptability of such substitution. Substitutions will be initiated only upon written request to the Director of Public Works.

Before exceeding cumulative levels of development for any threshold standard, the required improvements of the threshold must be committed to the satisfaction of the Director of Public Works. The Director of Public Works shall have the ability to select from any of the following options prior to building permits being issued for a subsequent phase:

1. Improvements must be completed or open to public use, whichever first occurs or,
2. Improvement must be subject to an awarded construction contract by a governmental agency or,
3. Improvement must be committed by an agreement with the City which shall include, but not be limited to, all of the following requirements to the satisfaction of the Director of Public Works:
 - a. All discretionary permits must be obtained for construction of the improvement;

- b. Plans for the construction of the improvement must have all necessary governmental approvals;
- c. Adequate funds (*i.e.*, letter of credit, cash deposit, or performance bond) must be available such that the City can construct the improvement if either construction has not commenced within 30 days of issuance of a notice to proceed by the Director of Public Works, or construction is not progressing towards completion in a manner considered reasonable to the Director of Public Works.

CHAPTER II

PUBLIC FACILITIES AND INFRASTRUCTURE REQUIREMENTS FOR FUTURE DEVELOPMENT

This chapter describes the public facilities required to support the development of the EastLake Greens (SPA #2) as well as identifying the public facilities required to support the cumulative development of EastLake and other properties in the Eastern Territories, pursuant to the Growth Management Program.

A. NEEDED FACILITIES

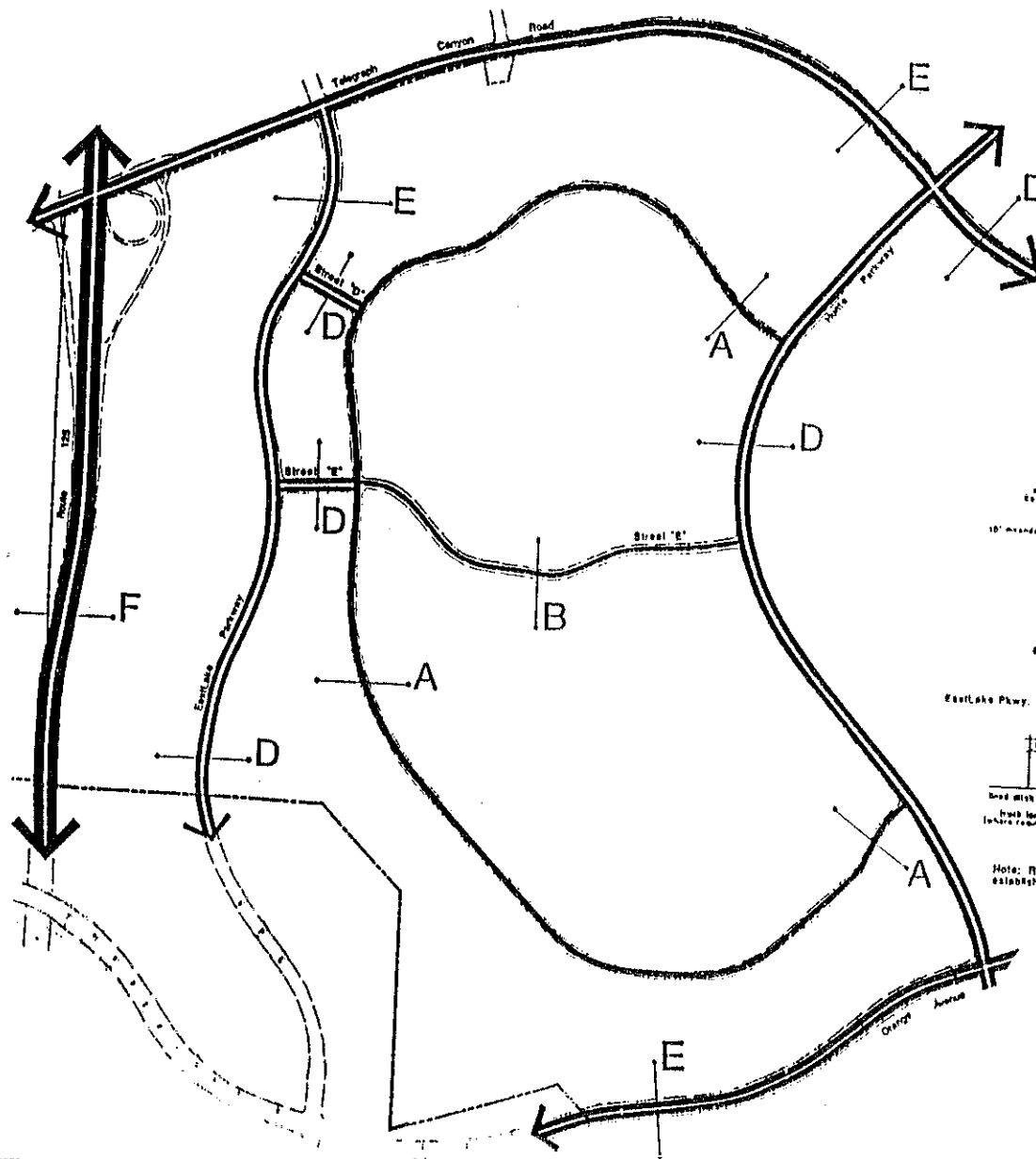
Transportation

The public street system serving the project area is the responsibility of the Chula Vista Public Works Department, except for County roads adjacent to the project area. Transportation system projects required to support ultimate development of SPA #2, as well as adjacent areas, are identified in the Traffic Analysis for EastLake Expansion, dated September 26, 1988, as prepared for the City of Chula Vista by Willdan Associates, and subsequent similar studies for nearby projects. The Traffic Analysis was performed in the context of Environmental Impact Report preparation and, as a result, identifies measures necessary to mitigate transportation system impacts associated with EastLake Greens (SPA #2) and EastLake Trails.

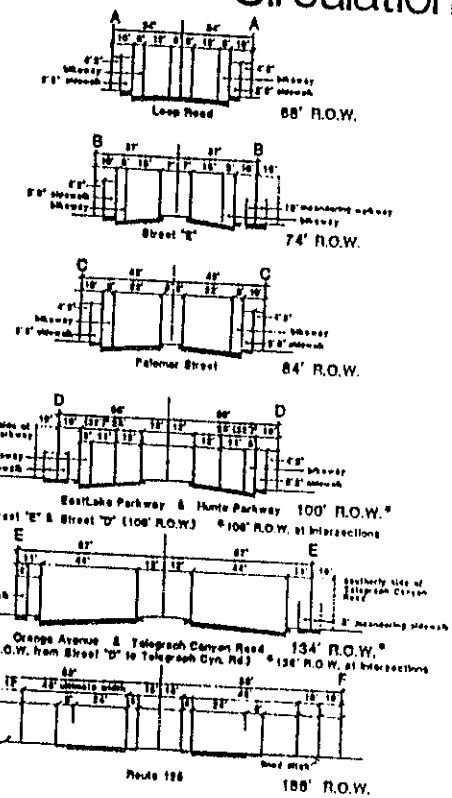
The transportation projects necessary to accommodate phased build-out of SPA #2, are of two basic types:

1. Those facilities that provide for circulation within SPA #2 and which primarily benefit the EastLake development. Circulation system components of this type yet to be constructed include collector roads and local residential streets. These improvements will be constructed to the ultimate City standards in accordance with Subdivision Map Act exactions keyed, via tentative tract map conditions, to the recordation of specific subdivision maps. (See Circulation Plan Exhibit A).
2. Those facilities that are necessary for SPA #2 development but which provide area-wide circulation benefits to other eastern area developments as well, as identified in the Eastern Area Transportation DIF program. Circulation system components of this type which are yet to be constructed consist of major and prime arterials (*i.e.*, Hunte Parkway and East Orange Avenue).

Regarding streets and highways of area-wide benefit, the City Council has recognized the necessity for a Development Impact Fee (DIF) to provide a funding source for road projects of regional significance in the area east of Interstate 805. The Eastern Area Transportation DIF was established initially for the EastLake area only in 1988 and subsequently converted to include the entire Eastern Territories. EastLake's SPA #1 and SPA #2 have been included



Circulation



Note: Refer to Traffic Plan for location of walkways. Final street standards to be established by Trail Maps.

Landscape easement along Orange Ave. required per current City standard unless otherwise approved by City Landscape Architect.

EASTLAKE GREENS

A Planned Community in the City of Chula Vista

Exhibit A

within the area of benefit for the existing Transportation DIF. As such, development within the SPA's will be responsible for Transportation DIF payments.

The obligation toward DIF program participation can be met in two ways, either by payment of the fees in effect to the City of Chula Vista at the time building permits are issued or through the construction of qualified DIF related projects. The former allows construction of required facilities by the City of Chula Vista when sufficient monies have been collected or on a pay-as-you go basis, while the latter allows the developer to construct the facility when needed in exchange for a credit toward DIF obligations. Should a developer's cost to construct a DIF project exceed the developer's fee obligation, reimbursement will be made as future fees are collected by the City. The exact basis for reimbursement may be set by a future, separate agreement, to be entered into between the City and developer specifying how the developer will be reimbursed by those projects benefitting from the construction of DIF projects but who do not contribute to their completion. Such an agreement will, among other things, specify the maximum amount of DIF credit to be granted, consistent with the method of determining DIF fees and reimbursements due under such calculation, if any.

In addition to the Eastern Area Transportation DIF, the City has established a DIF program to finance interim improvements within the SR-125 corridor, known as the Interim SR 125 DIF. The EastLake South Greens project is included in this program and will be required to pay the fees in effect at the time building permits are issued.

SPA #2, will be required to participate in two levels of traffic signal improvements. The traffic signals planned within the boundaries of SPA #2, are considered the sole benefit of SPA #2. The new traffic generated by the development will also have an impact on the need for citywide signals and signal upgrades. All development within the SPA #2 areas would also be liable for payment of the current Traffic Signal Fee in effect at the time of building permit issuance.

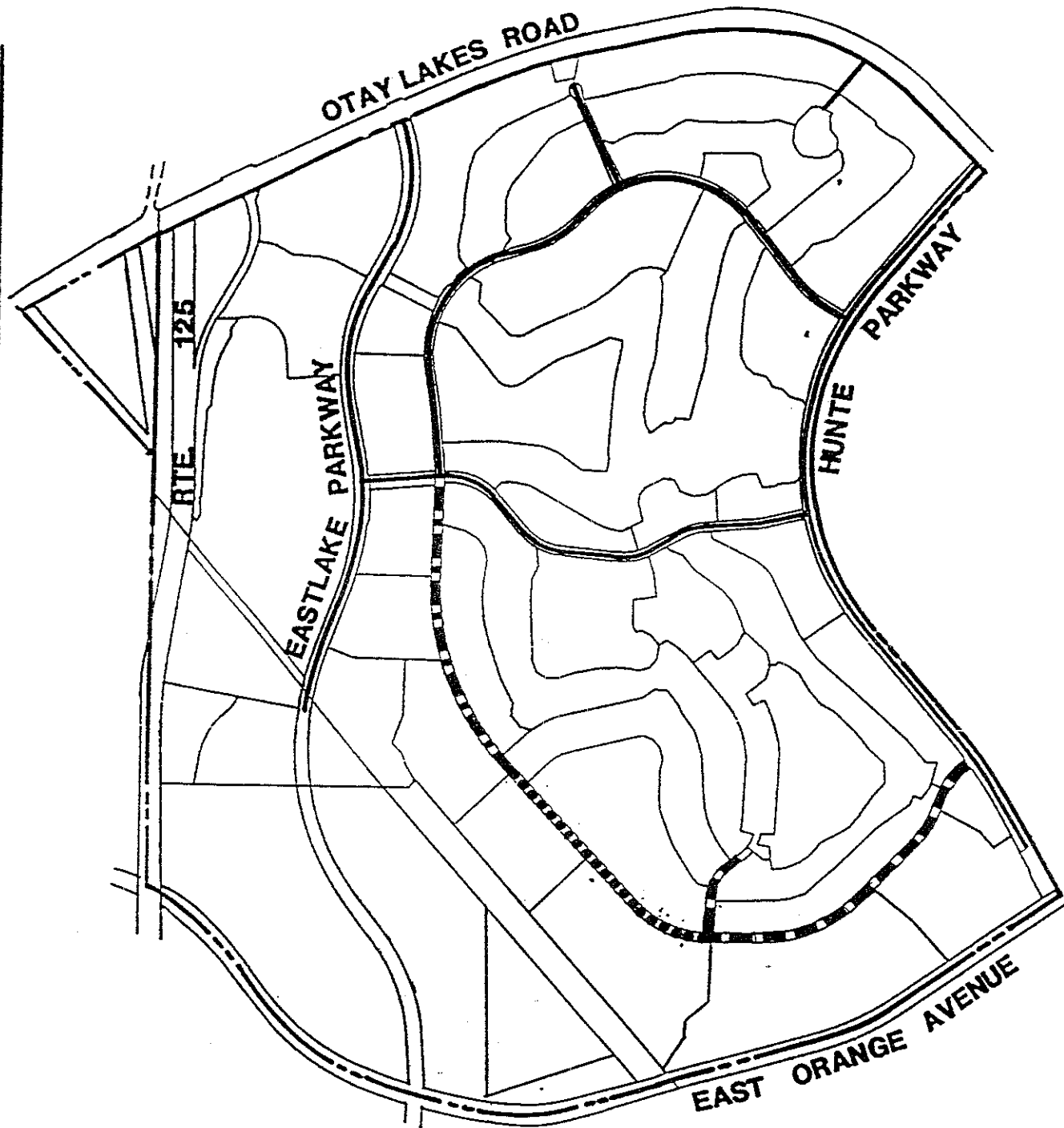
Water

Both SPA #1 and SPA #2 are located within the boundaries of the Otay Water District (OWD), which is responsible for providing local water service. OWD receives its water for the San Diego Water Authority via the second San Diego Aqueduct.

Although described here for information, the manner in which EastLake will ensure the adequacy of potable water from OWD shall be the subject of separate agreements between developer and OWD. The water facilities (*i.e.*, pumping, storage, piping, etc.) will be constructed as planned, to conform with the current OWD Master Plan.

This provision of the Public Facilities Financing Plan sets forth the anticipated means by which water service will be ensured for the EastLake I and Greens projects.

The area is currently served by two 980' zone 5 million gallon reservoirs and pump station, (EastLake Pump Station). The backbone water lines constructed within the service area were oversized to meet future water requirements and have the capacity to serve the SPA #2 development.



LEGEND

EXIST.

SOUTH GREENS PHASE 1 ————

SOUTH GREENS PHASE 2 - - - - -

SOUTH GREENS PHASE 3

J-172401

DOMESTIC WATER PLAN

EXHIBIT B

RICK ENGINEERING COMPANY

Based on an analysis of existing and proposed conditions, the following supplemental water system improvements have been recommended ("*" indicates project completed):

1. Increase the pumping capacity of the Central Area Pump Station (711' zone) from 4,000 GPM to 8,000 GPM.*
2. Add 2 million gallons of storage capacity at the ID 22-1 Reservoir site located within SPA #2 boundaries.*
3. Add a 4,000 GPM pump to the existing 980-zone pump station.
4. Install various transmission and distribution mains in accordance with the current OWD Master Plan.

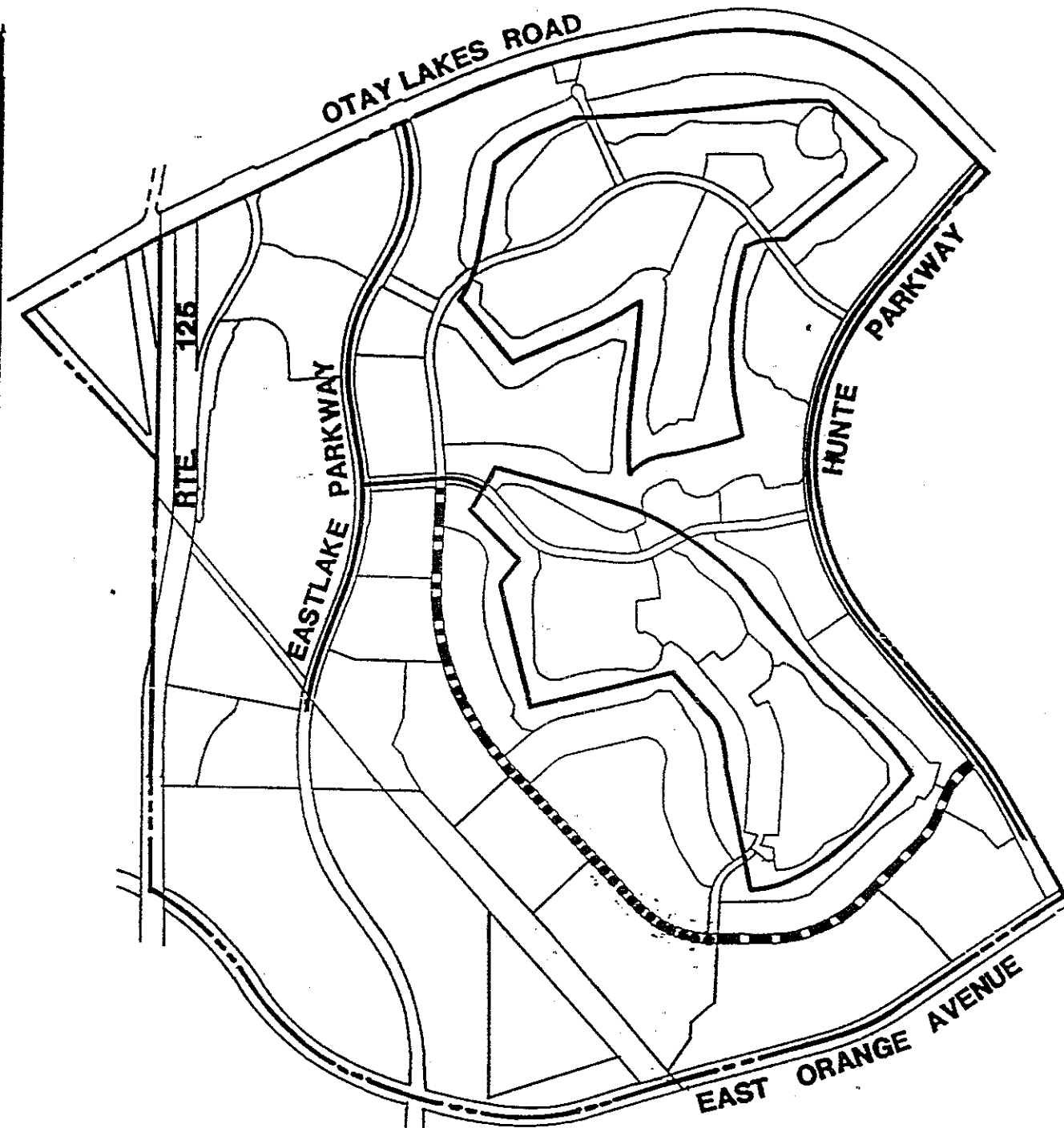
OWD Improvement District 22 (ID 22) has installed a number of improvements to provide water for SPA #1 and #2 development. These include an approximately 3 million gallon reservoir to serve the 711' pressure zone and the two 5 million gallon reservoirs to serve the 980' pressure zone. OWD also completed an 8 million gallon reservoir to serve the areas to the west (Bonita Long Canyon and Rancho del Rey). OWD has annexed SPA #2 to ID 22.

In addition to the existing ID 22 improvements, improvements required in conjunction with the recently formed Improvement District 27 (ID 27) will also need to be funded. ID 27 includes the developments of Rancho del Rey, EastLake and Rancho del Sur (Sunbow). A Master Plan has been prepared by OWD to determine required facilities, cost, and financing mechanisms. The most significant facility that will need to be provided is a terminal storage reservoir which will provide terminal storage to meet demands of the participating developments within the ID 27 boundaries. A 30 MG reservoir is being constructed and nearing completion with financing from ID 27.

The necessary area-wide improvements (*e.g.*, pump station, reservoirs, etc.) to serve EastLake South Greens have already been provided or financially committed in conjunction with previous development within the EastLake Planned Community or other projects. The project is within OWD Improvement District (ID) 22 and ID 27 which provide such facilities with special district financing such as capacity fees or other means. The remaining local service water facilities will be constructed as a part of local street improvements as a part of the subdivision exaction (see Exhibit B).

Reclaimed Water

Reclaimed water is available for irrigation purposes from the Otay Water District's Ralph W. Chapman Water Recycling Facility (RWCWRF). These facilities are currently capable of producing 1.3 million gallons of reclaimed water per day meeting Title 22 requirements. At present, Otay Water District is providing approximately 750 acre-feet of reclaimed water per year for irrigation purposes.



LEGEND

EXIST.

SOUTH GREENS PHASE 1



SOUTH GREENS PHASE 2

SOUTH GREENS PHASE 3



J-12401

RECLAIMED WATER PLAN

EXHIBIT C

RICK ENGINEERING COMPANY

The proposed reclaimed water distribution system within the SPA #2 area is shown on Exhibit C. The reclaimed water distribution facilities (i.e., pumping, storage, piping, etc.) will be constructed to conform to the current OWD Master Plan. The system backbone has been planned to provide reclaimed water for landscape irrigation to the EastLake Greens golf course, high school, community park and open spaces. These facilities will utilize the existing production capacity of the RWCWRF's 1.3 million gallons per day plant capacity. Additional capacity has been designed into the system to allow expanded reclaimed water irrigation usage should the Otay Water District facilities be expanded to provide additional quantities of reclaimed water.

A 20-inch reclaimed water supply line was constructed in phases within SPA #1 (i.e., Lane Avenue) and extends from the terminus located at Telegraph Canyon Road to the Otay Water District Use Area. This pipeline was constructed to provide water for grading operations and landscape irrigation demands for the SPA #2 area and other portions of the region.

As with domestic water service, the off-site connections and major reclaimed water facilities for EastLake South Greens have already been provided (golf course irrigation system is shown on Exhibit C). Transmission and distribution pipelines for street landscaping remain to be constructed. These will be included in the local street construction projects.

Sewer/Waste Water

The City of Chula Vista provides sewage collection through City-owned facilities. The sewage is discharged into the City of San Diego Metropolitan Sewage System (METRO) for treatment at the Point Loma regional plant and disposal through the METRO Ocean Outfall.

EastLake SPA #1 and #2 is divided into five separate basins. These basins are (1) Telegraph Canyon; (2) Proctor Valley; (3) Long Canyon; (4) Salt Creek and (5) Poggi Canyon.

The majority of EastLake SPA#1/#2 will sewer to the Telegraph Canyon basin through the existing City of Chula Vista 15-inch trunk sewer in Telegraph Canyon Road. Additional sub-regional sewage system facilities will be necessary to adequately serve SPA #1 and SPA #2 at buildout. In the context of SPA #1 development to date, off-tract trunk sewer connections have been completed to collection facilities within East "H" Street and Corral Canyon Road, and along Proctor Valley Road.

These existing facilities are to be utilized to serve the needs of SPA areas within other basins pending phased implementation of additional sub-regional sewer facilities. Existing trunk sewer capacity needs to be closely monitored. Monitoring of the existing 15-inch sewer trunk line in Telegraph Canyon Road is being provided by EastLake through the existing sewage monitoring agreement with the City. Prior to the time that existing capacity limitations are reached, the following public facilities must be implemented:

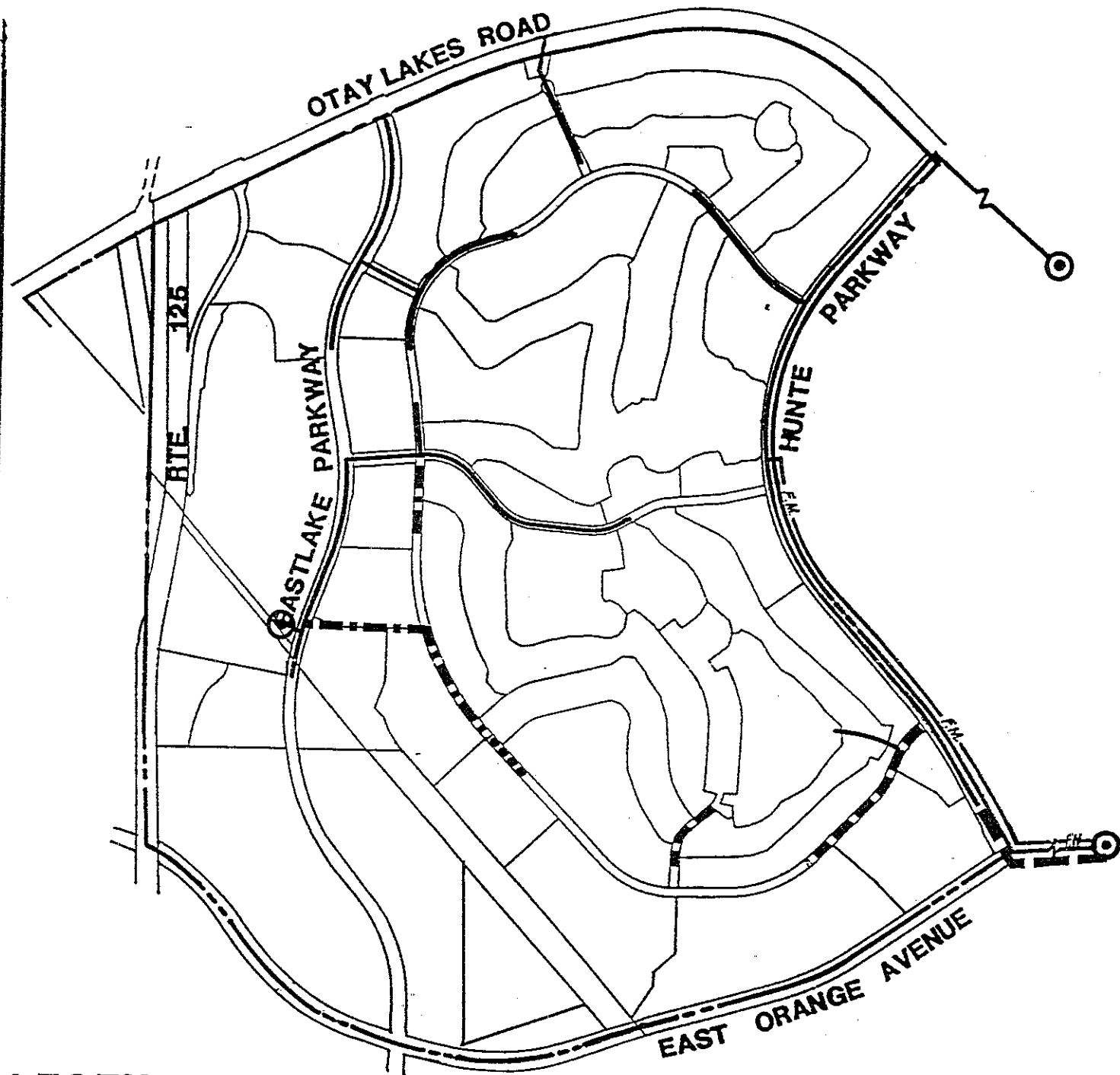
1. Install one or more of the following as necessary to serve a portion of the SPA #2 area as well as other future development:

- a. Install a new trunk sewer parallel to portions of the existing Telegraph Canyon trunk sewer, to provide additional capacity for temporary pumping from the Salt Creek and Poggi Canyon basins.
- b. Extend a new trunk sewer southerly along Salt Creek to the Otay River Valley and then westerly to the City of Chula Vista's existing collection system. This would gravity sewer to the Salt Creek basin portion of the property but still require pumping of the Poggi Canyon Basin flow.

In 1990, the City entered into an agreement with EastLake Development Company whereby EastLake would fund the preparation of an Improvement and Financing Plan for sewer improvements within the Telegraph Canyon sewer basin in return for permission to pump flows into the basin on a temporary basis. The plan was to allocate cost responsibility for providing trunk sewer improvements and ensure that such improvements were provided in a timely manner such that the capacity of the trunk sewer was not exceeded. A report was prepared which identified the improvements necessary to accommodate gravity sewage flows generated within the basin to build-out. Recognizing that further improvements within the Telegraph Canyon sewer basin would be required to serve additional development in the Salt Creek and Poggi Canyon basins, the report was revised to identify the improvements necessary to accommodate the addition of pumped flows originating from selected development in those basins, including EastLake South Greens. The report identified four phases of development to reach build-out within the basin. According to the report, the existing system has sufficient capacity for approximately the first three development phases. During phases III and IV the construction of additional facilities will be required to accommodate all projected development. The City has established a fee program for new development to finance such improvements. The report also recommends monitoring of sewer flows as existing capacity is approached to assure improvements can be provided when necessary.

The City has initiated a monitoring program to determine the impacts of additional gravity and pumped flows to the existing facilities in the basin. The EastLake South Greens project, along with other projects in the area, will contribute fees as they develop to provide financing for Telegraph Canyon basin improvements when they are required. Since the monitoring and fee program is in place to provide new facilities when required, any needed improvements to serve the pumped flows from EastLake South Greens should be in place when required.

The planned wastewater collection system for SPA #2 is shown on Exhibit D. Interim pumping to the Telegraph Canyon Basin is proposed for the portions of the project which ultimately drain to the Salt Creek and Poggi Canyon basins. These pump stations will be abandoned or relocated when one or more of the above referenced permanent alternatives is implemented.



LEGEND

EXIST.

SOUTH GREENS PHASE 1



SOUTH GREENS PHASE 2



SOUTH GREENS PHASE 3



IMP HOUSE

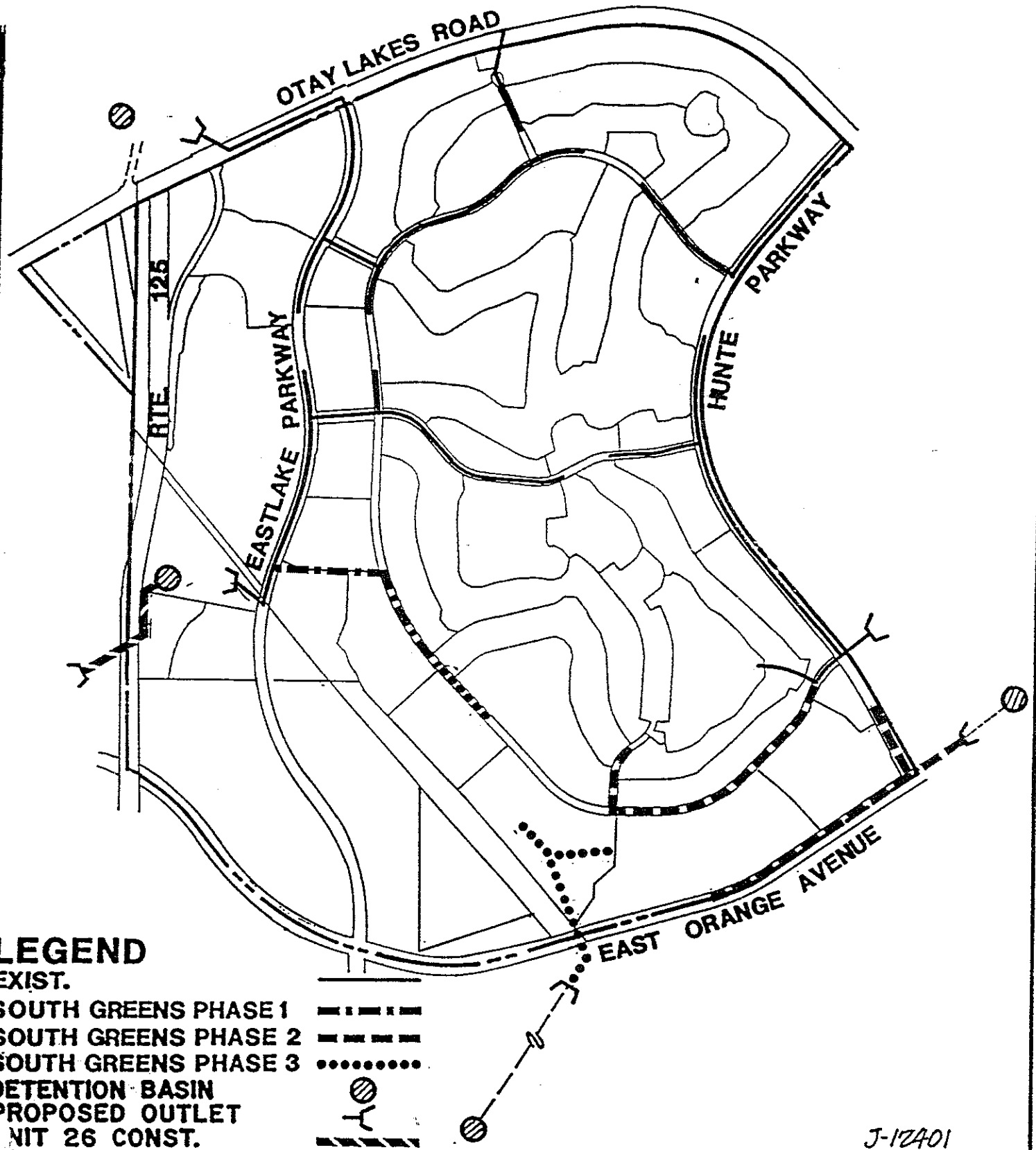


J-12401

WASTE WATER COLLECTION PLAN

EXHIBIT D

RICK ENGINEERING COMPANY



STORM WATER DRAINAGE PLAN

EXHIBIT E

RICK ENGINEERING COMPANY

Drainage

SPA #2 will be served by a series of on-site drainage facilities that will serve to collect and convey the stormwater runoff. Facilities will be designed to handle peak discharges in accordance with City standards. These facilities consist of a series of surface conveyances, desilting basins, transmission pipelines, and detention basins (temporary and permanent). Stormwater runoff will be detained in on-site detention basins and discharged to off-site areas in the Telegraph Canyon, Salt Creek and Poggi Canyon basins. The Baldwin Company, owner of the adjacent property, has agreed to accept these flows and provide for the detention of peak flows downstream within their project. The planned stormwater drainage system is shown on Exhibit E.

As an alternative to the construction and maintenance of large basins, improvement of the Telegraph Canyon Channel has been undertaken through the creation of a drainage district funded by fees collected from all undeveloped properties within the boundaries of the district. Since adopted, such fees are required from SPA #2 within the district boundaries.

Stormwater runoff from the EastLake South Greens project will be detained in on-site basins and discharged to off-site areas in the Poggi Canyon or Salt Creek drainage basins as shown in Exhibit E.

School Facilities

SPA #1 and SPA #2 are both located within the Sweetwater Union High School District and Chula Vista Elementary School District. In December 1986, EastLake Development Company entered into Agreements with the Sweetwater Union High School District and Chula Vista Elementary School District authorizing the formation of Community Facilities Districts for the purpose of financing high school, middle school and elementary school capacity to serve the EastLake Community, including SPA #1 and SPA #2. A Community Facilities District under the Mello-Roos legislation is currently in place for financing all school facilities to meet the needs of SPA #1 and SPA #2.

In compliance with the December 1986 Agreement between Sweetwater Union High School District and EastLake Development Company, EastLake Development Company has provided to the Sweetwater Union High School District a site for a senior high school of forty-nine gross acres. SPA #2 shall not be subject to the payment of school impact fees for secondary school facilities. (Reference is made to the Agreement between Sweetwater Union High School District and EastLake Development Company dated December 11, 1986 and "Special Tax Consultant Report" dated June 1986 for specifics.)

In accordance with the December 1986 Agreement between Chula Vista Elementary School District and EastLake Development Company, EastLake Development Company has agreed to sell to the Chula Vista Elementary School District four school sites of approximately ten (10) net usable acres each within the entire EastLake development. The purchase price for such property shall be the lesser of twenty percent (20%) of the appraised value of the site or \$23,000 per acre, adjusted annually.

In September 1988, in partial satisfaction of this Agreement, the Chula Vista Elementary School District acquired an elementary school site within the SPA #1 area. A second elementary school site has been provided within SPA #2. In addition to the authorization of a special tax and issuance of bonds, the Chula Vista Elementary School District has authorized a maximum impact fee of \$600 per residential dwelling unit, subject to annual escalation adjustment (currently \$780), payable at time of building permit. (Reference is made to the Agreement between Chula Vista Elementary School District and EastLake Development Company dated December 9, 1986 and "Special Consultant Report" dated June 1986 for specifics.)

Parkland Dedication

Planned park and recreation uses within SPA #2 include the dedication of a 15.1 acre public community park which includes approximately 1.1 acres of slopes. The other recreational elements, which include three neighborhood parks totaling 9.9 net acres, are to be privately owned and maintained. Also, a 10 net acre public neighborhood park is proposed within the South Greens and will be maintained by the City of Chula Vista. In addition to the public neighborhood and community parks, and private neighborhood parks, a Community Trail System will provide a connection between all major focal points within SPA #2 and extend north into SPA #1 and east into EastLake Trails (See Exhibits F & G). Park and recreation facilities within SPA #2 are listed in the table below along with their net and credit acreage, per the adopted SPA Plan.

Table No. 1
PARK & RECREATION FACILITIES

<u>Projected Parcel#</u>	<u>Park Type</u>	<u>Net Acres</u>	<u>% Credit¹</u>	<u>Credit Acres</u>
P-1	Public Community Park*	12.9	100%	12.9
P-2	Private Neighborhood Park*	3.2	50%	1.6
P-3	Public Neighborhood Park	10.0	100%	10.0
P-4	Private Neighborhood Park*	3.7	50%	1.9
P-5	Private Neighborhood Park	3.0	50%	1.5
	Golf Course/Public Trails	1.1	100%	<u>1.1</u>
TOTALS		33.9		29.0

*INDICATES COMPLETED FACILITY

¹ACTUAL PARK CREDIT WILL BE BASED ON UNITS DEVELOPED AND THE FINAL PARK PLANS TO BE APPROVED BY THE DIRECTOR OF PARKS & RECREATION. THE AMOUNT OF PROJECTED EXCESS PARK CREDIT IS ONLY A PROJECTION. THE ACTUAL AMOUNT MAY BE HIGHER OR LOWER DEPENDING ON THE ACTUAL UNITS CONSTRUCTED AND THE FINAL PARK BOUNDARIES.

The Parkland Dedication Ordinance (PDO) requires approximately 24.5 acres of improved parkland for the revised SPA #2 project, according to the approved SPA Plan. EastLake Greens (SPA #2) is proposing a total of 33.9 net acres of usable public and private improved parkland, however, 9.9 acres is intended to consist of three private neighborhood parks. These private parks may receive up to a maximum of 50% parkland credit. Therefore, the 33.9 acre total will be reduced per the table above. SPA #2 is projected to meet the City's Parkland Dedication requirement, with a 4.5 acre surplus, according to the parkland analysis provided in the revised SPA Plan. [However, it should be noted that for the EastLake project overall there is still a deficit. Per the EastLake III Development Agreement in April 1990, EastLake is responsible for dedicating an additional 5 acres of usable, improved park area. Also per the EastLake III Development Agreement, the developer is responsible for dedicating an additional 2 acres of usable improved park area to make up for the loss of 2 acres in the EastLake Greens Community Park.]

Parkland Improvement

EastLake is proposing to provide the City with fully improved parks as follows: Community park (12.9 net acres), neighborhood park (10.0 net acres), 3 private neighborhood parks (9.9 net acres at a maximum of 50% credit), plus trails, for a total of 33.9 acres of usable improved parkland that may qualify for credit under the City Ordinance.

It shall be required that EastLake provide improvements at or beyond the above specified level as turn key park facilities or pay park fees in lieu thereof. The determination of park improvements, obligations and/or credit by the developer shall be based upon approval of acceptable design and improvement plans for parks by the Director of Parks and Recreation prior to recordation of the final map.

The Community Park was completed during the initial phase of SPA #2 (EastLake North Greens). It was the responsibility of the developer to prepare a master plan that is acceptable to the City Council, to grade the site according to that plan, and to install improvements. These improvements included street improvements, turf and an automatic irrigation system, landscaping, play areas and other amenities required by the PDO. The community park is located adjacent to the high school site to provide the opportunity for joint maintenance by the City and the Sweetwater Union High School District due to combined use of park and school facilities.

The Chula Vista Community Park Master Plan contemplated the construction of a community center and gym. With the FY 1992-93 budget, the City decided to defer the construction of those facilities and proceed with the balance of the community park construction at an improvement level of \$2.6 million. It was further agreed that the implementation of a gymnasium would be paid for through an advance of Park, Acquisition and Development (PAD) Funds with the first final map of EastLake Trails in an amount of \$1.5 million. This requirement is further documented in the EastLake III Development Agreement dated May, 1990.

As the Community Center was not constructed nor guaranteed, EastLake will be required to bond \$700,000 for the Center. In addition, the City may require EastLake to address any shortfall in improvement monies between the total amount of PAD fees that would have been paid by the Greens Project at buildout compared to the amount of park improvements credited through turnkey public park construction and private park credits. The PAD fees credit shall be those fees in place at the time final maps for the Greens are approved.

The construction of the community center could be funded from a variety of sources including but not limited to future PAD fee obligations, interest accrued that the City is holding from earlier park fees paid for construction of the EastLake Community Park, and park obligations from the "land swap" parcel that EastLake will be developing in the future as well. Future interest accrual on any monies the City is holding for EastLake Park may also be used for the Community Center construction.

Phasing of parkland improvements is addressed in Chapter III.

All of the open space and public parks will be provided through select open space easements and/or offer of dedication to the City of Chula Vista. Private parks will be subject to open space easements which are intended to guarantee the City of Chula Vista that private parks will remain as recreational amenities. Maintenance of the public community park and public neighborhood parks will be provided by the City. Maintenance of the golf course and clubhouse facilities will be the responsibility of the operator and will be independent of the Homeowner's Association. Maintenance of private parks and open space areas will be provided by property owners through Homeowner Associations, open space maintenance districts or similar mechanisms.

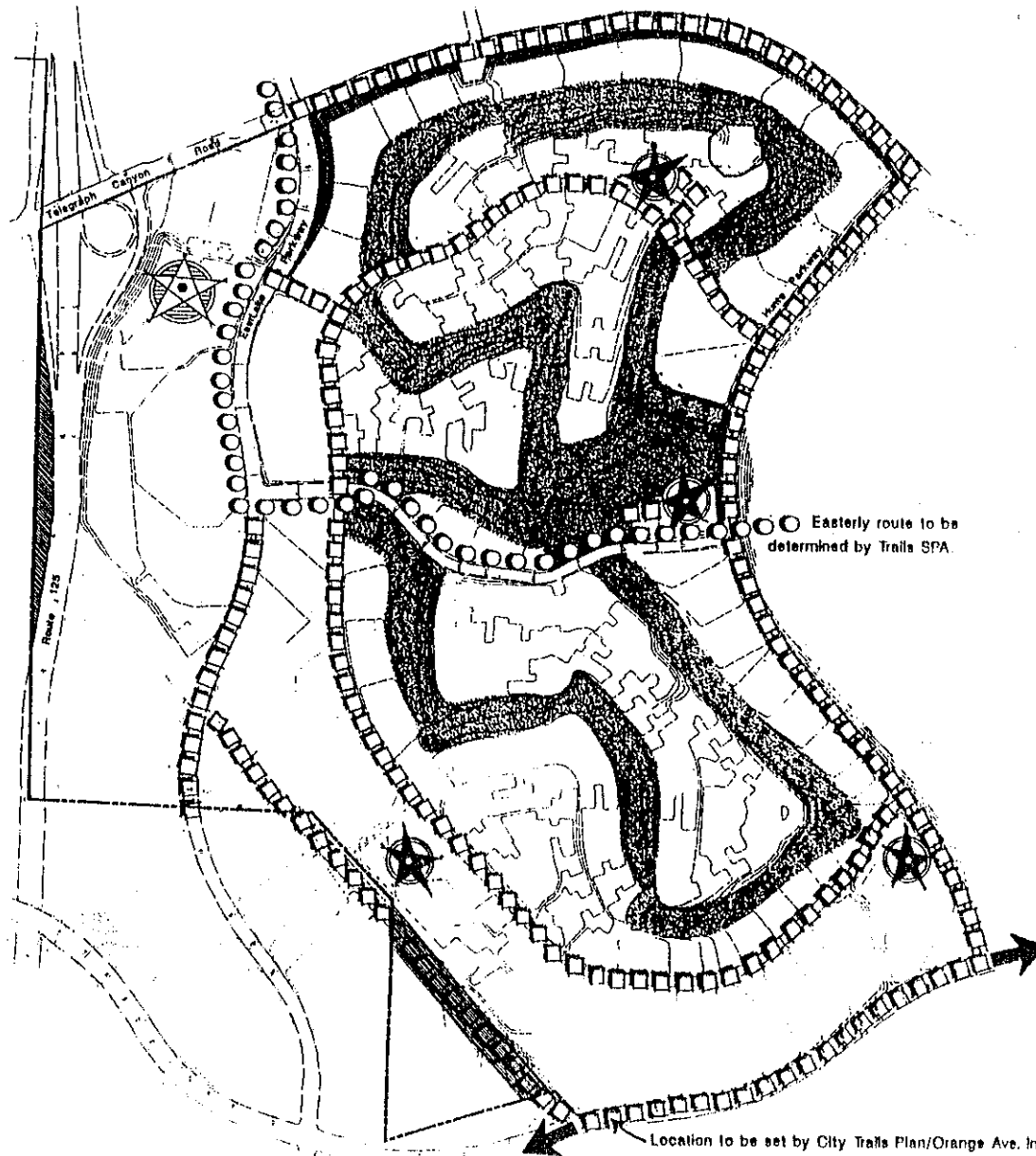
Street Lighting and Landscape Maintenance




Funding for the maintenance of landscaped street medians, landscaped parkways and supplemental street lighting within public right-of-ways or dedicated maintenance easements are borne by the benefitted property owners through a Maintenance District established under the provisions of the Lighting and Landscape Act of 1972 (Division 15, Part 2, Streets and Highway Code).

Currently, all of SPA #1 and a portion of SPA #2 are within the boundaries of EastLake Maintenance District No. 1, approved and adopted by the City of Chula Vista December 17, 1985, which maintains street medians and parkways. The balance of SPA #2 will be annexed to EastLake Maintenance District No. 1.

A Homeowners Association has been formed in EastLake Greens (SPA #2) to maintain landscaping located on private common areas and open space not accepted by the City for maintenance.

Parks/ Open Space

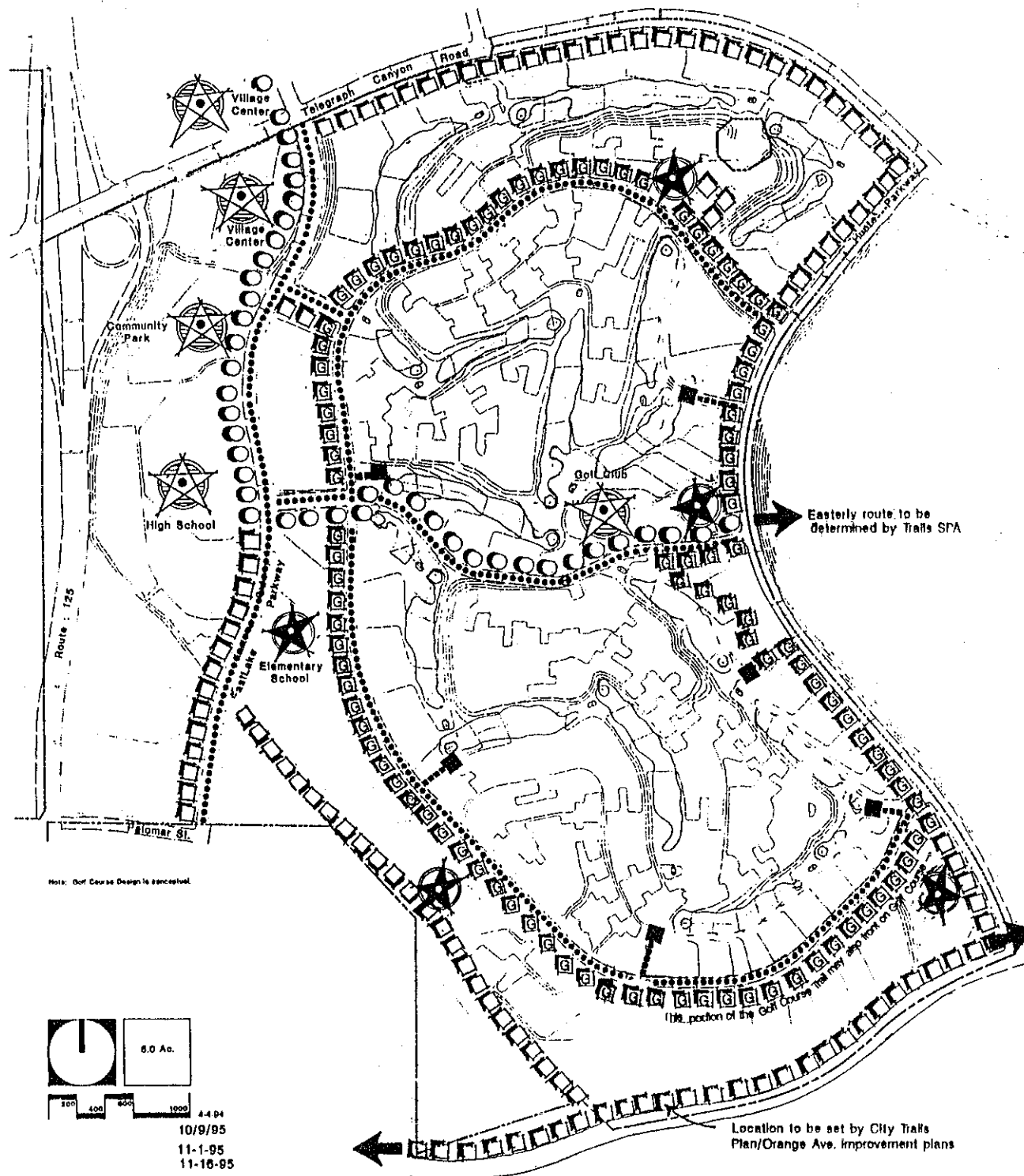


	ACRES
 Community Park	15.1
 Neighborhood Parks	21.5
 Golf Course	180.4
 Open Space	30.8
TOTAL	227.8
 Community Trail (Thematic Corridor)	
 Pedestrian Walks	

EASTLAKE GREENS

A Planned Community in
the City of Chula Vista

Trails Plan



- Golf Course Vista Point/Rest Stop
- Pedestrian Walk
- Golf Course Neighborhood Trail (Trail markers - shaded)
- Community Trail (Thematic Corridor)
- Bikeway (On Street)
- Major Landmark
- Minor Landmark

Note: All trails to be coordinated with the Planning Dept/Parks & Rec. Dept

EASTLAKE GREENS

A Planned Community in the City of Chula Vista

Mass Transit

The EastLake Planned Community Transportation Plan (1982), based on analysis of proposed land uses, expected travel demands and other characteristics of the area, concluded that public transit demands could best be served through extension of the existing public bus system. Extension of this system should occur as EastLake population growth generates sufficient demands to justify additions to the Chula Vista transit system line haul.

Public mass transit is provided by Chula Vista Transit which operates a bus system within the city of Chula Vista. The system has been extended to the EastLake Planned Community as increased population and demand have justified. No service is currently provided to SPA #2. The nearest service is within the EastLake Business Center, north of Telegraph Canyon Road. Continued expansion of transit service is expected to occur as further development within the vicinity warrants.

Library

Library facilities are provided by the Chula Vista Library Department. In 1991, the City adopted a DIF program to pay for nine categories of public facilities including libraries. The SPA #2 project is located within the boundaries of the public facilities DIF program and will be subject to payment of the fee in effect at the time building permits are issued.

As an obligation of SPA #1, a one-acre library site shall be dedicated to the City of Chula Vista if the City determines that a branch library site is appropriate within the EastLake Planned Community area. If needed, the library site would be incorporated within the EastLake Village Center area with the actual site to be determined by the City in the context of subsequent site plan approval processes associated with the project area. Alternative locations within future EastLake SPA's will also be considered.

As a further obligation, the Developer was required to provide the City of Chula Vista with up to 4,000 square feet within the EastLake Village Center for interim storefront library purposes. This obligation has been met through participation agreements for the joint city/school district library on the EastLake High School campus. This experimental program began operation in 1993 at EastLake High School. This facility currently provides library services to the EastLake project area.

Fire Protection

Fire protection services for SPA #1 and #2 will be provided by the City of Chula Vista. The development of SPA #1 and #2 will require the construction of a 3,500 square foot permanent fire station to serve the local area.

The previous Public Facilities Financing Plan for SPA #1 established provisions for the payment of fees for the construction of a fire station to serve EastLake SPA #1 and a portion of SPA #2.

The schedule for constructing and equipping the fire station to service the EastLake SPA #1 areas shall be in accordance with the City's Fire Station Master Plan.

Services to the EastLake South Greens project and surrounding area is served by an interim fire station located within the EastLake Business Center which was provided by EastLake Development Company. Location of a permanent station to serve the area will be determined as development occurs within the response area.

Fire facilities are included in the Public Facilities DIF program adopted by the City in 1991. SPA #2 is located within the boundaries of the public facilities DIF program and will be subject to payment of the fee in effect at the time building permits are issued. These fees may be off-set by DIF credit granted for provision of the interim fire station.

Police Protection

The city of Chula Vista will increase police service levels as the service area continues to grow. Expansion in the eastern territories has created, however, a need to improve communication facilities. Two specific identified needs include a communications tower or antenna and an improved computer-aided dispatching system. Costs for these are estimated at \$24,000 and \$530,000, respectively. The police facilitates will be of overall City benefit and will require City-wide financing.

Police facilities are included in the Public Facilities DIF program adopted by the City in 1991. The EastLake South Greens project is located within the boundaries of the public facilities DIF program and will be subject to payment of the fee in effect at the time building permits are issued.

B. SUMMARY OF SPA #2 PROJECTS

EastLake North Greens

<u>Project #</u>	<u>Amount</u>	<u>Method of Financing</u>
53* Construct EastLake Parkway as a 4-lane Major between Otay Lakes Road and SDG&E transmission easement	\$3,020,000	Subdivision Exaction/ Future Assessment District
54* Construct Clubhouse Drive as a 4-lane Major between EastLake Parkway and North Greensview	\$350,000	Subdivision Exaction/ Future Assessment District
55* Construct North Greensview as a 2-lane Collector between Clubhouse Drive and Hunte Parkway	\$2,600,000	Subdivision Exaction
56* Construct Neighborhood Park #1 (Augusta Park, P-2)	\$590,000	Development Impact Fee for Parks
57* Construct EastLake Community Park (P-1)	\$2,758,752	Development Impact Fee for Parks
58* Construct Greensgate as a 4-lane Major between EastLake Parkway and North Greensview	\$540,000	Subdivision Exaction/ Future Assessment District
59* Construct Clubhouse Drive as a 2-lane Collector between North Greensview and Hunte Parkway	\$1,566,000	Subdivision Exaction/ Future Assessment District
60* Realign/construct Otay Lakes Road to a full section Major between Lane Avenue and Hunte Parkway	\$4,575,000	Subdivision Exaction/ Transportation DIF/ Future Assessment District
61* Construct Neighborhood Park (Country Club Park, P-4)	\$1,130,000	Development Impact Fee for Parks
62* Construct EastLake High School, Phase 1	\$12,209,000	Community Facilities District #1

* INDICATES COMPLETED FACILITY

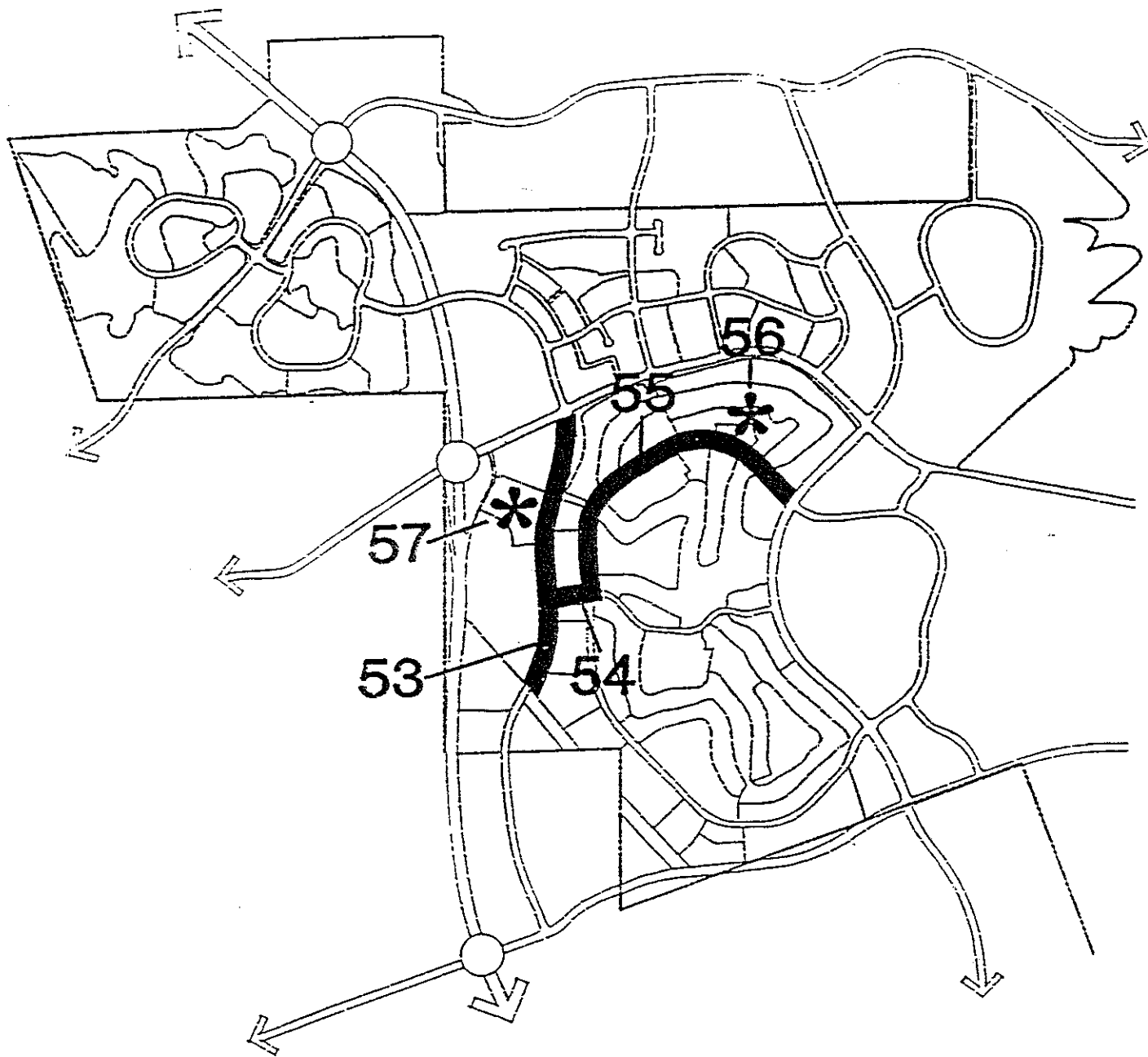
EastLake North Greens (cont'd)

<u>Project No.</u>	<u>Amount</u>	<u>Method of Financing</u>
63** Construct OWD terminal storage reservoir	\$21,600,000	Improvement District
63a Increase pumping capacity of EastLake Pump Station from 4,000 to 8,000 GPM	N/AV	General Obligation Bonds
63b* Add 2 MG capacity at ID 22-1 reservoir site	N/AV	Subdivision Exaction/ Assessment District
64+ Construct water reclamation plant, pump station and transmission main connection to OWD reclaimed water system,	\$3,000,000	Subdivision Exaction/ Future Assessment District
<u>or</u>		
65+ Extend new trunk sewer southerly along Salt Creek to Otay River Valley then westerly to existing Chula Vista System	\$7,650,720	Subdivision Exaction/ Sewer DIF
66* Construct Hunte Parkway to a full width Major between Otay Lakes Road and Clubhouse Drive	\$1,000,000 _____	Transportation DIF/ Assessment District
NORTH GREENS TOTAL	\$59,589,472	

* INDICATES COMPLETED FACILITY

** INDICATES FACILITY UNDER CONSTRUCTION

+ PROJ. NO. 65 SELECTED; PROJ. NO. 64 NOT TO BE CONSTRUCTED & NOT IN TOTAL COST



**Cinti
& Associates**

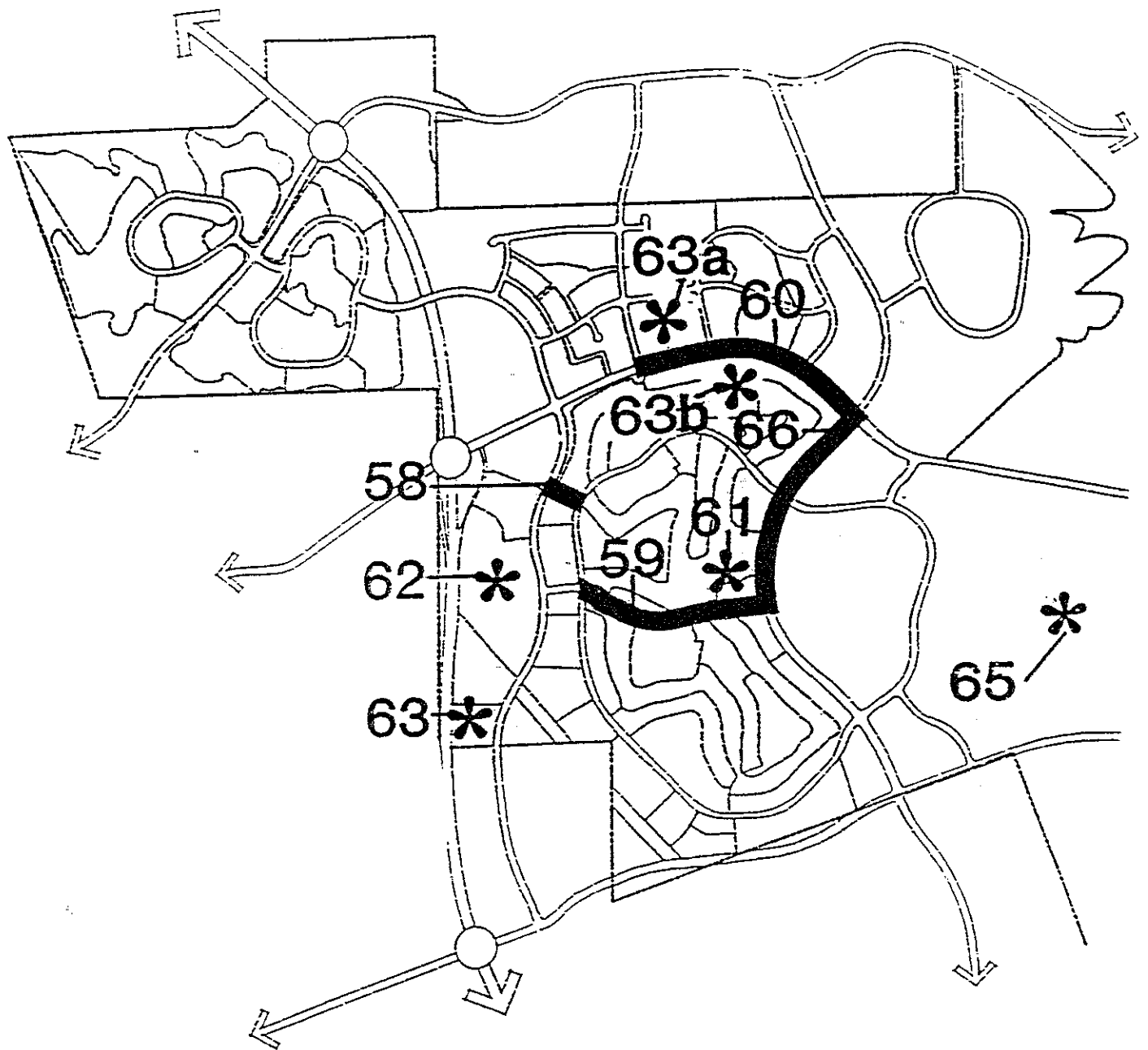
San Diego, CA 92108 234-0115

1/13/89



**EASTLAKE NORTH GREENS
PHASE I ON-SITE IMPROVEMENTS**

MAP 1
WILLDAN/SIMPSON



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& Associates
San Diego, CA 92101-230-1015

4/4/89



EASTLAKE NORTH GREENS
PHASE I ON-SITE IMPROVEMENTS

MAP 2

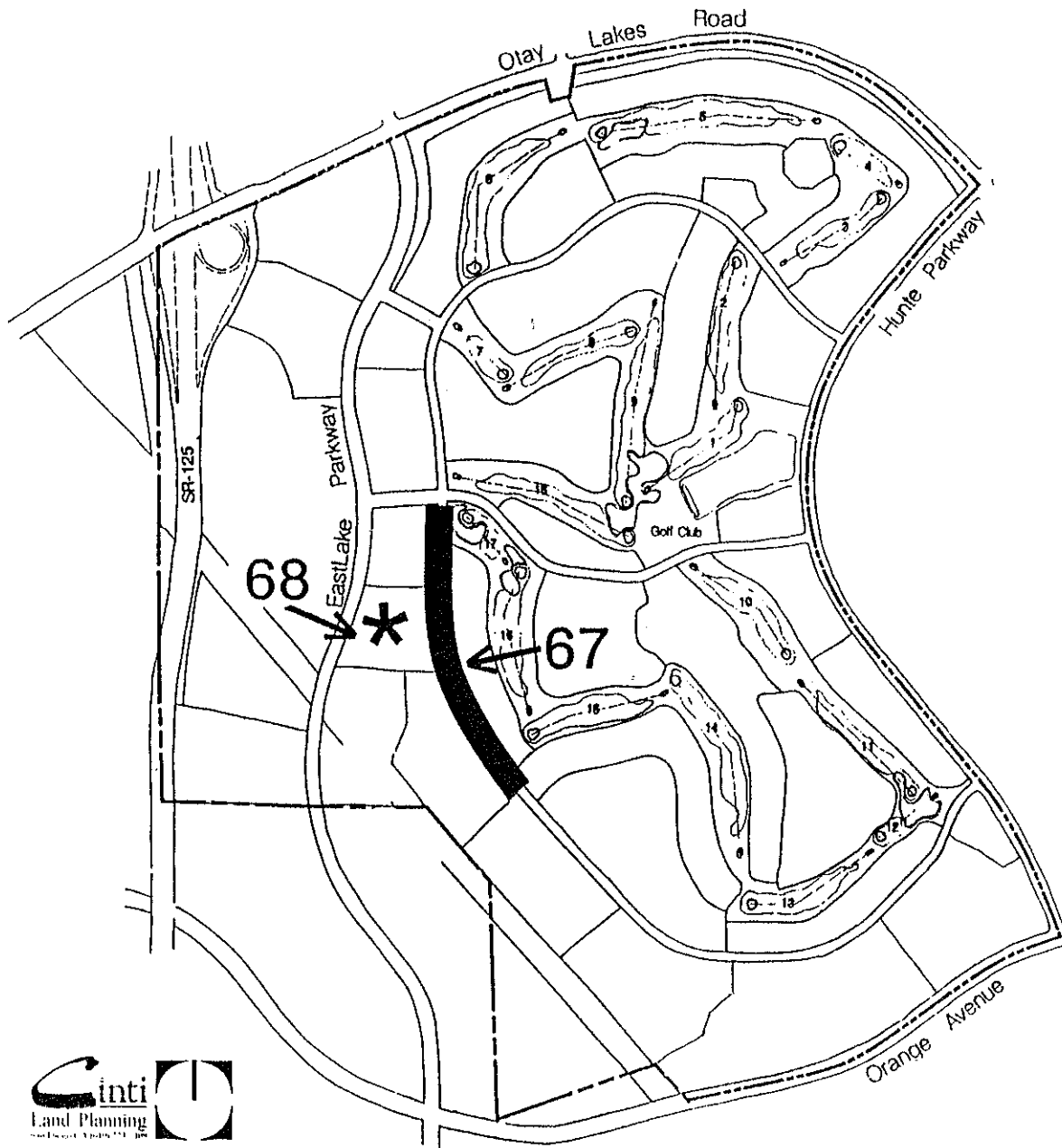
WILLDAN/SIMPSON

EastLake South Greens - Phase 1

<u>Project No.</u>	<u>Amount</u>	<u>Method of Financing</u>
67* Construct South Greensview Drive as a 2-lane collector from Clubhouse Drive to Unit 6 with utilities and underground improvements	\$1,206,500	Subdivision Exaction/ Assessment District
68* Construct Elementary School #2	<u>\$4,975,000</u>	Community Facilities District #1
SOUTH GREENS - PHASE 1 TOTAL	\$6,181,500	

* INDICATES COMPLETED FACILITY

South Greens Phase 1 Projects



Rev. 6/23/95
9/28/95

EASTLAKE GREENS

A Planned Community in
the City of Chula Vista

EastLake South Greens - Phase 2

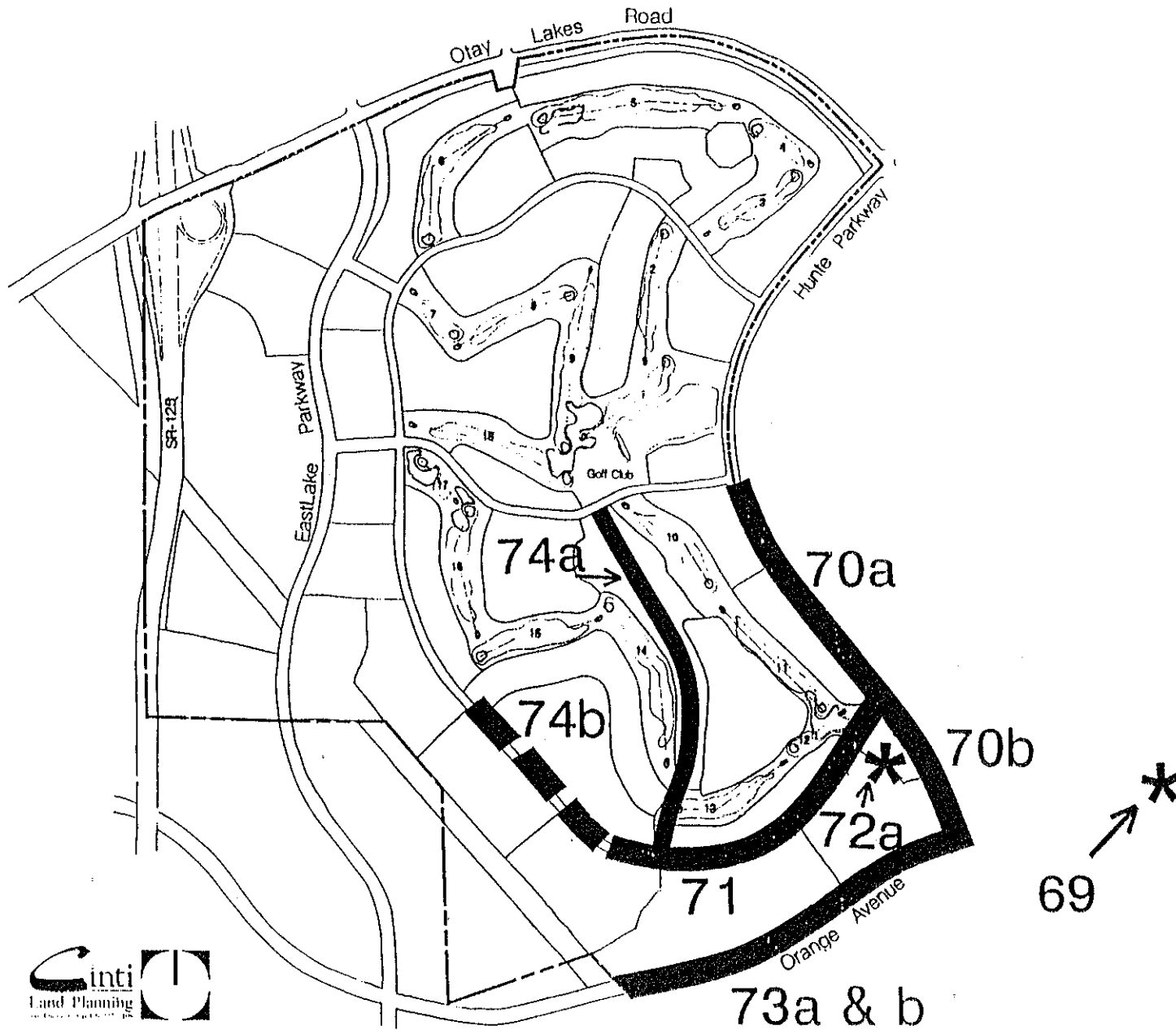
<u>Project #</u>		<u>Amount</u>	<u>Method of Financing</u>
69	Construct East Orange Avenue Sewage Pump Station	\$350,000	Subdivision Exaction
70a	Construct Hunte Parkway as a 4-lane major from Clubhouse Drive to South Greensview	\$938,000	Transportation DIF/ Assessment District
70b	Construct Hunte Parkway as a 4-lane major from South Greensview to East Orange Avenue (required with improvement of East Orange Ave. from Hunte to OTC or with Phase 2, whichever occurs first)	\$700,000	Transportation DIF/ Assessment District
71	Construct South Greensview Drive as a 2-lane Collector between Hunte Parkway and Silverado Drive with utilities and underground improvements	\$1,919,500	Subdivision Exaction/ Assessment District
72a	Grade Greens South Park (HOA Park, P-5)	\$5,000	Park Fees/Developer Contribution
73a	Grade half-width East Orange Ave. from Hunte Parkway to the westerly SDG&E easement boundary with storm drain improvements	\$307,500	Transportation DIF/ Assessment District
73b	Grade full-width and construct full-width improvements for East Orange Ave. to the westerly SDG&E easement boundary (as required by TM condition, or as revised by City Engineer and approved by Council)	\$5,000,000	Transportation DIF

EastLake South Greens - Phase 2 (cont'd.)

<u>Project #</u>		<u>Amount</u>	<u>Method of Financing</u>
74a	Construct Silverado Drive from Clubhouse Drive to So. Greensview Drive per condition on TM	\$500,000	Subdivision Exaction
	<u>or</u>		
74b	Construct that portion of So. Greens- view Drive included in Phase 3 per terms of the Acquisition Agreement	\$1,000,000# _____	Subdivision Exaction/ Assessment District
SOUTH GREENS - PHASE 2 TOTAL		\$9,720,000	

cost included in Phase 3 total

South Greens Phase 2 Projects



Rev. 8/23/95
9/28/95

EASTLAKE GREENS

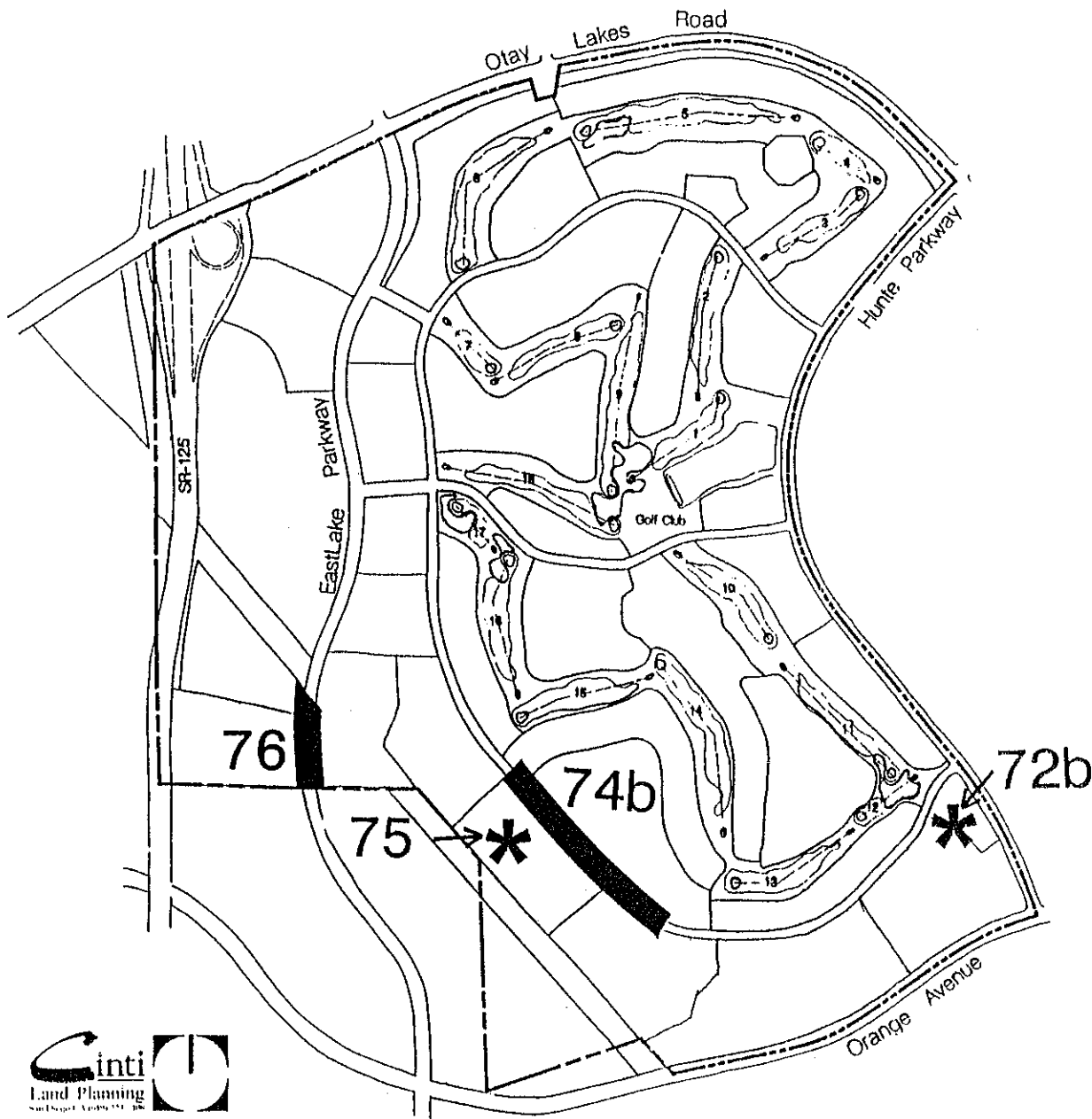
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Map 4

EastLake South Greens - Phase 3

<u>Project #</u>		<u>Amount</u>	<u>Method of Financing</u>
72b	Improve Greens South Park (HOA Park, P-5)	\$595,000	Park Fees/Developer Contribution
74b	Construct South Greensview Drive as a 2-lane collector from Unit 6 to Silverado Drive with utilities and underground improvements	\$1,000,000	Subdivision Exaction/Assessment District
75	Grade and improve Neighborhood Park (City Park, P-3)	\$1,100,000	Park Fees
76	Construct EastLake Parkway as a 4-lane Major between the SDG&E easement and the SPA #2 boundary as needed to provide access to development sites	\$860,000	Transportation DIF/Assessment District
SOUTH GREENS - PHASE 3 TOTAL		\$3,555,000	

South Greens Phase 3 Projects



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9/28/95

EASTLAKE GREENS

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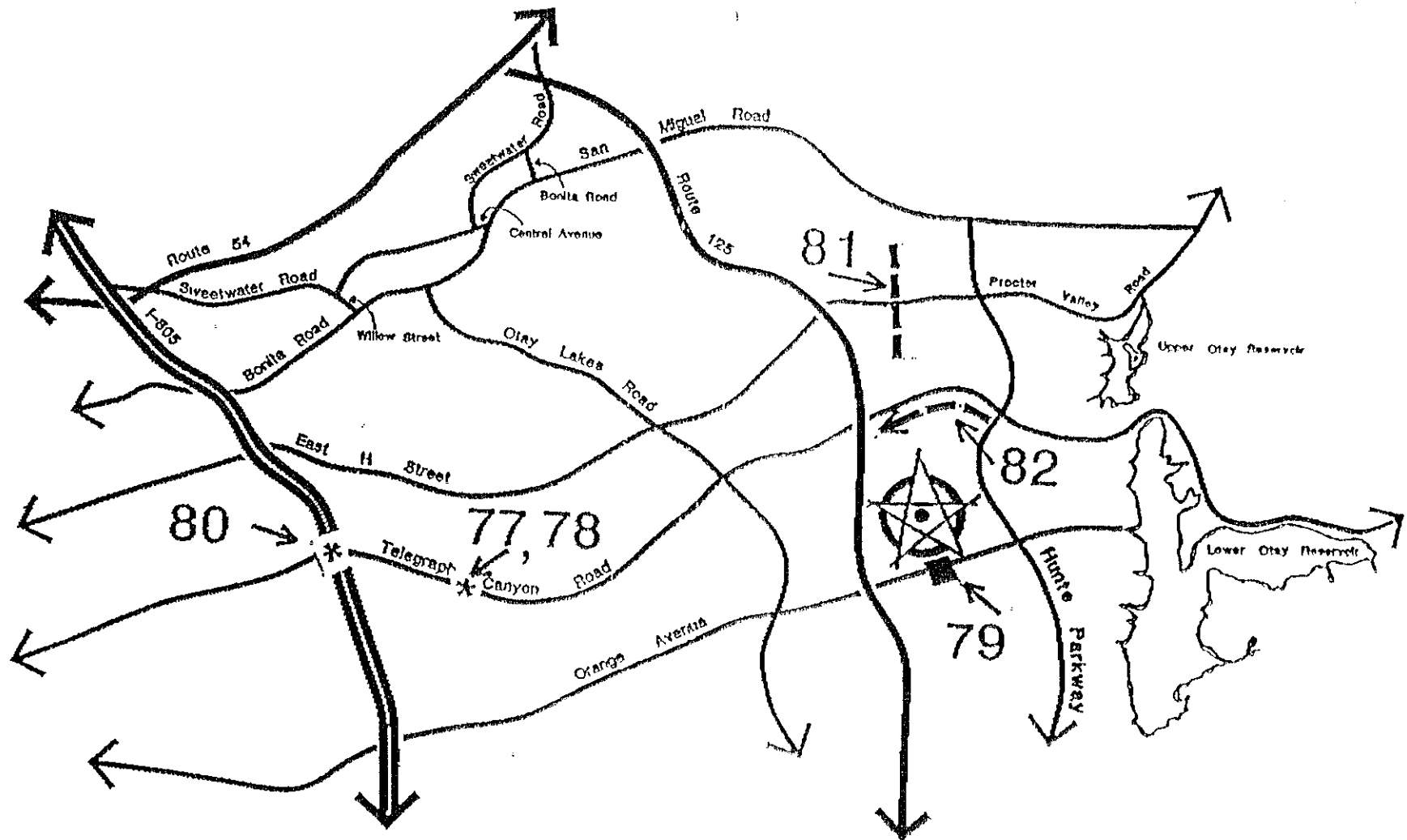
Map 5

SPA #2 (EastLake Greens) Off-Sites

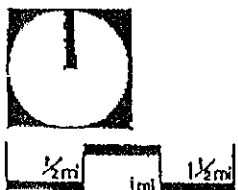
The following projects are regional in nature. The funding and timing of their construction is controlled primarily by DIF programs. The listing below describes the anticipated contribution to these programs by EastLake Greens.

<u>Project #</u>	<u>Amount</u>	<u>Method of Financing</u>
77 Install traffic signal improvements on Telegraph Canyon Rd. at Canyon Plaza Shopping Center between I-805 to Paseo del Rey	\$110,000	Transportation DIF/ Traffic Signal Fund
78 Re-time traffic signal improvements along Telegraph Canyon Road	\$25,000	City Staff/Traffic Signal Fund
79 Construct/extend EastLake Parkway as a 4-lane Major between the SPA #2 boundary and East Orange Avenue	N/AV	Transportation DIF/ Assessment District
80 Install eastbound dual left turn lanes at I-805/Telegraph Canyon Road interchange (*Phase 1 to provide additional turn lane complete, Phase 2 to provide 1 additional eastbound lane through the intersection)	\$100,000	Transportation DIF
81* Construct reclaimed water distribution main from OWD Use Area to existing main in Lane Avenue	\$750,000	Dedication by Developer
82 Construct parallel trunk sewer in Telegraph Canyon Road from Hunte Parkway to a yet to be defined point downstream	\$3,221,000 _____	Subdivision Exaction/ Sewer DIF
Greens - Off-Sites Subtotal	\$4,206,000	
GREENS - PHASE 3 TOTAL	\$7,761,000	

* INDICATES COMPLETED FACILITY



Project Location



Cinti
& Associates
IN 11-200-10176

OFF-SITE FACILITIES

**EASTLAKE
GREENS**

A Planned Community In
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C. SPA #2 PHASING

The EastLake North Greens development phase of SPA #2 is complete except for residential parcel R-22. The anticipated phasing for the EastLake South Greens project is expected to include three phases as depicted on Map 7. A brief description of each phase is presented below:

North Greens

EastLake North Greens includes a golf course, 1,175 dwelling units, 19.6 acres of commercial development, a high school and community park, and two private parks.

South Greens

Phase 1

Phase 1 includes approximately 351 dwelling units and construction of the elementary school.

Phase 2

Phase 2 includes approximately 721 dwelling units, grading of the private neighborhood park and construction of the sewage pump station.

Phase 3

Phase 3 includes approximately 186 dwelling units, full development of the public neighborhood park and completion of the private park.

Future Phase

This phase includes a residential parcel which has an interim designation on the Site Utilization Plan. It is anticipated that this parcel will be subject of a SPA Plan amendment prior to development. Any necessary PFFP revisions would be included in that amendment. Parcels in this phase are R-26, R-9, and FU (305 DU per current Site Utilization Plan). Although geographically linked to the parcels with an interim designation, parcels R-26, PQ-1 and PQ-2 may be developed as permitted by the adopted SPA Plan and PC Regulations, once infrastructure is available to serve them (completion of project #76 in Phase 3). No PFFP projects are included in this phase.

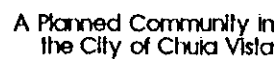
The map illustrates the North Greens area, featuring a complex network of land parcels. The parcels are labeled with various codes, including R-1, R-2, R-3, R-4, R-5, R-6, R-7, R-8, R-9, R-10, R-11, R-12, R-13, R-14, R-15, R-16, R-17, R-18, R-19, R-20, R-21, R-22, R-23, R-24, R-25, R-26, R-27, R-28, R-29, R-30, R-31, R-32, R-33, R-34, R-35, R-36, R-37, R-38, R-39, R-40, R-41, R-42, R-43, R-44, R-45, R-46, R-47, R-48, R-49, R-50, R-51, R-52, R-53, R-54, R-55, R-56, R-57, R-58, R-59, R-60, R-61, R-62, R-63, R-64, R-65, R-66, R-67, R-68, R-69, R-70, R-71, R-72, R-73, R-74, R-75, R-76, R-77, R-78, R-79, R-80, R-81, R-82, R-83, R-84, R-85, R-86, R-87, R-88, R-89, R-90, R-91, R-92, R-93, R-94, R-95, R-96, R-97, R-98, R-99, R-100, R-101, R-102, R-103, R-104, R-105, R-106, R-107, R-108, R-109, R-110, R-111, R-112, R-113, R-114, R-115, R-116, R-117, R-118, R-119, R-120, R-121, R-122, R-123, R-124, R-125, R-126, R-127, R-128, R-129, R-130, R-131, R-132, R-133, R-134, R-135, R-136, R-137, R-138, R-139, R-140, R-141, R-142, R-143, R-144, R-145, R-146, R-147, R-148, R-149, R-150, R-151, R-152, R-153, R-154, R-155, R-156, R-157, R-158, R-159, R-160, R-161, R-162, R-163, R-164, R-165, R-166, R-167, R-168, R-169, R-170, R-171, R-172, R-173, R-174, R-175, R-176, R-177, R-178, R-179, R-180, R-181, R-182, R-183, R-184, R-185, R-186, R-187, R-188, R-189, R-190, R-191, R-192, R-193, R-194, R-195, R-196, R-197, R-198, R-199, R-200, R-201, R-202, R-203, R-204, R-205, R-206, R-207, R-208, R-209, R-210, R-211, R-212, R-213, R-214, R-215, R-216, R-217, R-218, R-219, R-220, R-221, R-222, R-223, R-224, R-225, R-226, R-227, R-228, R-229, R-230, R-231, R-232, R-233, R-234, R-235, R-236, R-237, R-238, R-239, R-240, R-241, R-242, R-243, R-244, R-245, R-246, R-247, R-248, R-249, R-250, R-251, R-252, R-253, R-254, R-255, R-256, R-257, R-258, R-259, R-260, R-261, R-262, R-263, R-264, R-265, R-266, R-267, R-268, R-269, R-270, R-271, R-272, R-273, R-274, R-275, R-276, R-277, R-278, R-279, R-280, R-281, R-282, R-283, R-284, R-285, R-286, R-287, R-288, R-289, R-290, R-291, R-292, R-293, R-294, R-295, R-296, R-297, R-298, R-299, R-300, R-301, R-302, R-303, R-304, R-305, R-306, R-307, R-308, R-309, R-310, R-311, R-312, R-313, R-314, R-315, R-316, R-317, R-318, R-319, R-320, R-321, R-322, R-323, R-324, R-325, R-326, R-327, R-328, R-329, R-330, R-331, R-332, R-333, R-334, R-335, R-336, R-337, R-338, R-339, R-340, R-341, R-342, R-343, R-344, R-345, R-346, R-347, R-348, R-349, R-350, R-351, R-352, R-353, R-354, R-355, R-356, R-357, R-358, R-359, R-360, R-361, R-362, R-363, R-364, R-365, R-366, R-367, R-368, R-369, R-370, R-371, R-372, R-373, R-374, R-375, R-376, R-377, R-378, R-379, R-380, R-381, R-382, R-383, R-384, R-385, R-386, R-387, R-388, R-389, R-390, R-391, R-392, R-393, R-394, R-395, R-396, R-397, R-398, R-399, R-400, R-401, R-402, R-403, R-404, R-405, R-406, R-407, R-408, R-409, R-410, R-411, R-412, R-413, R-414, R-415, R-416, R-417, R-418, R-419, R-420, R-421, R-422, R-423, R-424, R-425, R-426, R-427, R-428, R-429, R-430, R-431, R-432, R-433, R-434, R-435, R-436, R-437, R-438, R-439, R-440, R-441, R-442, R-443, R-444, R-445, R-446, R-447, R-448, R-449, R-450, R-451, R-452, R-453, R-454, R-455, R-456, R-457, R-458, R-459, R-460, R-461, R-462, R-463, R-464, R-465, R-466, R-467, R-468, R-469, R-470, R-471, R-472, R-473, R-474, R-475, R-476, R-477, R-478, R-479, R-480, R-481, R-482, R-483, R-484, R-485, R-486, R-487, R-488, R-489, R-490, R-491, R-492, R-493, R-494, R-495, R-496, R-497, R-498, R-499, R-500, R-501, R-502, R-503, R-504, R-505, R-506, R-507, R-508, R-509, R-510, R-511, R-512, R-513, R-514, R-515, R-516, R-517, R-518, R-519, R-520, R-521, R-522, R-523, R-524, R-525, R-526, R-527, R-528, R-529, R-530, R-531, R-532, R-533, R-534, R-535, R-536, R-537, R-538, R-539, R-540, R-541, R-542, R-543, R-544, R-545, R-546, R-547, R-548, R-549, R-550, R-551, R-552, R-553, R-554, R-555, R-556, R-557, R-558, R-559, R-560, R-561, R-562, R-563, R-564, R-565, R-566, R-567, R-568, R-569, R-570, R-571, R-572, R-573, R-574, R-575, R-576, R-577, R-578, R-579, R-580, R-581, R-582, R-583, R-584, R-585, R-586, R-587, R-588, R-589, R-590, R-591, R-592, R-593, R-594, R-595, R-596, R-597, R-598, R-599, R-600, R-601, R-602, R-603, R-604, R-605, R-606, R-607, R-608, R-609, R-610, R-611, R-612, R-613, R-614, R-615, R-616, R-617, R-618, R-619, R-620, R-621, R-622, R-623, R-624, R-625, R-626, R-627, R-628, R-629, R-630, R-631, R-632, R-633, R-634, R-635, R-636, R-637, R-638, R-639, R-640, R-641, R-642, R-643, R-644, R-645, R-646, R-647, R-648, R-649, R-650, R-651, R-652, R-653, R-654, R-655, R-656, R-657, R-658, R-659, R-660, R-661, R-662, R-663, R-664, R-665, R-666, R-667, R-668, R-669, R-670, R-671, R-672, R-673, R-674, R-675, R-676, R-677, R-678, R-679, R-6

Parcels: R-25; R-3; (no.50%); R-15
R-20; R-28

Parcels: R-27; R-1; R-3 (so. 50%);
R-6; R-12; R-10; R-18; R-16

Parcels: R-23; R-4

Parcels: R-9; R-26; FU



D. SUMMARY OF COSTS TO BUILDOUT

North Greens	\$59,589,472
South Greens - Phase 1	\$6,181,500
South Greens - Phase 2	\$9,720,000
South Greens - Phase 3	\$3,555,000
South Greens Off-Sites	<u>\$4,206,000</u>
TOTAL	\$82,943,000

CHAPTER III

PUBLIC FACILITY PHASING REQUIREMENTS FOR DEVELOPMENT

A. SPA #2 (EASTLAKE GREENS) PROJECT PHASING

The EastLake Greens (SPA #2) on-site improvements by phase are summarized in Table 2 below:

Table No. 2
IMPROVEMENT PHASING STATUS

<u>Phase</u>	<u>Proposed Development SPA #1</u>	<u>Project No.</u>	<u>Page Number</u>
North Greens	1,175 DUs, HS, Community & 2 Neighborhood Parks, 19.6 Ac. Commercial	53 to 66	26-29
South Greens			
1	351 DUs, Elem. School	67, 68	30-31
2	721 DUs, grade P-5 park, construct sewage pump station	69 to 74a	32-34
3	186 DUs, complete P-5 park, construct P-3 park	72b, 74b to 76	35-36
Future Phase	305 DUs	None	--

B. PHASING PROGRAM for REGIONAL FACILITIES

Regional or area-wide serving facilities are generally included in the various DIF programs (transportation, public facilities, Telegraph Canyon Sewer Basin, etc.) and will be provided as required with financing secured. The provisions of the Chula Vista Growth Management Program, including the threshold standards for specific facilities and services will be the overriding control on development, as noted in the introductory chapter of this plan.

C. PHASING PROGRAM for PARKLAND

Parkland is to be provided according to a 3 acres/1000 population standard. Per the analysis in the adopted SPA Plan, SPA #2 as whole may exceed this standard depending upon the final resolution of credits for the proposed private parks and as qualified by the EastLake III Development Agreement which requires additional park acreage in EastLake III. The following table provides a phasing analysis of the provision of improved parkland using parkland standards from the Park Dedication Ordinance, unit type assumptions from the adopted SPA Plan, and phasing from this PFFP.

Table No. 3
IMPROVED PARKLAND PHASING

<u>SPA #2</u> <u>Phase</u>	<u>Res. DU</u>	<u>Park Req'd.</u>	<u>Parks Complete</u>	<u>Surplus/ Deficit</u>
North	1,175	10.5 ac.	P-1 (12.9 credit ac.) P-2 (1.6 credit ac.) P-4 (1.9 credit ac.)	+5.9 ac.
South				
1	351	3.2 ac.	None	+2.7
2	721	6.8	None	-4.1
3	186	1.8	P-3 (10.0 credit ac.) P-5 (1.5 credit ac.) Golf Course/ Trails (1.1 credit ac.)	+6.7
Future	305	2.2 ac.	None	+4.5
TOTALS	2,738	24.5 ac.	29.0 credit ac.	+4.5

CHAPTER IV

PUBLIC FACILITIES AND INFRASTRUCTURE FINANCING

A. OVERVIEW

EastLake Development Company and the City will ensure the appropriate public facility financing mechanisms are utilized to fund the acquisition, construction and maintenance of public facilities required to support the planned development of the EastLake Greens (SPA #2) project, in compliance with the city's Growth Management Program.

Public facilities are generally provided or financed in one of the following ways:

- | | |
|---------------------------------|---|
| 1. Subdivision Exaction | Developer constructed and financed as a condition of project approval. |
| 2. Development Impact Fee (DIF) | Funded through the collection of an impact fee. Constructed by the public agency or developer constructed with a reimbursement or credit against specific fees. |
| 3. Debt Financing | Funded using one of several debt finance mechanisms. Constructed by public agency or developer. |

It is anticipated that all three methods will be utilized for the SPA #2 project to construct and finance public facilities.

B. REVIEW of FINANCING PROGRAMS AVAILABLE and in PLACE in PLAN AREA

Subdivision Exactions

Neighborhood level public improvements will be constructed simultaneously with related subdivisions. Through the use of the Subdivision Map Act, it is the responsibility of the developer to provide for all local street, utility and recreation improvements. The use of subdivision conditions and exactions, where appropriate, will ensure that the construction of neighborhood facilities is timed with actual development.

The imposition of subdivision conditions and exactions does not preclude the use of other public facilities financing mechanisms to finance the public improvements, where appropriate.

Development Impact Fee Programs

Development Impact Fees (DIF) are imposed by various governmental agencies, consistent with State law, to contribute to the financing of capital improvements within the city of Chula Vista. The distinguishing factor between a fee and a subdivision exaction is that exactions are required

of a specific developer for a specific project whereas fees are levied on all development projects within the benefit area, pursuant to an established formula.

The SPA #2 project, through policy decisions by the City and other governing agencies, is subject to fees established to help defray costs of facilities which will benefit SPA #2 and areas beyond this specific project. These fees include but may not be limited to:

1. *Eastern Chula Vista Transportation Impact Fee* - Street DIF established to provide financing for circulation element road projects of regional significance in the area east of I-805.
2. *Public Facilities Development Impact Fee* - Public Facilities DIF established to collect funds for civic center facilities, police facility remodeling, corporation yard relocation, libraries, fire suppression system, geographical information system, mainframe computer, telephone system upgrade and a records management system.
3. *Park Acquisition and Development Fees* - PAD fee established to pay for the acquisition and development of new park facilities.
4. *Traffic Signal Fees* - to pay for traffic signals associated with circulation element streets.
5. *Telegraph Canyon Sewer Basin Fee* - fee established to pay for sewer basin improvements necessitated by increased flows from future development and pumping of sewage from other basins into the basin.
6. *Telegraph Canyon Pumped Sewer Fee* - fee established to pay for system upgrades within the Telegraph Canyon Sewer Basin to accommodate flows generated outside of the basin.
7. *Salt Creek Sewer DIF* - fee established to pay for sewer basin improvements necessitated by increased flows from future development which gravity flow to the Salt Creek Basin.
8. *Interim SR 125 DIF* - fee established to pay for an interim transportation facility in the SR 125 corridor alignment.
9. *Otay Water District Fees* - It should be noted that OWD will require annexation to an existing improvement district or creation of some other finance mechanism which may result in specific fees being modified. As noted earlier, SPA #2 is within the OWD Improvement Districts Nos. 22 and 27.

Debt Finance Programs

The city of Chula Vista has used assessment districts to finance a number of street improvements, as well as sewer and drainage facilities. The Otay Municipal Water District has used such improvement districts for water system improvements. Both school districts have implemented Mello-Roos Community Facility Districts to finance school facilities.

Assessment Districts

Special assessment districts may be proposed for acquiring, constructing and/or maintaining certain public improvements under the Municipal Improvement Act of 1913, the Improvement Bond Act of 1915, and the Lighting and Landscape Act of 1972. The general administration of the special assessment district is the responsibility of the public agency.

Special assessment financing may be appropriate when the value or benefit of the public facility can be assigned to specific properties. Assessments are levied in specific amounts against each individual property on the basis of relative benefit. Special assessments may be used for both publicly dedicated on-site and off-site improvements.

Mello-Roos Community Facilities Act of 1982

The Mello-Roos Community Facilities Act of 1982 authorizes formation of community facilities districts which impose special taxes to provide financing for certain public facilities or services. Facilities which can be provided under the Act include the purchase, construction, expansion, or rehabilitation of:

1. Local park, recreation, or parkway facilities;
2. Elementary and secondary school sites and structures;
3. Libraries; and,
4. Any other governmental facilities that legislative bodies are authorized to construct, own or operate.

Other Finance Methods

General Fund

The city of Chula Vista's general fund supports many public services throughout the city. The facilities and services included in the general fund are those which benefit not only a new project, but also the residents of the city in general. In most cases, other financing mechanisms are more appropriate to initially construct or provide the facility or service. The general fund would then be used to fund the on-going operation and maintenance costs of the facility once it is accepted by the City.

State and Federal Funding

Although rarely available to fund an entire project, federal and state financial and technical assistance programs are available to public agencies, in particular school districts which receive significant funding from the state. EastLake High School was financed partially with state funds. The city of Chula Vista has also received state funds to construct the Montgomery/Otay Library.

Dedications

Dedication of sites by developers for public capital improvements is a common financing tool used to acquire land. In the case of SPA #2, the following public facility sites are expected to be conveyed through dedication:

1. Public streets; and,
2. Public park, open space and trail systems.

Homeowner Associations

Community Homeowner Associations have been/will be formed to manage, operate and maintain private recreation, landscape and open space.

Developer Reimbursement Agreements

Certain facilities that are off-site of the SPA #2 project and/or provide regional benefits may be constructed in conjunction with the development of the project. In such instances, developer reimbursement agreements will be executed to provide for a future payback to cover the additional cost of these facilities. Other future developments will be required to contribute their fair share of the costs for the regional facility which will provide funds for the reimbursement.

Development Agreement

A development agreement can play an essential role in the implementation of the PFFP. The PFFP clearly details all public facility responsibilities and assures that the construction of all necessary public improvements will be appropriately phased with actual development, while the development agreement identifies the obligations and requirements of both parties, the City and developer. A development agreement has been entered into by the city of Chula Vista and EastLake Development Company for the development of the EastLake Greens SPA (SPA #2), including the EastLake South Greens project.

CHAPTER V

IMPLEMENTATION

As stated earlier, this document is intended to further address public facility needs associated with EastLake Greens (SPA #2).

The Public Facilities Financing Plan is intended to both identify the various public facilities required to support planned development of the SPA #2 Plan and to insure that these public facilities are provided at the time they are needed. In so doing, the Public Facilities Financing Plan designates not only on-site public facility needs but also endeavors to address regional or area-wide improvements needed to serve the adopted SPA Plans plus cumulative planned growth within adjacent areas.

It is understood that assumed growth projections and related public facility needs are subject to a number of external factors such as the state of the economy, the City's future land use approval decisions, etc. It is also understood that the funding sources specified herein may change due to financing programs available in the future or requirements of either state or federal law. It is intended that revisions to cost estimates and funding programs be handled administratively whereas revisions to the related facilities-driven growth "phases" are to be accomplished through a Public Facilities Financing Plan update process.

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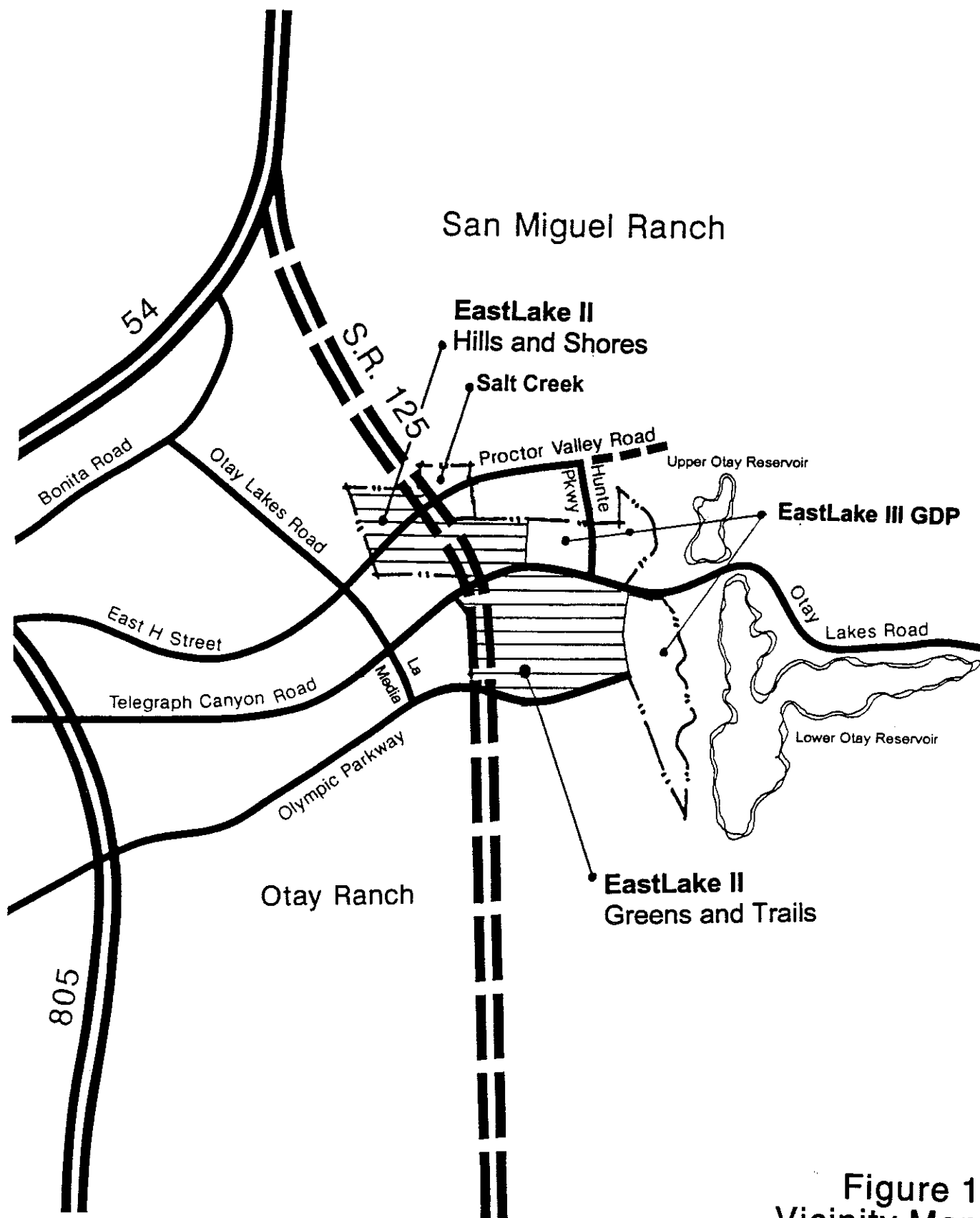
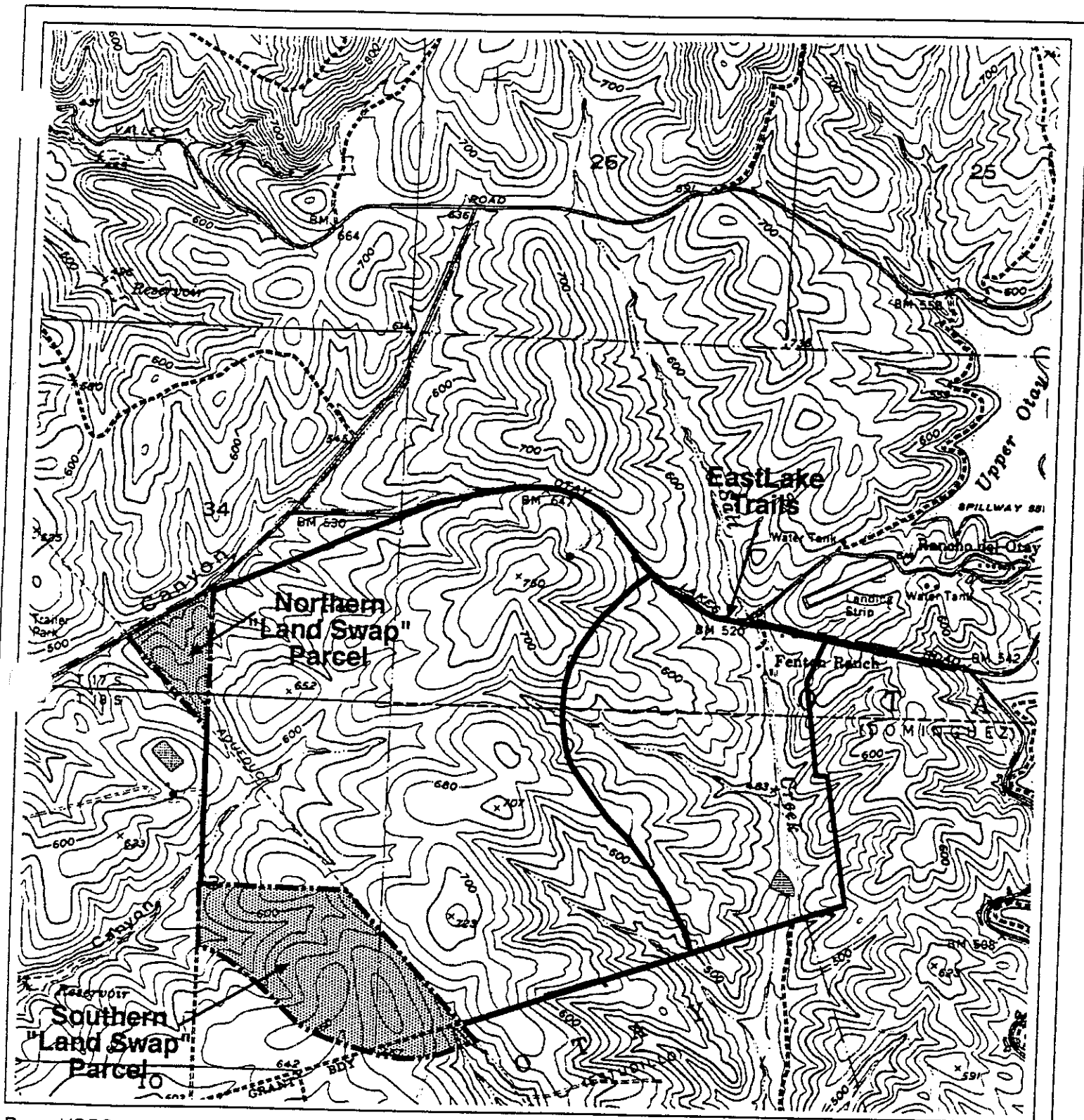


Figure 1
Vicinity Map



Base: USGS 7.5 Minute Jamul Mountains quadrangle

**EASTLAKE
GREENS**

Figure 2
Location & Topography



**burkett
& wong**



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A. EXECUTIVE SUMMARY

This supplemental PFFP to the EastLake Greens PFFP (dated December 12, 1995) addresses the public facility needs associated with the EastLake Greens SPA Plan "Land Swap" parcels. The supplement has been prepared under the requirements of the City of Chula Vista's Growth Management Program and Implementation Ordinance Number 2448. Further, this supplement is a hybrid meant to bridge the gap between current version of the EastLake Greens PFFP and the city's current guidelines.

The preparation of a supplemental PFFP is required in conjunction with the preparation of the Amended Sectional Planning Area (SPA) Plan to insure that the future development of the "Land Swap" parcels is consistent with the overall goals and policies of the City's General Plan, Growth Management Program and the Amended EastLake II General Development Plan (GDP) to ensure that the development of the project will not adversely impact the City's Quality of Life Standards. This supplemental PFFP meets the policy objectives of the EastLake II GDP.

The phasing of the development of the "Land Swap" parcels is undefined at this time. The northern "Land Swap" parcel can develop based upon market demand. It is anticipated that the commercial development of the southern "Land Swap" parcel will not occur until the SR 125 corridor is developed and market forces create demand. The residential development of the southern "Land Swap" parcel, however, may develop before the development of the SR 125 corridor. However, the EastLake Parkway (between its current terminus and the future location of Olympic Parkway) and the associated potable water, recycled water, sewer system expansions must be constructed in conjunction with any proposed development of the southern "Land Swap" parcel.

1. Public Facility Cost and Fee Summary

The following discussion identifies and summarizes the various facility costs associated with development of the EastLake "Land Swap" project. The facilities and their cost are identified in detail in Section C of this supplemental PFFP. Each subsection indicates a recommended financing alternative for threshold facilities based upon current City practices and policies. However, where another financing mechanism may be shown at a later date to be more effective, the City may implement such other mechanisms in accordance with City policies. In addition, Section D summarizes the public facility phasing and associated costs within a table format.

Transportation DIF Fees generated by the EastLake "Land Swap" parcels total \$9,335,480. Fees are also generated for Pre-SRI 25 facilities \$1,914,700 and for traffic signals \$491,270.

Backbone sewer and water improvements will be funded, in part, through the payment of DIF fees and capacity fees established for these purposes. Onsite facilities will be funded by the developer.

The total costs for the "Land Swap" parcels CIP Potable Water facilities are approximately \$1,520,000. According to the Otay Water District policy No. 26, the District will provide reimbursement for construction and design costs associated with development of these improvements.

The total cost for the "Land Swap" parcels CIP Recycled Water facilities are approximately \$1,110,000.

The total cost for Wastewater for the northern "Land Swap" parcel is \$45,448. The northern "Land Swap" parcel is within the Telegraph Canyon Gravity Basin DIF.

The cost for Wastewater for the southern "Land Swap" is either \$406,100 or \$598,920 depending upon the timing of the development and availability of facilities. Payment of the Poggi Canyon Basin DIF is \$406,100. : Payment of the Telegraph Canyon Basin Pumped Fee is \$598,920.

The estimated costs for providing school facilities is based on historic data available from the Chula Vista Elementary School District and the Sweetwater Union High School District. Both districts follow state standards for determining the costs and size for school construction. The costs, including land acquisition, for high school are approximately \$16,004 per student (1995 dollars). Excluding land, the cost is \$12,700 per student. The costs, including land acquisition, for a middle school are approximately \$13,401 per student (1995 dollars). Excluding land, the cost is \$10,508 per student. The costs, including land acquisition, for an elementary school are approximately \$12,520 per student (1995 dollars). Excluding land, the cost is \$10,115 per student.

Parks and open space will be funded through the payment of Park Acquisition and Development Fees (PAD fees), dedication, and developer exactions. The EastLake "Land Swap" parcels will generate approximately \$2,242,500 in PAD (development portion only) fee revenues.

Police, fire and emergency medical services, library, civic center, corporation yard, and other public facilities will be funded from revenues generated from the payment of Public Facilities Development Impact Fees at building permit issuance. These fee revenues total approximately \$1,471,500.

2. Public Facility Thresholds

City Council Resolution Number 13346 identified eleven different public facilities and services with related threshold standards and implementation measures. The following is a summary of the threshold compliance by the "Land Swap" parcels:

- Based upon the traffic analysis prepared for the EastLake Trails project (Linscott, Law & Greenspan, June 29, 1998), threshold compliance is projected to be maintained with implementation of the improvements identified therein and with the payment of transportation DIF fees or the construction of street improvements also identified therein. EastLake "Land Swap" shall be conditioned to pay Transportation DIF Fees and Interim Pre-SR 125 DIF Fees at the rate in effect at the time building permits are issued.
- The Otay Water District's Water Resource Master Plan and the Sub-Area Master Plan (SAMP) identify water facilities to be constructed that will provide the necessary water service to meet the district criteria. The developer shall request and deliver to the City a service availability letter from the Otay Water District prior to each final map. In addition the developer will provide water improvements according to the (SAMP).
- Provide Recycled water improvements according to the SAMP. Recycled water requirements for the project will be coordinated by the Otay Water District and the City of Chula Vista. The phased construction of recycled water facilities, based on the SAMP, will be incorporated into the conditions of approval for a future subdivision map.
- The sewer facilities to accommodate sewer flows from the "Land Swap" parcels have been identified. The construction of new sewer trunk lines must be phased with the construction of streets, however, this would not apply to the upgrade of existing facilities. As such, the facilities identified in this supplemental PFFP shall be required of the developer either as constructed facilities or through the payment of fees.

- As future development applications are processed in the Eastern Territories, the City shall coordinate with each school district to ensure that development does not occur until acceptable school site(s) are identified and a financing mechanism satisfactory to each district is in place.
- When the "Land Swap" parcels are developed the City will need to determine if the Library facilities provided at that time are adequate to meet the Threshold Standard.
- The City will monitor Fire Department responses to emergency fire and medical calls and report the results to the GMOC on an annual basis.
- The City will monitor police responses to calls for service in both the Emergency (priority one) and Urgent (priority two) categories and report the results to the GMOC on an annual basis.
- The City continues to provide a development forecast to the APCD in conformance with the threshold standard. A separate Air Quality Improvement Plan is provided as part of the SPA document.
- Civic Center facilities and Corporate Yard facilities will be funded through the collection of the public facilities fees at the rate in effect at the time building permits are issued.

B. INTRODUCTION

This document is a supplement to the approved EastLake Greens PFFP (dated December 12, 1995). The supplement addresses public facility needs associated with the EastLake Greens SPA Plan "Land Swap" parcels. Further, the supplemental PFFP identifies each improvement needed to service the "Land Swap" property, the phasing and the appropriate funding sources.

The implementing actions covered by the Public Facilities and Financing Plan are:

- Use of Public Financing Mechanisms where applicable
- Construction of major streets and sewer, water and drainage facilities
- Internal subdivision improvements pursuant to the Subdivision Map Act
- Provision of schools, parks and other public facilities
- Maintenance of certain facilities such as private parks, open space areas and street medians.

1. Background

In 1992, The EastLake and Baldwin Companies completed a land exchange involving three parcels of land which are commonly known as the "Land Swap" parcels. The "Land Swap" parcels originally consisted of 157 acres. A total of 15.3 acres of the 157 acres was added to several EastLake Greens parcels (R-10, R-12, R-20, P-3), and Olympic Parkway Right-of-Way. This acreage is already included in the currently adopted EastLake Greens SPA. The remaining balance of 141.7 acres would be added to the Greens SPA with the proposed amendment.

Since 1989, development has substantially progressed throughout the EastLake Greens SPA and numerous public facility improvements have been made both on- and off-site. The development of the EastLake Greens SPA is nearly complete. This PFFP amendment reflects the latest changes as a result of the addition of the "Land Swap" to the EastLake Greens SPA Plan (Figure 3). The current EastLake Greens PFFP (dated December 12, 1995) has been amended three times. The most recent amendment was conducted as part of a GDP/SPA Plan amendment approved on December 12, 1995.

This Supplemental PFFP together with the December 12, 1995, approved PFFP provides the description of infrastructure needs such as sewer, water, road, storm drainage, schools, parks, fire station, libraries and transit facilities, plus a development phasing schedule, estimated costs of public facilities and financing methods.

2. Purpose

The purpose of this document is to supplement the approved EastLake Greens PFFP (dated December 12, 1995). This supplement addresses public facility needs associated with the "Land Swap" parcels. Regarding required public facilities needs, the supplemental PFFP identifies a preliminary cost estimate for each improvement installation, phasing and appropriate funding sources.

The purpose of all PFFP's in the City of Chula Vista is to implement the City's Growth Management Program and to meet the General Plan goals and objectives, specifically those of the Growth Management Element. The Growth Management Program ensures that development occurs only when the necessary public facilities and services exist or are provided concurrent with the demands of new development. The Growth Management Program requires that a PFFP be prepared for every new development project which requires either SPA Plan or tentative map

approval. Similarly, amendments to a SPA Plan require an amendment or in this case a supplement to the PFFP.

The PFFP is intended to be a dynamic and flexible document. The goal of the Financing Plan is to assure adequate levels of service are achieved for all public facilities impacted by the project. It is understood that assumed growth projections and related public facility needs are subject to a number of external factors, such as the state of the economy, the City's future land use approval decisions, etc. It is also understood that the funding sources specified herein may change due to financing programs available in the future or requirements of either state or federal law. It is intended that revisions to cost estimates and funding programs be handled as administrative revisions, whereas revisions to the facilities-driven growth phases are to be accomplished through an update process via an amendment to or a supplement to the PFFP.

3. Assumptions

There are a number of key assumptions implicit to this supplemental PFFP. The assumptions play a major part in determining public facility needs, the timing of those needs and the staging of growth corresponding to the various facilities. Key land use and phasing assumptions can be summarized as follows:

- a. The proposed 1998 SPA Plan Amendment is limited to the annexation of the land known as the "Land Swap" Area into the EastLake Greens SPA Plan boundary. The additional development parcels include:

• Parcel FC-1:	Freeway Commercial	50.7 acres
• Parcel PA-1:	Professional & Administrative	24.7 acres
• Parcel R-9:	Medium-High Density Residential (Multi-Family)	58.1 acres

(see Figure 4)
- b. Future development will be implemented in phases generally consistent with the information utilized in the City's Transportation Phasing Plan. Development of the "Land Swap" parcels is expected to be built and occupied by the year 2010 but not before the year 2005. The development of the "Land Swap" parcels, however, could occur before 2005 if certain infrastructure improvements are in place. These improvements include but are not limited to the upgrading of the Eastlake Parkway pump station, expansion of the water system, improvement of Eastlake Parkway between its existing terminus and the future alignment of Olympic Parkway. In addition, if Olympic Parkway is not completed additional traffic studies will be required. The EastLake Planned Community is subject to future land use approvals and growth management decisions.
- c. Land use allocation and intensity of development will be regulated by the EastLake Planned Community (PC) General Development Plan, PC District Regulations, and the EastLake Greens SPA Plan, as amended.

4. The Greens Annexation Areas

The existing EastLake Greens SPA Plan is illustrated in the December 19, 1995, PFFP. The EastLake Greens SPA Plan proposed amendment is shown in Figure 3. The proposed changes in land use designations are restricted to the "Land Swap" parcels and the southwest corner of the adopted SPA Plan adjacent to the southern "Land Swap" parcel. This Southwestern corner is undeveloped and is separated from the part of EastLake Greens where development has begun or is completed by the route of the Second San Diego Aqueduct, marked by an Open Space designation

in both the adopted and proposed SPA Plans. In that area, the proposed project would remove the "Future Urban" designation and expand the "R-9" designation from 8.5 to 65 acres. The SPA target density for the new R-9 designated parcel is an increase from 5.3 du/ac to 11.5 du/ac, yielding 750 du total on this parcel. Total residential units for this designation would increase by 705 units, and the total for the EastLake Greens SPA would also increase by 705 units, from 2,738 to 3,443.

Nonresidential use changes between the adopted and proposed EastLake Greens SPA Plan would include the addition of a 50.7 acre "Freeway Commercial" designation in the western part of the southern "Land Swap" parcel, and the addition of 24.7 acres of the "Professional and Administrative" designation in the northern "Land Swap" parcel. The net increase as a result of the "Land Swap" parcel annexation is 141.7 acres. The total added acreage includes 16.1 acres in circulation, easements and open space.

The EastLake Greens SPA plan also includes an elementary school site and nearby park within the residential neighborhood, and a high school and community park site within the Activity Corridor. The land use statistics are summarized in Table 1.

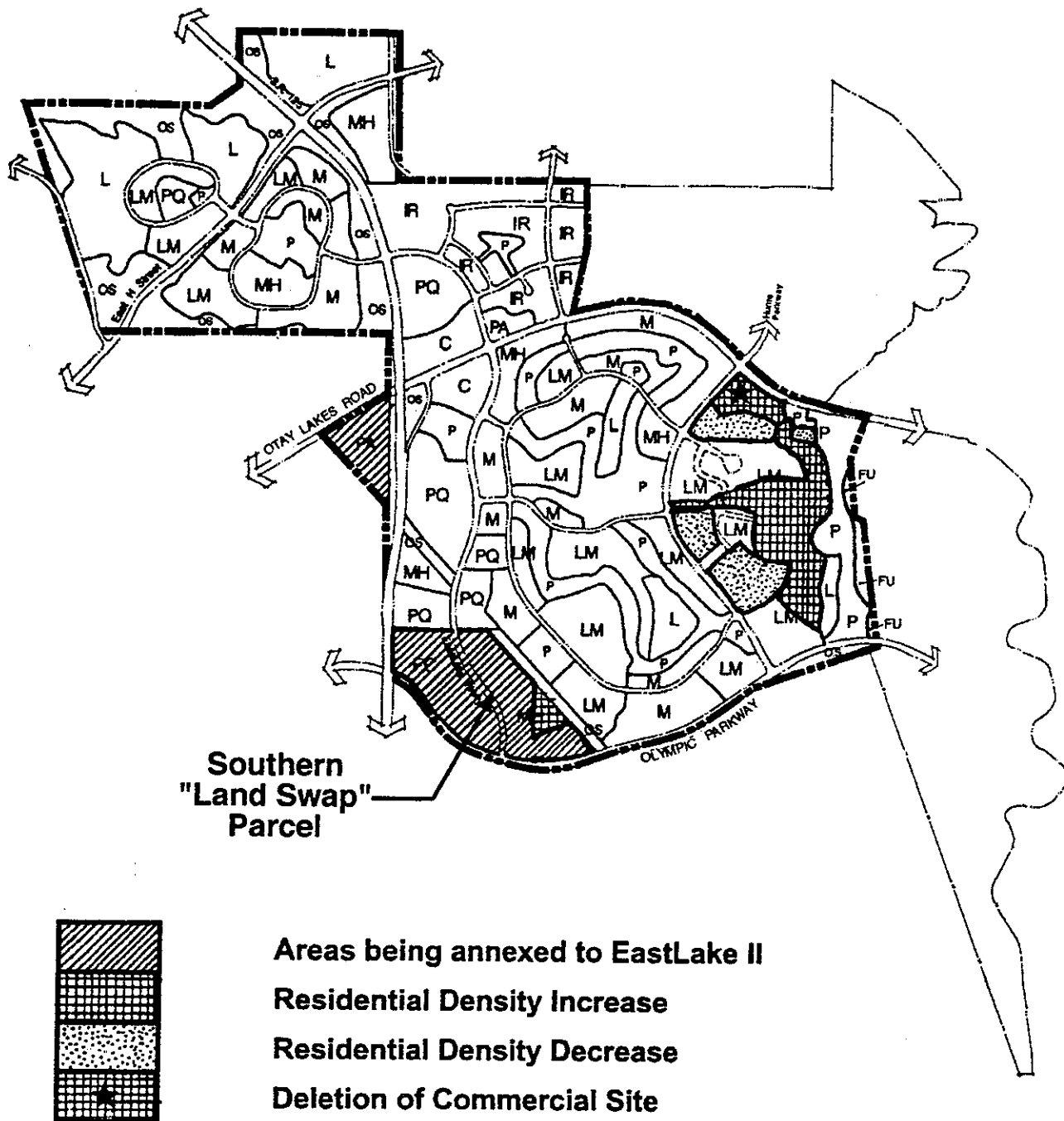
Table 1
EastLake Greens SPA
Statistical Summary of Land Uses

<u>Land Use</u>	<u>Acres</u>
Residential	473.9
Freeway Commercial (new)	50.7
Prof. & Administrative (new)	24.7
Village Center	19.6
Public/Quasi-Public	26.1
Schools	59.2
Parks	37.4
Golf Course	160.4
Open Space	37.9
Major Circulation	105.0
Total Development Area	994.9

5. Consistency

The provisions of the PFFP are, to the extent practical, consistent with and reinforce certain other public documents. More specifically, consistency with the following documents has been addressed in the context of this supplemental PFFP:

- a. The PFFP adopted for the EastLake Greens SPA on December 12, 1995. It is also consistent with the improvement projects previously completed or under construction as a part of the EastLake Planned Community.
- b. The Subsequent Environmental Impact Report (SEIR) 97-04 (State Clearing House #98071094) for the EastLake II Planning Program.
- c. The PFFP's prepared for other eastern Chula Vista projects. Consistency with these documents is with respect to area-wide facility plans and obligations.
- d. The Chula Vista Growth Management Program including the thresholds standards.
- e. The City of Chula Vista Development Impact Fee (DIF) programs.



**EASTLAKE
GREENS**

**Figure 3
1998 Amendment Key Map**



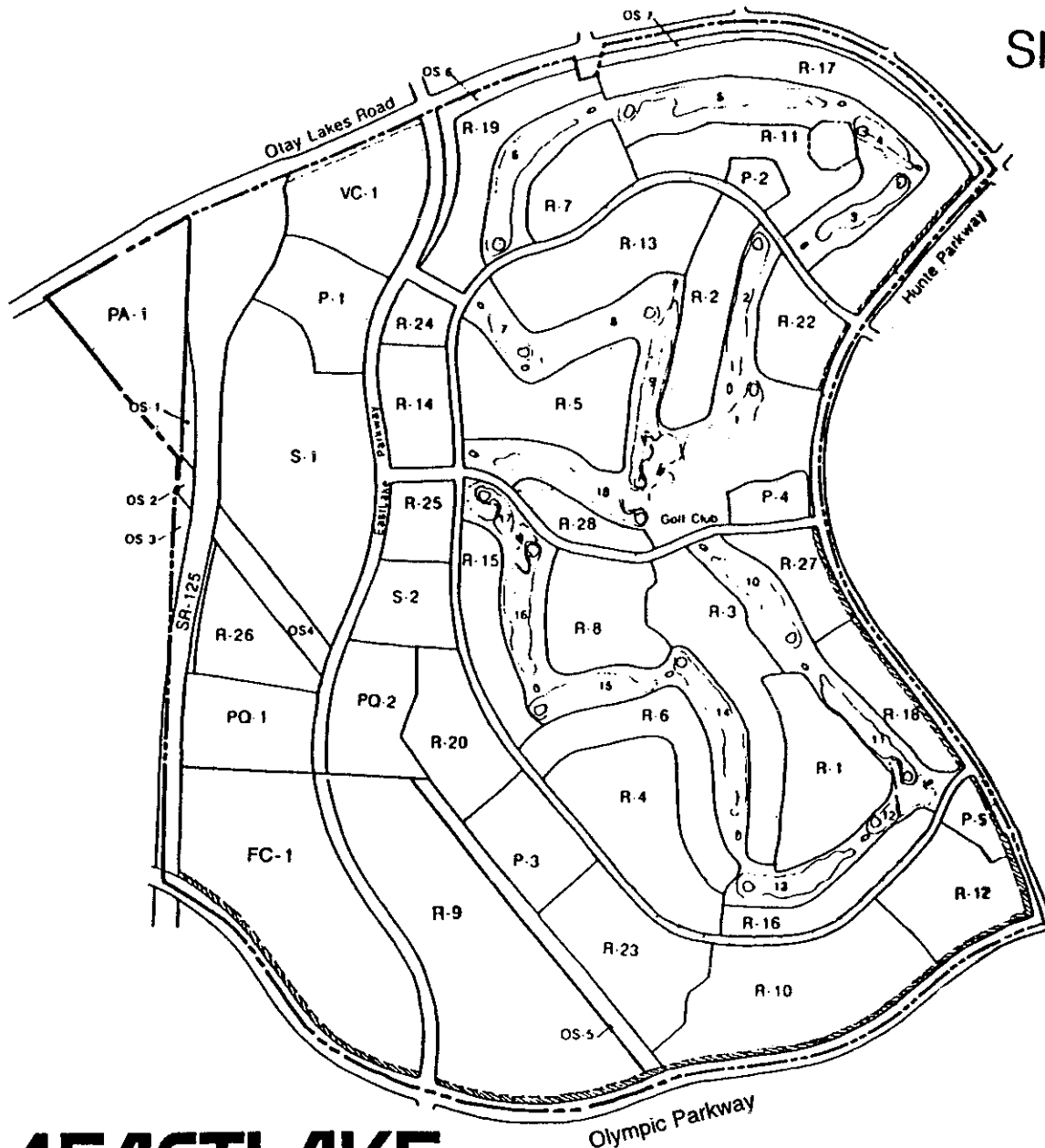
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Proposed

SITE UTILIZATION PLAN



Parcel No.	Attached (A)* Detached (D)*	Density Range	Acres	Target Density	Target Units
RESIDENTIAL					
R-1	D	0-5	19.7	2.7	54
R-2	D	0-5	14.7	2.7	40
R-3	D	0-5	21.8	4.5	99
R-4	D	0-5	24.0	4.8	114
R-5	D	0-5	23.0	4.8	105
R-6	D	5-15	17.4	4.4	78
R-7	D	5-15	10.7	5.8	60
R-8	D	5-15	17.5	5.5	98
R-9	A/D	15-25	58.1	12.9	750
R-10	D	5-15	34.8	7.1	248
R-11	D	5-15	14.8	6.0	87
R-12	D	5-15	18.2	5.1	92
R-13	D	5-15	22.8	6.3	142
R-14	D	5-15	11.4	7.5	88
R-15	D	5-15	11.9	5.4	84
R-16	A/D	5-15	10.9	10.0	109
R-17	A/D	5-15	28.6	7.5	214
R-18	A/D	5-15	9.9	5.5	54
R-19	A/D	5-15	14.4	11.0	158
R-20	A/D	5-15	14.3	7.6	109
R-21	A/D	5-15	11.7	11.9	139
R-22	A/D	5-15	20.3	3.5	72
R-23	A/D	5-15	5.1	9.4	48
R-24	A/D	5-15	7.9	9.9	78
R-25	A/D	15-25	15.3	17.0	260
R-26	D	0-5	9.2	4.3	40
R-27	A/D	5-15	6.1	8.4	51
Sub-total Residential			473.9	7.3	3443

NON-RESIDENTIAL		
VC-1	Village Center	19.6
FC-1	Freeway Commercial	50.7
PA-1	Prof. & Admin.	24.7
PQ-1	Public/Quasi-Public	10.3
PQ-2	Public/Quasi-Public	15.8
S-1	High School	49.2
S-2	Elementary School	10.0
P-1	Community Park	15.1
P-2	Neighborhood Park	3.0
P-3	Neighborhood Park	11.8
P-4	Neighborhood Park	4.5
P-5	Neighborhood Park	3.0
OS-1	Open Space	2.9
OS-2	Open Space	1.1
OS-3	Open Space	1.9
OS-4	Open Space	7.8
OS-5	Open Space	13.4
OS-6	Open Space	4.9
OS-7	Open Space	5.9
	Golf Course	180.4
	Major Circulation	105.0
Sub-total Non-Residential		521.0

PROJECT TOTAL 994.9 3.5 3443

* A/D symbolizes that certain "detached" housing is permitted.

Scenic Buffer

Note: Refer to tract maps for precise acreages and parcel boundaries.

Figure 4

C. PUBLIC FACILITIES THRESHOLD STANDARDS AND INFRASTRUCTURE REQUIREMENTS

1. Traffic

a. Existing City Threshold Standards:

City-wide: Maintain LOS 'C' or better as measured by observed average travel speed on all signalized arterial segments except that during peak hours a LOS 'D' can occur for no more than two hours of the day.

West of Interstate 805: Those signalized intersections which do not meet the standard above, may continue to operate at their current (year 1991) LOS, but shall not worsen.

Notes to Standards:

- Arterial segment LOS measurements shall be for the average weekday peak hours, excluding seasonal and special circumstance variations.
- Urban and suburban arterials are defined as surface highways having signal spacing of less than 2 miles with average weekday traffic volumes greater than 10,000 vehicles per day.
- Arterial segments are stratified into three classifications:
 - (1) Class I arterials are roadways where free flow traffic speeds range between 35 mph and 45 mph and the number of signalized intersections per mile is less than four (4). There is no parking and there is generally no access to abutting property.
 - (2) Class II arterials are roadways where free flow traffic speeds range between 30 mph and 35 mph, the number of signalized intersections per mile range between four (4) and eight (8). There is some parking and access to abutting properties is limited.
 - (3) Class III arterials are roadways where free flow traffic speeds range between 25 mph and 35 mph, and the number of signalized intersections per mile are closely spaced. There is substantial parking and access to abutting property is unrestricted.
- The LOS measurement of arterial segments and freeway ramps shall be a growth management consideration in situations where proposed developments have a significant impact at interchanges.
- Circulation improvements should be implemented prior to anticipated deterioration of LOS below established standards.
- The criteria for calculating arterial LOS and defining arterial lengths and classifications shall follow the procedures detailed in Chapter 11 of the 1985 Highway Capacity Manual (HCM) and shall be confirmed by the City Traffic Engineer.
- During the conduct of future Traffic Monitoring Program field surveys, intersections, experiencing significant delays will be identified. The information generated by the field surveys will be used to determine possible signal timing changes, geometric and/or traffic operational improvements for the purpose of reducing intersection delay.
- Level of Service values for arterial segments shall be based on the following table:

Table 2
Level of Service Values
for Arterial Segments

<u>Level of Service</u>	<u>Average Travel Speed (mph)</u>		
	<u>Class 1</u>	<u>Class 2</u>	<u>Class 3</u>
A	> 35	> 30	> 25
B	> 28	> 24	> 19
C	> 22	> 18	> 13
D	> 17	> 14	> 9
E	> 13	> 10	> 7
F	< 13	< 10	< 7

Source: Highway Capacity Manual, Special Report 209, Transportation Research Board, National Research Council, Washington, D.C., 1985.

b. Existing Conditions:

The supplemental circulation component of the EastLake Greens "Land Swap" parcels is based on a comprehensive traffic analysis. The Traffic Analysis was prepared by Linscott, Law & Greenspan (LL&G) and is dated June 29, 1998. This analysis included the EastLake Trails and "Land Swap" parcels. The analysis determined the appropriate size and phasing of circulation improvements.

Currently, Otay Lakes Road within the EastLake Community operates as a Six-Lane Prime Arterial. Otay Lakes Road provides east-west access along the northern boundary of the EastLake Greens project. The City of Chula Vista classifies Otay Lakes Road as a Six-Lane Prime Arterial from Bonita Road to the eastern City boundaries. The existing road transitions into a two-lane collector east of Hunte Parkway.

Through the EastLake Greens project, Eastlake Parkway operates as a Six-Lane Road from Otay Lakes Road to Greensgate Drive and continues as a Four-Lane Road to its terminus at the southern "Land Swap" parcel. Through the southern "Land Swap" parcel to Olympic Parkway, Eastlake Parkway is classified as Six-Lane Major. Bike lanes exist on either side of the road and curbside parking is prohibited.

Currently, Olympic Parkway has not been constructed along the southern boundary of EastLake Greens and southern "Land Swap" parcel. Olympic Parkway currently terminates at Brandywine Avenue, just east of I-805. Olympic Parkway is classified as a Six-Lane Prime arterial from I-805 to Hunte Parkway, and as a Four-Lane Major east of Hunte Parkway. When completed, Olympic Parkway will provide direct access from the west to the southern "Land Swap" parcel. Extension of this facility to the east was assumed to be in place by the year 2005 in the transportation modeling prepared by LL&G.

The LL&G analysis provides the existing AM/PM peak hour turning movement counts at the key intersections in the study area. The analysis also indicated that all freeway segments were calculated as operating at Level of Service (LOS) D or better. Further, the existing peak hour arterial operation of Telegraph Canyon Road operates at LOS E during the AM peak hour (westbound) and PM peak hour (eastbound) near I-805. All other arterials operate at LOS D or better.

c. **Proposed Changes:**

Primary access to the northern "Land Swap" parcel will be provided by Otay Lakes Road. The primary access to the southern "Land Swap" parcel will be provided by the future extension of Eastlake Parkway and Olympic Parkway. Regional access is provided by I-805, located west of the site. The future construction of State Route (SR) 125 will provide additional north-south access for future traffic volumes.

No changes to the regional circulation network are proposed by the "Land Swap" amendment (See Figure 5, Circulation). The traffic generated by the future development of the "Land Swap" parcels was calculated by LL&G by using standard traffic generation rates. These volumes were distributed and added to projected future volumes due to other development. A summary of LL&G's calculations is provided in Table 3 below. The proposed circulation system has been engineered to accommodate these total future volumes.

Table 3
Project Traffic Generation
Year 2010/Buildout

USE	SIZE	DAILY TRIP ENDS (ADT)		AM PEAK HOUR			PM PEAK HOUR		
		RATE	VOLUME	% OF ADI	IN:OUT SPLIT	VOLUME IN OUT	% OF ADT	IN:OUT SPLIT	VOLUME IN OUT
Land Swap Area									
Office	24.7 Acre	300	7,410	14%	9:1	935 105	13%	2:8	195 770
Multi- Family Residential	750 DU*	6.7	5,030	8%	2:8	80 320	10%	7:3	350 150
Retail	50.7 Acre	500	25,350	2%	7:3	355 150	9%	5:5	1140 1140
TOTAL			37,790			1370 575			1685 2060

* 45 units of the total 750 are located within the existing EastLake Greens

Source: LL&G

The above table indicates the "Land Swap" parcels are expected to generate 37,790 ADT in the year 2010. The retail site in the southern "Land Swap" parcel generates nearly 70% of the estimated traffic. It is assumed that the construction and occupation of the "Land Swap" parcels will not occur until after 2005, presumably by 2010.

The Traffic Analysis indicates that as a cumulative impact, by the year 2010, Eastlake Parkway is required to be improved to a Six-Lane Major between Otay Lakes Road and Clubhouse Drive. Further, the analysis indicates that by the year 2010, a second eastbound left-turn lane and a second southbound right-turn lane at Otay Lakes Road and Lane Avenue is required to reduce the direct impact. These requirements have been included as mitigation measures in the EIR. According to the analysis the intersections that are mostly affected by the development of the "Land Swap" parcels are expected to operate at a LOS D or better in the year 2010 during the AM and PM peak hours except the following:

- Eastlake Parkway between Otay Lakes Road and Clubhouse Drive (LOS E).
Note: LOS E is south of Greensgate Drive to Clubhouse Drive.
- Otay Lakes Road & Lane Avenue (LOS F, AM and PM peak).
- Otay Lakes Road between State Route 125 and Eastlake Parkway (LOS E).

d. Analysis of Changes:

Transportation system projects required to support the ultimate developments on the "Land Swap" parcels are identified in the LL&G analysis. The analysis was prepared in the context of the Subsequent EIR for the EastLake II Planning Program. As a result, both the traffic analysis and the EIR identify measures necessary to mitigate transportation system impacts associated with the future development of the "Land Swap" parcels.

The transportation projects that are necessary to accommodate the future development of the "Land Swap" parcels consist of two types:

- (1) Facilities that provide the circulation and a benefit to the EastLake Greens development. These improvements will be constructed to ultimate City standards in accordance with Subdivision Map Act exaction's and tentative subdivision map conditions.
- (2) Facilities that are necessary to provide area-wide circulation benefits to EastLake and other eastern area developments that have been identified in the Eastern Area Transportation Development Impact Fee (DIF) program.

The northern "Land Swap" parcel fronts on Otay Lakes Road. Any onsite/internal streets will be built via tentative map conditions which must be complied with prior to recordation of the final subdivision map. In addition, the future development will make a contribution to the applicable DIF programs.

Circulation improvements will be provided for the southern "Land Swap" parcel using the aforementioned two types of transportation projects. Any onsite/internal streets will be built via tentative map conditions which must be complied with prior to recordation of the final subdivision map. Development of this site will require the extension of Eastlake Parkway from its existing terminus to the future location of Olympic Parkway. The DIF for this extension is estimated at \$2,381,000.00. In addition, the future development will make a contribution to applicable DIF programs.

e. Phasing:

The development of the "Land Swap" parcels is undefined at this time. The northern "Land Swap" parcel can develop based upon market demand. It is anticipated that the commercial development of the southern "Land Swap" parcel will not occur until the SR 125 corridor is developed and market forces create demand. The residential development of the southern "Land Swap" parcel, however, may develop before the development of the SR 125 corridor. However, the planned extension of EastLake Parkway to Olympic Parkway must be constructed in conjunction with any proposed development of the southern "Land Swap" parcel.

f. Financing Traffic Improvements:

- (1) Transportation Development Impact Fees (DIF):

On December 7, 1993, the Chula Vista City Council adopted Ordinance 2580 amending Ordinance 2251. The purpose of the ordinance is to collect development impact fees (DIF) for the construction of circulation element transportation facilities to accommodate increased traffic generated by new development in the eastern territories. The fee is \$2,399 per Multi-Family dwelling unit and \$99,950 per gross acre effective January 1, 1995.

Also effective January 1, 1995 is an interim pre-SR 125 development impact fee (Ordinance 2579) in the amount of \$820 per equivalent dwelling unit (EDU) to implement the pre-SR 125 strategy as defined in the study entitled "Interim State Route 125 Facility Feasibility Study" dated May 1993.

The "Land Swap" parcels are within the boundaries of the Transportation DIF program and are subject to the payment of the fees at the rates in effect at the time building permits are issued. The DIF ordinance, however, does allow for the issuance of credit in lieu of fees when an eligible facility is constructed by the project. If the total eligible construction cost amounts to more than the total required DIF fees as is indicated below, the owner/developer will be given credits toward future building permits outside of the SPA area.

The Transportation DIF beginning January 1, 1995 is \$3,998 per EDU. Each new single family detached dwelling is considered one EDU for the purposes of this fee. A single family attached dwelling is 0.8 EDU's. A unit within a multi-family dwelling is considered 0.6 EDU's. Commercial/Office is charged at the rate of 25.0 EDU's per gross acre of land.

The Interim Pre-SR 125 DIF beginning January 1, 1995 is \$820 per EDU. The same EDU rates apply to the Interim Pre-SR 125 DIF as for the Transportation DIF.

Table 4
Transportation & Interim Pre-125 DIF Fees

Parcel	Land Use	Acres	EDU's	Transportation DIF		Interim Pre-SR 125 DIF		Total
				\$3,998/ EDU Factor	Trans Fee	\$820/ EDU Factor	SR 125 Fee	
PA-1	Prof./ Admin	24.7	NA	25/Gross Acre	\$2,468,765	25/Gross Acre	\$506,350	\$2,975,115
FC-1	Freeway Com'l	50.7	NA	25/Gross Acre	\$5,067,465	25/Gross Acre	\$1,039,350	\$6,106,815
R-9	Medium- High Residential	58.1	750	.6/EDU	\$1,799,250	.6/EDU	\$369,000	\$2,168,250
Total					\$9,335,480		\$1,914,700	\$11,250,180

(2) Traffic Signal Fee:

Future development on the "Land Swap" parcels will be required to pay Traffic Signal Fees pursuant to Chula Vista Council Policy No. 475-01. The fee is calculated at \$13.00 per vehicle trip generated per day for various land use categories. Based upon the LL&G report the fees for PA-1 are estimated at \$96,330 (7,410 ADT). The fees for FC-1 are estimated at \$329,550 (25,350 ADT). The fees for R-9 are estimated at \$65,390 (5,030 ADT). The total traffic signal fees due from the "Land Swap" parcels is estimated at \$491,270. These fees will need to be calculated when development of the "Land Swap" parcels is proposed.

(3) Non-DIF Streets and Signals

The "Land Swap" parcels will contain residential and commercial streets and potentially signals that, by city policy, are not eligible for DIF credit. These streets and signals will be funded by the development.

The City of Chula Vista is currently completing a Feasibility and Financing Study for the construction of Olympic Parkway east of I-805. It is recommended that EastLake Trails be required to participate with its fair share for the construction of Olympic Parkway east of I-805.

g. Threshold Compliance:

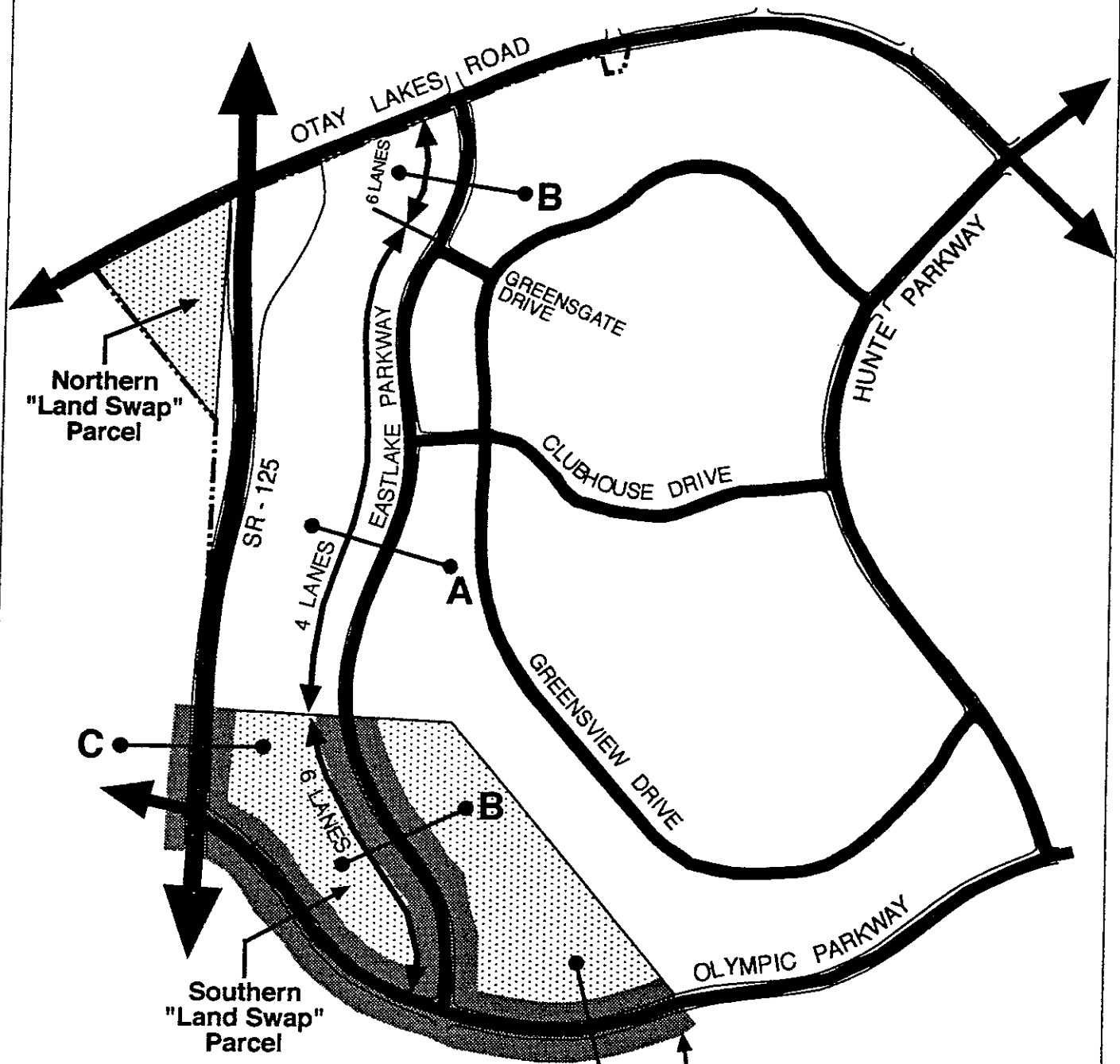
Threshold compliance will continue to be monitored through the annual intersection monitoring program and the Eastern Chula Vista Transportation Phasing Plan updates.

Based upon the traffic analysis prepared for the EastLake Trails project, threshold compliance is projected to be maintained with implementation of the improvements identified to have a significant impact in the EastLake Trails Traffic Impact Analysis dated June 29, 1998, and with the payment of transportation impact fees or the construction of street improvements identified herein.

The following improvements to Eastlake Parkway and the intersection of Otay Lakes Road and Lane Avenue will be required with the development of the "Land Swap" parcels:

- The remaining portion of Eastlake Parkway shall be improved as a 6 lane prime arterial.
- The intersection of Otay Lakes Road and Lane Avenue is required to be secured prior to the first final map for the southern "Land Swap" parcel. Improvements include a second eastbound to northbound left-turn lane on Otay Lakes Road, and a second southbound to westbound right-turn lane on Lane Avenue.

The EastLake "Land Swap" parcels shall be conditioned to pay Transportation DIF Fees and Interim Pre-SR 125 DIF Fees at the rate in effect at the time building permits are issued.



Right-of-Way Width Legend

- A: 100 Feet
- B: 134 Feet
- C: 166 Feet

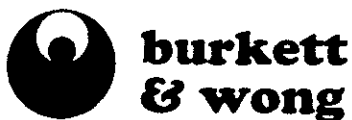


Road Benefits EastLake

Eastern Area Transportation
DIF Program - Regional Facilities

**EASTLAKE
GREENS**

Figure 5
Circulation



PLANNING
SYSTEMS



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No Scale

2. Water

a. Existing City Threshold Standards:

Objectives and thresholds for water quality and availability have been determined by the City of Chula Vista. To ensure that water quality standards are not decreased during development and that adequate storage and construction of facilities occurs concurrently with growth, the City of Chula Vista requires a service availability letter from the water district for each project. A 12- to 18-month development forecast from the City and the CWA to the water district, requesting information on water availability, current capacity, storage capacity, and quality is also required. The Growth Management Oversight Committee (GMOC) reviews impacts to water availability and quality on an annual basis, after reviewing the water district's response letters. The GMOC then presents its reports to the City Council of Chula Vista with its determination.

b. Existing Conditions:

The "Land Swap" parcels are located within the Otay Water District's (OWD) Central Service Area. Before permanent water service can be established for the "Land Swap" parcels, those areas not incorporated into OWD's Improvement District (ID) 22 and 27 will be required to annex into the ID.

The project area receives its water supply from the OWD's Central Service Area. Currently, the water supply for the Central System is taken from the No. 10 and No. 12 connections to Pipeline No. 4. The water supply is conveyed by gravity from Connection No. 12 through a 42-inch transmission main to the 30 million gallon (mg) 624-3 (EastLake Greens) reservoir and through a 24-inch transmission main to the 12 mg 624-1 (Patzig) reservoir. The water supply from Connection No. 10 is conveyed by gravity through a 36-inch water transmission main to the 8 mg 624-2 reservoir. Water is then delivered from the 624-1, 624-2, and 624-3 reservoirs by gravity to the 624 Zone.

Potable water for the "Land Swap" parcels can be supplied by the 711 and 980 Pressure Zones within the Central System. These Zones are supplied by pumping from the 624 Zone. The Central Area Pump Station (711-1) takes water from the 624-1 reservoir and discharges the 711 Zone distribution systems. The 711-1 and 711-2 reservoirs provide operational storage for the 711 Pressure Zone. The total capacity of the two 711 reservoirs is 5.0 mg. The EastLake Pump Station takes water from the 711 distribution piping and discharges to the 980 Zone distribution system. The 980-1 and 980-2 reservoirs provide operational storage for the 980 Pressure Zone. The total capacity of the two 980 reservoirs is 10.0 mg. In addition, the current total capacity of the Central Area Pump Station (711-1) is 12,000 gallons per minute (gpm) and the total capacity of the EastLake Pump Station is 8,000 gpm.

Existing water transmission mains for the 980 and 711 Pressure Zones are located in Hunte Parkway, EastLake Parkway, and Otay Lakes Road. The northern "Land Swap" parcel would connect to an existing 16 inch water transmission main (711 Pressure Zone) in Otay Lakes Road. The southern "Land Swap" parcel would connect to a planned 980 Zone 20" and 16" transmission mains to be located in EastLake Parkway and Olympic Parkway, respectively.

c. Proposed Changes:

Water demands for the "Land Swap" parcels were projected using unit water demand factors in the Sub-Area Master Plan (SAMP) for the EastLake Trails and the "Land Swap" areas (John Powell & Associates, September 1998). Unit water demands for residential dwellings were developed by dividing the total average annual day (AAD) demand computed on a gross acreage basis by the total number of dwelling units. The projected water demands for the "Land Swap" parcels land uses are presented in Table 5. The projected AAD water demand for the "Land Swap" parcels is estimated at 0.26 mgd.

**Table 5
Average Annual Day Potable Water Demands
"Land Swap" Parcels**

Land Use	Dwelling Units	Area (acres)	Unit Demand	AAD Demand (gpd)
711 Zone				
Commercial		24.7	1,250 gpd/acre	30,875
711 Total				30,875
980 Zone				
MF Residential	750		223 gpd/DU	167,250
Commercial		50.7	1,250 gpd/acre	63,375
980 Total				230,625
Land Swap Parcel Total				261,500

AAD = average annual day
gpd = gallons per day

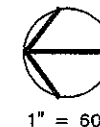
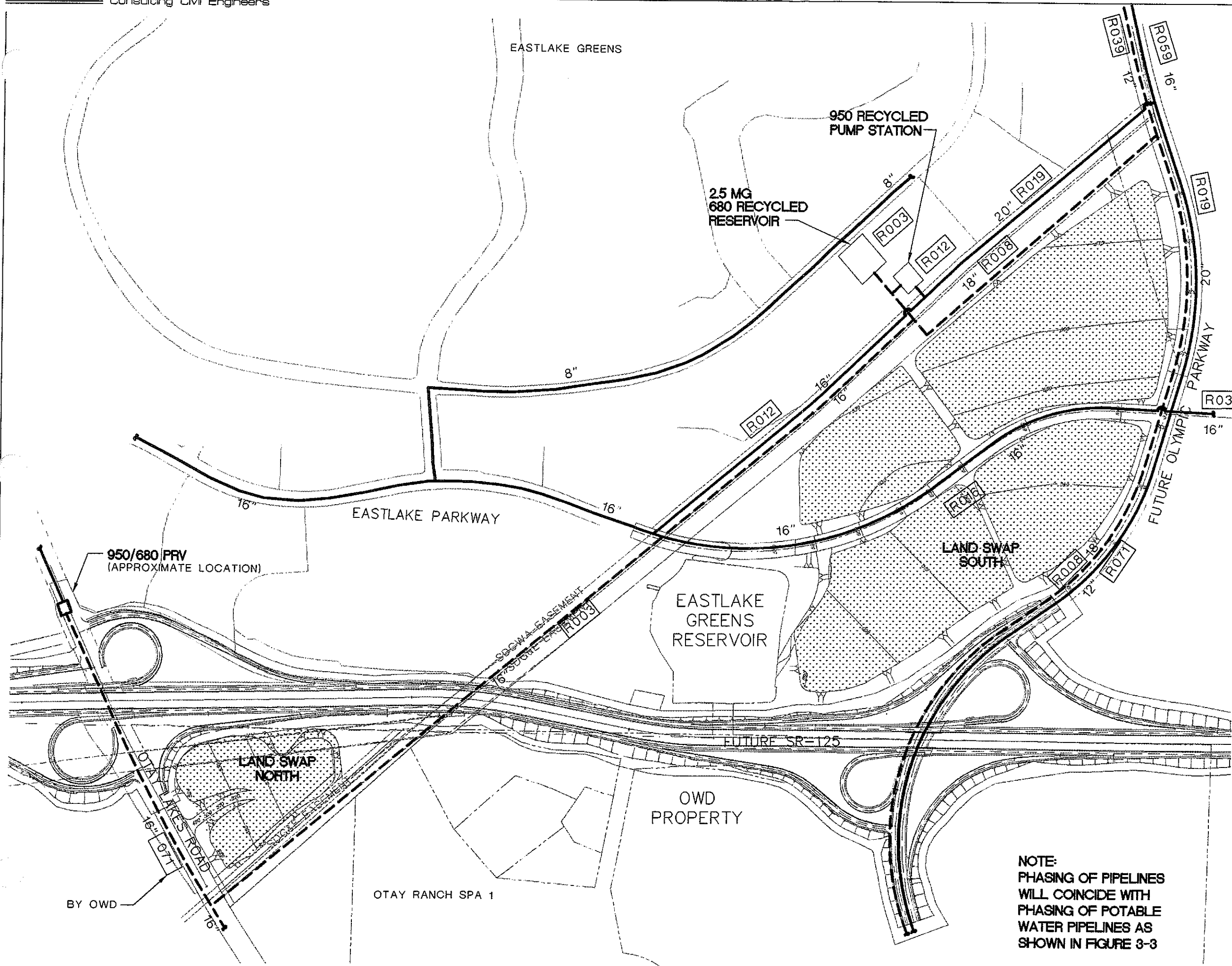
Source: draft subsequent EIR for EastLake II dated 4/24/98

The maximum day demands (MDD) were calculated for the Trails and "Land Swap" parcels by multiplying the ADD demands by the peaking factors for the 711 and 980 Pressure Zones. The 711 Zone has a peaking factor of 1.9, and the 980 Zone has a peaking factor of 1.8. The MDD for the "Land Swap" parcels is 0.47 mgd.

The fire flow criteria established in the SAMP requires 1,000 gpm for 2 hours' duration for single-family residential, 2,500 gpm for 3 hours for multi-family residential, and 3,500 gpm for 3 hours' duration for school, commercial and community uses.

The storage requirement for the "Land Swap" parcels is and 0.63 mg. The existing operational storage requirement for the 711 Zone is 6.8 mg and 5.59 mg for the 980 Zone. To meet the established criteria for operational storage for buildout of the "Land Swap" parcels, an additional 0.08 mg and 0.55 mg of operational storage will be required for the 711 and 980 Zones, respectively.

Emergency storage for the project is provided in the 624-3 reservoir. Adequate capacity exists to meet the District's goal of providing a maximum of 5 average days of supply in the event of an aqueduct shut down.



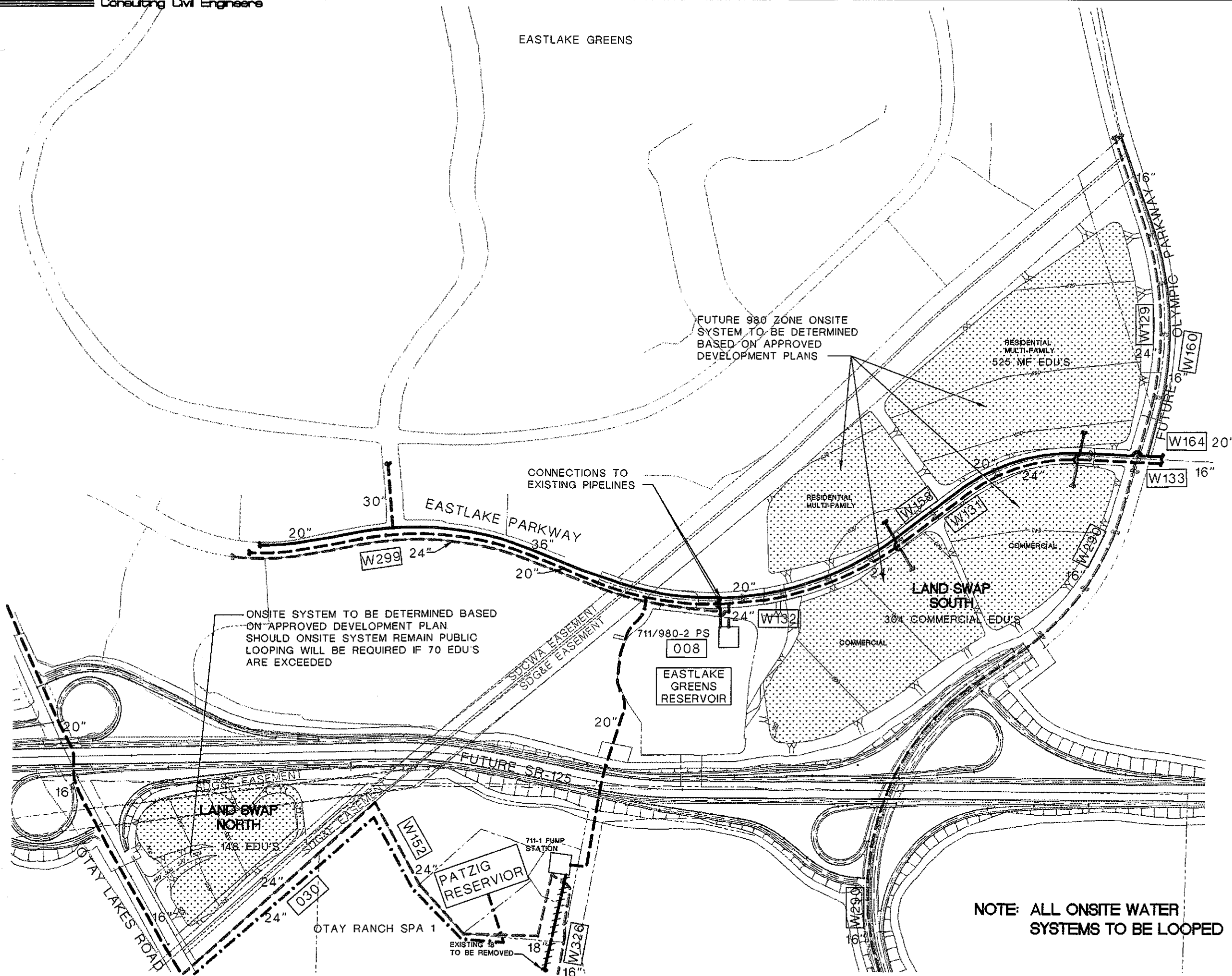
LEGEND

EXISTING 950 ZONE	—————
PROPOSED 950 ZONE	—————
PROPOSED 680 ZONE	- - - - -
RECYCLED WATER USE AREAS	Stippled Pattern
CIP No.	R000

NOTE:
PHASING OF PIPELINES
WILL COINCIDE WITH
PHASING OF POTABLE
WATER PIPELINES AS
SHOWN IN FIGURE 3-3

**LAND SWAP AREAS
PROPOSED RECYCLED
WATER SYSTEM**

Figure 7



LEGEND

980 ZONE

PHASE 4

PHASE 5

PHASE 6

EXISTING

711 ZONE

PHASE 4

PHASE 5

PHASE 6

EXISTING

624 ZONE

PHASE 4

CIP No.

**LAND SWAP AREAS
PROPOSED POTABLE
WATER SYSTEM**

**NOTE: ALL ONSITE WATER
SYSTEMS TO BE LOOPED**

Figure 6

Planned future storage facilities for ultimate build-out include a 25 mg reservoir (624-4) for the 624 Zone, a 10 mg reservoir (711-3) and a 6.0 mg reservoir (711-4) for the 711 Zone, and a 6.0 mg reservoir (980-3), 2.0 mg reservoir (980-5), and an 8.0 mg reservoir (980-4) for the 980 Zone. Until build-out of the central area reservoirs, existing excess storage in the Otay Mesa system will be allocated to supplement the Central system (draft subsequent EIR for the EastLake II Planning Program, 4/24/98).

d. Analysis of Changes:

The necessary area-wide water improvements (i.e., transmission mains, pump stations, reservoirs, etc.) to serve the "Land Swap" parcels have been physically constructed or financially committed in conjunction with the EastLake Greens/Trails replanning program. Sufficient water capacity and infrastructure exist to serve the northern "Land Swap" parcel. The northern "Land Swap" parcel can connect to an existing 16 inch water transmission main (711 pressure Zone) in Otay Lakes Road. The southern "Land Swap" parcel would connect to a planned 980 transmission main to be located in EastLake Parkway and Olympic Parkway. These mains are not expected to be constructed until Olympic Parkway is extended easterly to the southern "Land Swap" parcel as part of the Otay Ranch development. As an alternative, however, completion of the EastLake Trails 980 Zone may permit development of the southern "Land Swap" parcel in advance of the Olympic Parkway extension. In addition, it is not anticipated that the water and recycled water lines will be deep installations. The sewer lines, however, may be deep installations and are referred to in the Section 4, Sewer /Waste Water.

e. Phasing:

The development of the "Land Swap" parcels is undefined at this time. The northern "Land Swap" parcel can develop based upon market demand. It is anticipated that the commercial development of the southern "Land Swap" parcel will not occur until the SR 125 corridor is developed and market forces create demand. The residential development of the southern "Land Swap" parcel, however, may develop before the development of the SR 125 corridor. However, the planned 980 transmission main to be located in EastLake Parkway and Olympic Parkway must be constructed in conjunction with any proposed development of the southern "Land Swap" parcel.

f. Financing Water Facilities:

There are two methods of financing and construction of potable water facilities for the "Land Swap" parcels. These methods are as follows:

- (1) **Capacity Fees:** OWD's Capital Improvement Program (CIP) provides for the design and construction of facilities by the district. Through this program, the district collects an appropriate share of the cost from developers via the collection of capacity fees from water meter purchases. The capacity fees are collected upon the sale of water meters after building permit issuance according to the District's fee schedule in effect at the time of sale.

CIP projects typically include supply facilities, pumping facilities, operational storage, terminal storage, transmission mains. Specific CIP projects are identified in the SAMP for the "Land Swap" parcels.

- (2) **Exaction:** The developer designs and constructs facilities that serve their development only. Upon completion, the facilities are dedicated to the District.

The total costs for the "Land Swap" parcels CIP potable water facilities are approximately \$1,520,000. According to District policy No. 26, the District will provide reimbursement for construction and design costs associated with development of these improvements.

g. Threshold Compliance Accommodation:

The Otay Water District's Water Resource Master Plan and the SAMP identify water facilities to be constructed that will provide the necessary water service to meet the district criteria. The facilities identified in the aforementioned plans are required to be constructed as a part of the development of the "Land Swap" parcels.

The developer shall request and deliver to the City a service availability letter from the Otay Water District prior to each final map.

Provide water improvements according to the report entitled Sub-Area Water Master Plan for EastLake Trails (SAMP) by John Powell & Associates, September 1998.

3. Recycled Water

a. Existing City Threshold Standards:

Currently, the City of Chula Vista does have threshold standards for Recycled water quality and availability.

b. Existing Status:

The OWD owns and operates the Ralph W. Chapman Water Recycling Facility located near the intersection of Singer Lane and Highway 94. This plant produces up to 1.3 million gallons of recycled water for non-potable water uses such as irrigation of golf courses, school playing fields, public parks, and public landscaping. Supplemental recycled water supply will be available from the City of San Diego's proposed 6 million gallons per day (mgd) capacity South Bay Water Reclamation Plant, which will be located in the Tijuana River Valley at Monument and Dairy Mart Roads near the Mexican border. This plant is scheduled to go on line by the year 2001.

An existing 20-inch Recycled water supply line serves the EastLake Greens open space and Golf Course as well as the adjacent EastLake Business Park. Transmission supply lines will need to be extended to serve the "Land Swap" parcels.

c. Proposed Changes:

The proposed development of the "Land Swap" parcels includes the use of recycled water for irrigation of open space, common areas for multi-family residential, and commercial landscaping. The northern "Land Swap" parcel would receive recycled water from the proposed 680 recycled water transmission mains to be located in Otay Lakes Road. The southern "Land Swap" parcel would receive recycled water from the proposed 950 recycled water transmission mains to be located in EastLake Parkway and Olympic Parkway.

d. Analysis of Changes:

The projected average annual day recycled water demands is presented in Table 6. The total average day recycled water demand for the "Land Swap" parcels is estimated at 25.2 gallons per minute (gpm).

**Table 6
Projected Recycled Water Demands**

Land Use	Area (acres)	% Irrigated	Irrigated Acreage	Unit Demand (gpm/ac.)	Average Demand (gpm)
Multi-Family	58.1	15	8.72	1.549	13.51
Commercial	75.4	10	7.54	1.549	11.68
Total	133.5		16.26		25.19

gpm = gallons per minute

Source: draft subsequent EIR for EastLake II dated 4/24/98

e. Phasing:

The development of the "Land Swap" parcels is undefined at this time. Please see discussion of Phasing under Water on page 24.

f. Financing Recycled Water Facilities:

The district will use the capacity fees and exaction methods for financing and construction of CIP Recycled water facilities for the "Land Swap" parcels. A description of these methods can be found on page 24.

The total cost for the "Land Swap" parcels CIP Recycled Water facilities are approximately \$1,110,000.

g. Threshold Compliance Accommodation:

Provide Recycled water improvements according to the report entitled Sub-Area Water Master Plan for EastLake Trails (SAMP) by John Powell & Associates, September 1998. Recycled water requirements for the project will be coordinated by the OWD and the City of Chula Vista. The phased construction of recycled water facilities, based on the SAMP, will be incorporated into the conditions of approval for a future subdivision map. These conditions will assure the timely provision of required facilities.

4. Sewer/Waste Water

a. Existing City Threshold Standards:

Sewage flows and volumes shall not exceed City Engineering Standards as set forth in the Subdivision Manual adopted by City Council Resolution Number 11175 on February 12, 1983, as amended. The City annually provides the San Diego Metropolitan Sewer Authority with a 12-18 month development forecast and requests confirmation that the projection is within the City's purchased capacity rights and an evaluation of their ability to accommodate the forecast and continuing growth, or the City Engineering Department staff gathers the necessary data.

The information provided to the GMOC includes the following:

- Amount of current capacity now used or committed.
- Ability of affected facilities to absorb forecast growth.
- Evaluation of funding and site availability for projected new facilities.
- Other relevant information.
- The growth forecast and Authority response letters shall be provided to the GMOC for inclusion in its review.

b. Existing Conditions:

The City of Chula Vista is responsible for sewer service in the EastLake Greens "Land Swap" parcels. The City of Chula Vista holds capacity rights of 19.3 mgd in the San Diego Metropolitan Sewerage System (Metro). The City's current average wastewater flow into the Metro system is 11.6 mgd (draft subsequent EIR for EastLake II dated 7/23/98). Chula Vista has approximately 7.7 mgd remaining available capacity in the Metro Sewer. The Metro system treats its sewage at the Point Loma Sewage Treatment Plant.

The "Land Swap" parcels are located within two drainage basins. The northern "Land Swap" parcel is located within the Telegraph Canyon drainage basin. This parcel, is proposed to be designated for Professional & Administrative (PA-1) uses, consists of 24.7 acres. The northern "Land Swap" parcel will be served by the existing 15-inch trunk sewer in Otay Lakes Road.

The southern "Land Swap" parcel is located within the Poggi Canyon drainage basin. The majority of the EastLake property within the Poggi Canyon Basin has either been constructed or final mapped. The southern "Land Swap" parcel consists of two proposed urban land uses that will require sewer services. Approximately 50.7 acres is proposed to be designated Freeway Commercial (FC-1). Approximately 58.1 acres is proposed to be designated multi-family residential (R-9). Currently there is no gravity sewer outlet for this portion of the EastLake Community. A sewage pump station has been constructed on EastLake Parkway to pump all sewage flows within the EastLake Greens portion of the Poggi Canyon basin north to the Telegraph Canyon basin. The pump station was sized to accommodate the ultimate Poggi Canyon sewage flows within EastLake Greens, which does not include the "Land Swap" properties.

The Southwestern corner of EastLake Greens and the adjacent southern "Land Swap" parcel drain naturally to Poggi Canyon. Since no facilities exist within the Poggi Canyon Basin in the EastLake area, wastewater from this area will be pumped by the EastLake Parkway pump station to the Telegraph Canyon Basin until the Poggi Canyon Basin Sewer Interceptor and associated downstream facilities are constructed east to the EastLake boundary. The City of Chula Vista has completed the Poggi Canyon Master Plan and instituted a fee for new development in the area to provide funds to construct a future trunk sewer along the alignment of Olympic Parkway. The Main Street/Date-Faivre sewer on the downstream reaches of the sewer needs to be upgraded. When this interceptor sewer is completed, the EastLake Parkway pump station will be abandoned and that portion of the EastLake Development located within the Poggi Canyon Basin will connect to the Poggi Canyon Basin Sewer System.

The EastLake pump station is capable of pumping an average 382,508 gallons per day of wastewater. This pump station was sized to accommodate the ultimate Poggi Canyon sewage flows within EastLake Greens, which does not include the "Land Swap" parcels. Development of the southern "Land Swap" properties is expected to occur after

construction of the Poggi Canyon Trunk Sewer is completed. However, if development of the southern "Land Swap" parcel occurs prior to the installation of the Poggi Canyon Trunk Sewer, the Eastlake Parkway Pump Station would have to be upgraded.

c. Proposed Changes:

P&D Consultants, Incorporated, completed a Revised Sewer Report for the "Land Swap" Area on June 4, 1998. The report's unit flows are based on the Poggi Canyon Gravity Sewer Basin Plan and the City of Chula Vista's Subdivision Manual. Only those areas that flow within the Poggi Canyon sewage basin are included within the calculations. The Poggi Canyon sewage basin is illustrated in Figure 9. Projected wastewater flows are calculated and presented in Table 7. The ultimate average flow is estimated at 325,750 gallons per day (gpd).

The northern "Land Swap" parcel will sewer by gravity flow into the existing 15-inch trunk sewer in Otay Lakes Road. Prior to building permit issuance, the northern "Land Swap" parcel will be required to pay fees to the City of Chula Vista in accordance with the Telegraph Canyon Sewer DIF. Table 8 provides an estimate of current fees. These estimated fees, however, are subject to change due to potential reevaluations of the basin fees by the City Council.

Due to potential deep sewer installation condition (40 to 50 feet deep), the report presented at least three gravity sewer alternatives for the southern "Land Swap" parcel with the final gravity sewer alternative based on one of these or some other proposed alternative to be approved by the City Engineer. These alternatives described below and are illustrated in Figure 8, Sewer.

- (1) Alternative 1: Install a 15-Inch Sewer Main North of Otay Water District Tank. This alternative would allow the sewage to continue to flow to the existing pump station location; however, the pump station would be decommissioned, and the sewage would flow by gravity north of the Otay Water District (OWD) 30 million gallon reservoir to the State Route 125 Right-of-Way (ROW), along the freeway for approximately 1500 lineal feet, and along the SR 125 ROW to Olympic Parkway. Prior to the dedication of SR 125, the City shall reserve a sewer easement within or along the SR 125 ROW.
- (2) Alternative 2: Install a 15-Inch Sewer Main South of Otay Water District Tank. As with Alternative 1, Alternative 2 allows the sewage to continue to flow to the existing pump station. The pump station would be decommissioned, and the sewer would be routed around the southern edge of the OWD reservoir. From there, sewage would flow by gravity alongside the State Route 125 ROW to a manhole at Olympic Parkway. Similar to Alternative 1, prior to the dedication of SR 125, the City shall reserve a sewer easement within or along the SR 125 ROW.
- (3) Alternative 3: Install a Sewer in the existing SDG&E easement. As with Alternatives 1 and 2, Alternative 3 allows the sewage to continue to flow to the existing pump station. The pump station would be decommissioned, and the sewer would be routed through the existing SDG&E easement. This alignment would then flow south along the easterly SR-125 ROW to a manhole at Olympic Parkway. As with Alternatives 1 and 2, prior to the dedication of SR 125, the City shall reserve a sewer easement within or along the SR 125 ROW. In addition, approval from SDG&E would be necessary to construct the sewer within their easement.

Each of the three alternatives requires various lengths and depths of sewers. Prior to a Tentative Map being approved for the southern "Land Swap" parcel, further investigations will be necessary to determine the depth of facilities necessary.

**Table 7
Projected Wastewater Flows**

	Parcel No.	No. of Units	Density/ Type	Demand	Wastewater Flow
Poggi Canyon Basin					
	Southern "Land Swap"	750 units	condos/ apartments	210 gpd/ unit	157,500 gpd
	Southern "Land Swap"	42.6 acres*	commercial	2500 gpd/ acre	106,500 gpd
Subtotal					264,000 gpd
Telegraph Canyon Basin					
	Northern "Land Swap"	24.7 acres	Professional/ Admin.	2500 gpd/ acre	61,750 gpd
Subtotal					61,750 gpd
Total					325,750 gpd

* Acreage based on net developable

Source: Sewer Report for the Land Swap Area, P&D Consultants, Inc., 3/25/98, indicates the depths for the three alternatives.

d. Analysis of Changes:

Either Alternatives 1, 2 and 3 would be recommended for a gravity sewer. As development of the southern "Land Swap" parcel progresses, further evaluation of these three alignments will be necessary.

The Eastlake Parkway pump station is designed to accommodate sewage from the Poggi Canyon sewage basin within EastLake Greens, and does not contain capacity for the southern "Land Swap" area. The "Land Swap" properties are not expected to be developed until after construction is completed on Olympic Parkway and the Poggi Canyon Trunk Sewer and associated downstream facilities. Consequently, the Eastlake Parkway sewer pump station is not expected to convey sewage from the southern "Land Swap" parcel. If these facilities are not available at the time the developer wishes to develop the southern "Land Swap" parcel, the developer would be required to fund and construct the upgrade of the EastLake Parkway pump station. The developer will be responsible for analysis, design and construction of the pump station upgrade subject to city requirements.

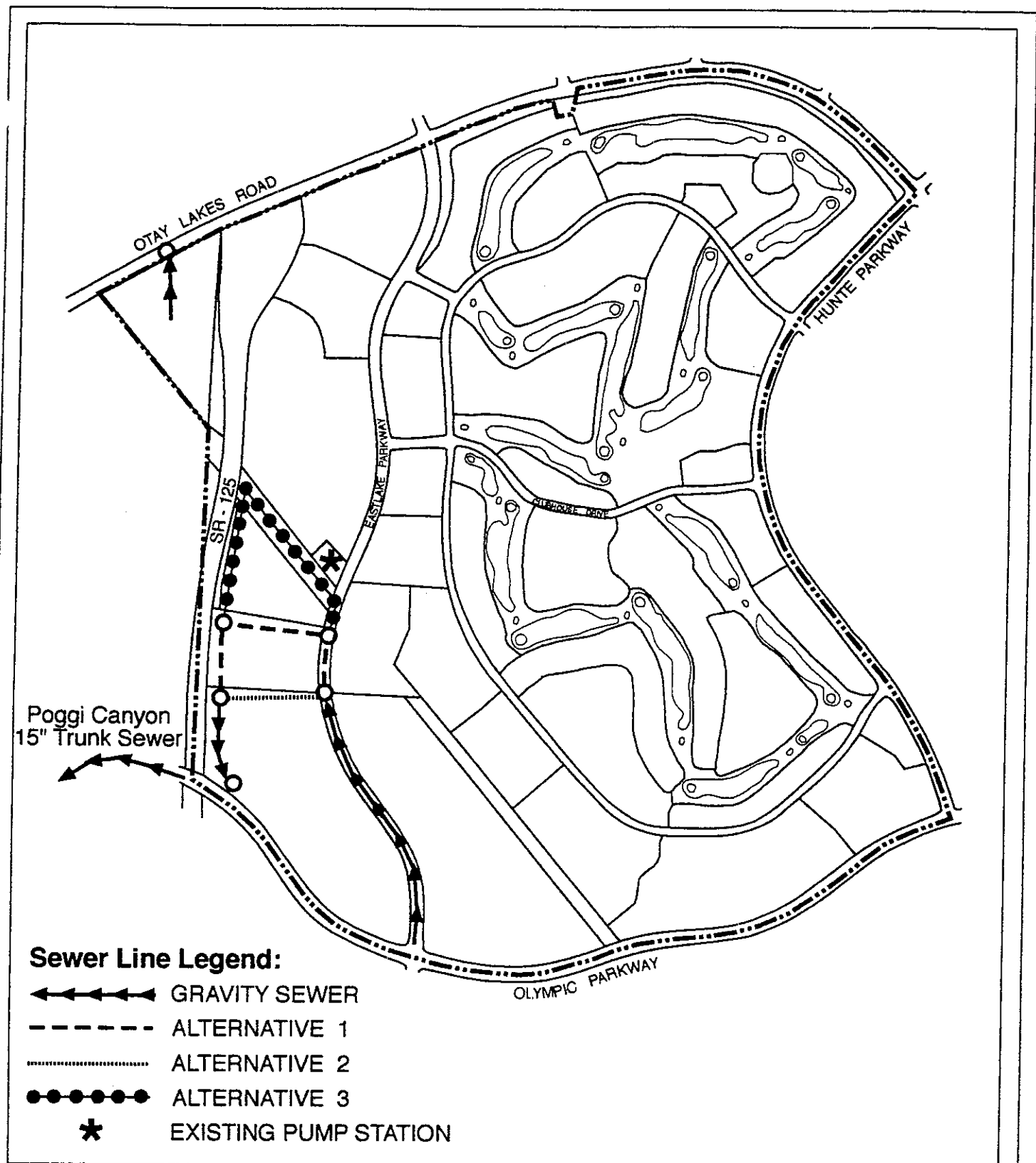


Figure 8
Sewer

**EASTLAKE
GREENS**



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No Scale

**Table 8
Wastewater DIF Fees**

	Land Use	Acreage or EDU	EDU Factor	Cost
Telegraph Canyon Gravity Basin DIF				
Northern "Land Swap"	Professional/ Administrative	24.7 acres	\$1840/ac.*	\$45,448
Northern "Land Swap" Total				\$45,448
Poggi Canyon Basin DIF				
Southern "Land Swap"	Multi-Family	750 units	\$300/unit	\$225,000
Southern "Land Swap"	Commercial	50.7 acres	\$3572/ac.	\$181,100
Poggi Canyon Basin DIF Total				\$406,100
Telegraph Canyon Basin Pumped Fee **				
Southern "Land Swap"	Multi-Family	750 units	\$420/unit	\$315,000
Southern "Land Swap"	Commercial	50.7 acres	\$5600/ac.	\$283,920
Telegraph Canyon Basin Pumped Fee Total				\$598,920
Total				\$1,050,468

* This is an estimated fee and the actual fee will be calculated on the number of fixture units at the time of permit issuance.

** This payment would be required prior to construction of the Poggi Canyon Trunk Sewer.

e. Financing Sewer/Waste Water Facilities:

(1) Telegraph Canyon Gravity Basin DIF: Prior to the northern "Land Swap" parcel connecting to the Telegraph Canyon Trunk Sewer it will be required to pay fees to the City of Chula Vista to fund the improvements necessary to accommodate the increased downstream flows. These fees will be collected when building permits are issued.

(2) Poggi Canyon Basin DIF: Prior to connecting to the Poggi Canyon Trunk Sewer, the southern "Land Swap" parcels will be required to pay fees to the City of Chula Vista to fund the improvements necessary to accommodate the project. These fees will be collected when building permits are issued.

(3) Telegraph Canyon Basin Pumped Fee: Prior to pumping into the system, the southern "Land Swap" parcels will be required to pay fees to the City of Chula Vista to fund the improvements necessary to accommodate the increased downstream flows. These fees will be collected when building permits are issued or a letter of credit can be posted at the time of Final Map to secure the eventual payment of the fee when needed for construction.

f. Threshold Compliance Accommodation:

The sewer facilities to accommodate sewer flows from the "Land Swap" parcels have been identified. Generally, the City will not allow the design capacity of trunk sewers to be exceeded. If the flows from the new project are anticipated to exceed the design capacity of downstream sewers, the City could require the construction of relief lines. In some cases, the City may allow the design capacity but not the hydraulic capacity of sewer lines to be exceeded at peak flow before relief facilities are required. For example, in the Telegraph Canyon Basin Plan 15-inch lines were allowed to have 85% flows instead of the 75% design capacity.

The construction of new sewer trunk lines must be phased with the construction of streets, however, this would not apply to the upgrade of existing facilities. As such, the facilities identified in this supplemental plan shall be required of the developer either as constructed facilities or through the payment of fees.

New development shall pay fees pursuant to City of Chula Vista ordinance or provide trunk sewer improvements, as needed.

5. Drainage

a. Existing City Threshold Standards:

Storm water flows and volumes shall not exceed City Engineering Standards as set forth in the Subdivision Manual adopted by City Council Resolution Number 11175 on February 23, 1983, as may be amended from time to time. The GMOC shall annually review the performance of the storm drain system to determine its ability to meet the City's goals and objectives (Growth Management, Chapter 19.09 CVMC).

b. Existing Conditions:

The EastLake Greens "Land Swap" parcels are located within the Otay River Watershed. Surface waters on the northern "Land Swap" parcel drains north to Telegraph Canyon Basin. Surface waters on the southern "Land Swap" parcel drains southwest into the Poggi Canyon Basin. The drainage basin boundaries are shown on Figure 10, Watershed Boundaries. Poggi Canyon drains into the Otay River, located south of the site. Telegraph Canyon Basin drains directly into San Diego Bay. In addition, the "Land Swap" parcels are not located within a flood prone area.

The "Land Swap" parcels are located within Zones 3 and 4 of the San Diego Flood Control District. The District's comprehensive plans do not propose any major flood control facilities within the "Land Swap" parcel areas.

Existing drainage improvements in the vicinity of the northern "Land Swap" parcel include storm drains within Otay Lakes Road and an existing catch basin. The southern "Land Swap" parcel does not have any existing drainage improvements on-site.

For the management of storm water, municipalities in the San Diego region, including the City of Chula Vista, must comply with the Regional Water Quality Control Board's National Pollutant Discharge Elimination System (NPDES) Permit No. CA 0108758, which consists of wastewater discharge requirements for storm water and urban runoff. In compliance with Permit No. CA 0108758, a Best Management Practices (BMP) Program for Storm Water Pollution Control has been created. BMP's appropriate to the

characteristics of a project may be employed to reduce pollutants available for transport or to reduce the amount of pollutants in runoff prior to discharge to a surface water body. BMP's can also include nonstructural methods, such as controlling litter and waste disposal practices.

c. Proposed Changes:

Runoff from the two "Land Swap" parcels would be directed into existing and proposed drainage facilities in adjacent roadways (e.g., Otay Lakes Road, SR 125 and EastLake Parkway) associated with each parcel. The northern "Land Swap" parcel is proposed to drain towards the north into existing storm drain facilities within Otay Lakes Road.

The May Group prepared a Drainage Report dated May 18, 1998, regarding the southern "Land Swap" parcel. The southern "Land Swap" parcel is proposed to drain towards the north and west in the direction of SR 125. Caltrans is currently planning the SR 125 improvements in making provisions with their storm water plans to receive and convey the discharges from the southern "Land Swap". Caltrans has proposed three drainage culverts along the westerly boundary of the southern "Land Swap" and within the SR 125 ROW. The May Group assumed that the development of the southern "Land Swap" parcel would not occur prior to the completion of SR 125. However, if development is proposed in advance of SR 125 an additional analysis of the drainage will be necessary.

d. Analysis of Changes:

All proposed changes to drainage and water quality of the "Land Swap" parcels can be accommodated with implementation of the Subsequent EIR mitigation measures at the time tentative maps are processed. These measures will be made conditions of the future tentative map or maps and will be shown on the final grading and improvement plans.

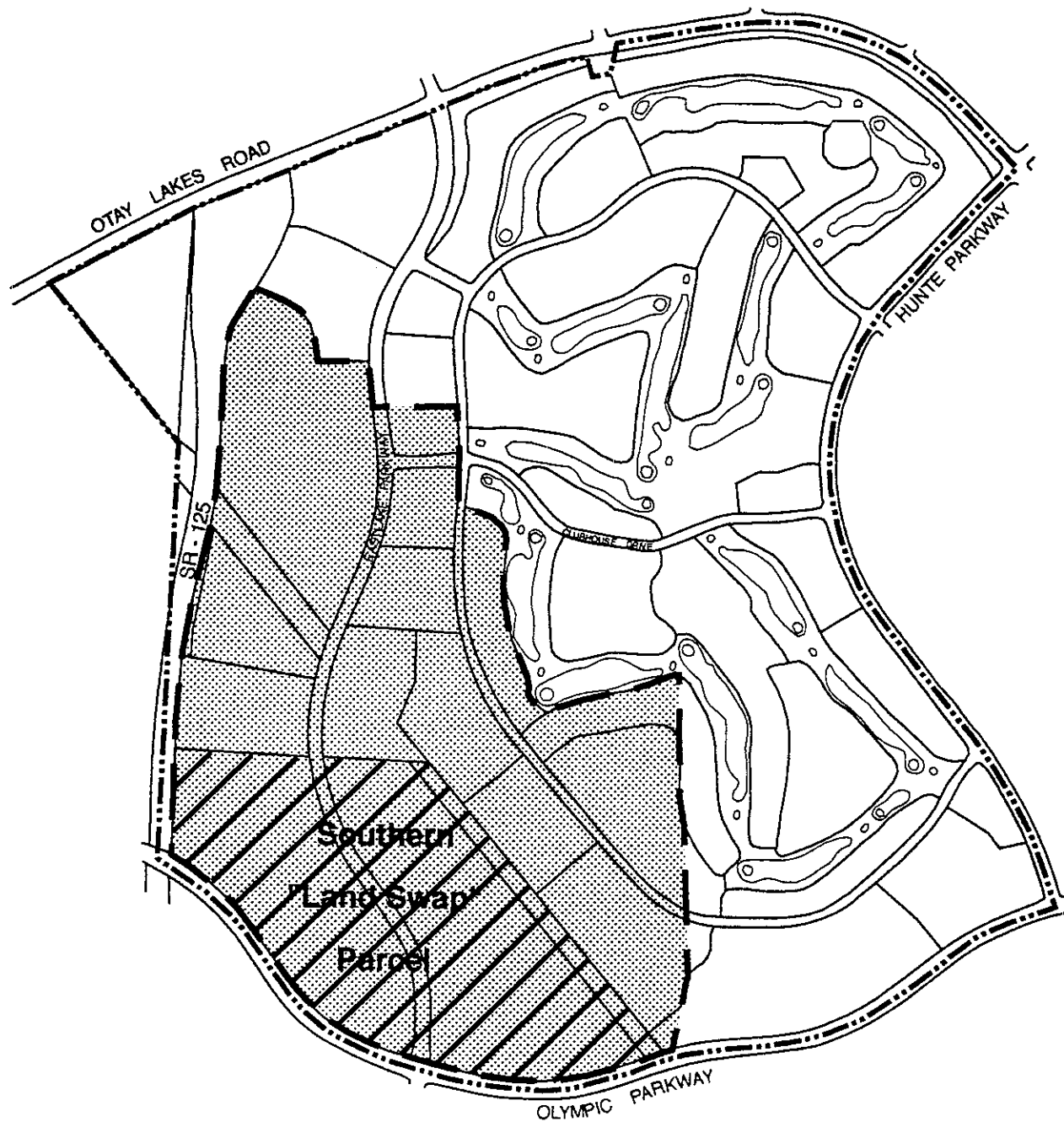
e. Financing Drainage Facilities:

(1) On-Site Facilities: City policy requires that all master planned developments provide for the conveyance of storm waters throughout the project to City engineering standards. As such, the "Land Swap" parcels will be required to construct those facilities through the subdivision exaction process.

(2) Off-Site Facilities: There are no off-site drainage facilities required of the "Land Swap" parcels.

f. Threshold Compliance Accommodation:

The "Land Swap" parcels shall be responsible for the conveyance of storm water flows in accordance with Civil Engineering Standards. The City Engineering Division shall review all plans to ensure compliance with City Engineering Standards.



Areas Tributary to
Poggi Canyon Drainage Basin

**EASTLAKE
GREENS**

Figure 9
Poggi Canyon Drainage Basin



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PLANNING
SYSTEMS

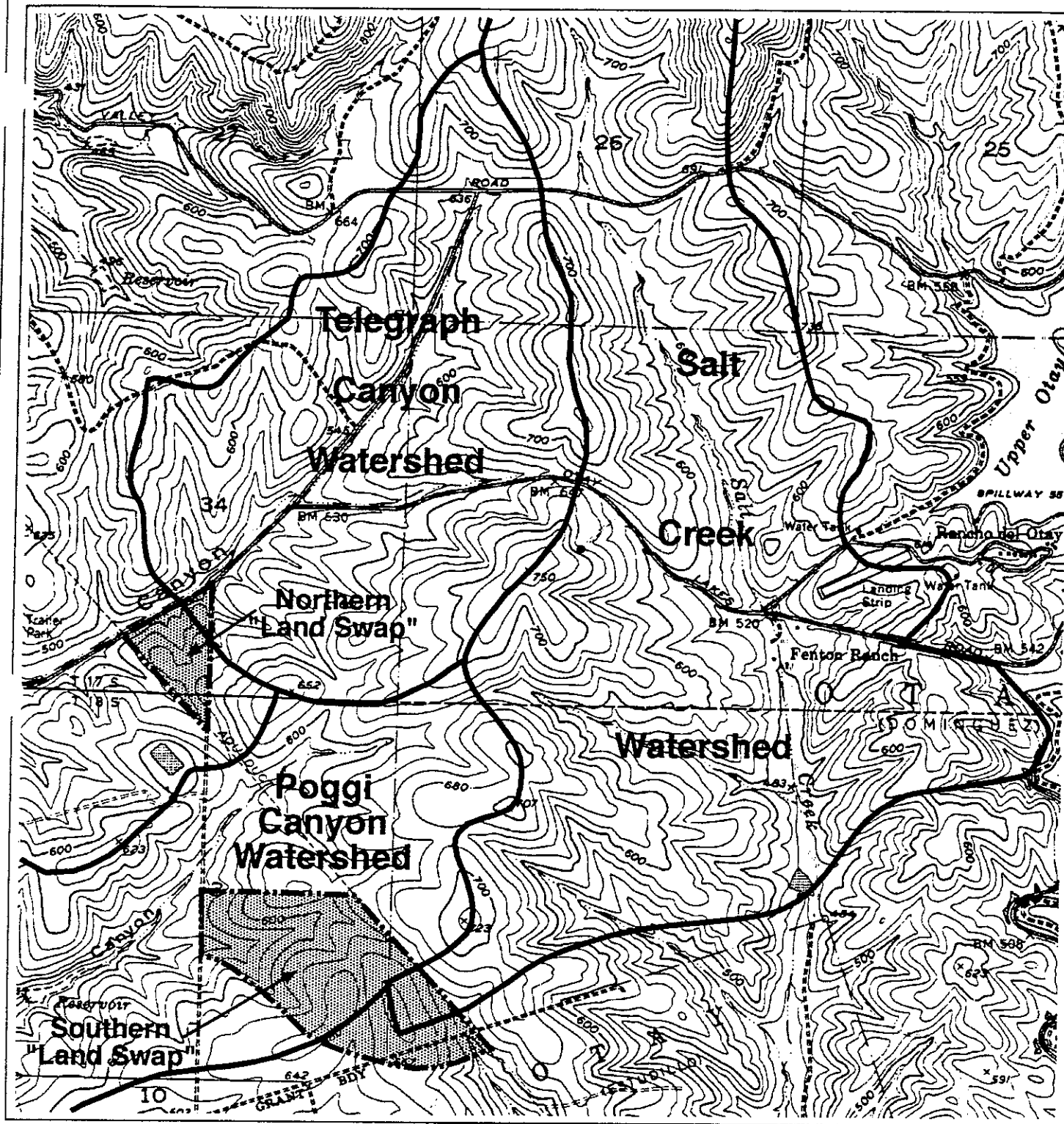


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No Scale



Base: USGS 7 5 Minute Jamul Mountains quadrangle

**EASTLAKE
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Figure 10
Watershed Boundaries



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6. School Facilities

a. Existing City Threshold Standards:

The City shall annually provide the two local school districts with a 12 to 18 month development forecast and request an evaluation of their ability to accommodate the forecast and continuing growth. The Districts' replies should address the following:

- Amount of current capacity now used or committed.
- Ability to absorb forecast growth in affected facilities.
- Evaluation of funding and site availability for projected new facilities.
- The growth forecast and school district response letters shall be provided to the GMOC for inclusion in its review.

b. Existing Conditions:

Eastlake Greens is serviced by two school districts. Grades kindergarten through 6th grade is serviced by Chula Vista Elementary School District. Middle school grades, 7th and 8th are serviced by the Sweetwater Union High School District as well as grades 9-12. Existing schools servicing the Eastlake Greens area are Olympicview Elementary, Rancho del Rey Middle School and Eastlake High School.

The schools servicing the project area and their capacities are shown below. The fall of 1997 enrollment for Olympicview Elementary was 721 students with an enrollment capacity of 743 students. Olympicview is operating almost at capacity with room for 22 more students. The District has located eight portable classrooms on the campus.

Table 9
School Capacities

School	Grades	Permanent and Temporary Capacity	Enrollment	Remaining Capacity
Olympicview Elementary	k-6	743	721	22
Rancho del Rey Middle School	7-8	1,500	635	865
Eastlake High School	9-12	2,460	1,867	593

Sweetwater Union High School District serves the Eastlake II area for grades 7-12. The school district has one high school and one middle school in the project area: Eastlake High School located on Eastlake Parkway; and Rancho del Rey Middle School (7-8), which is temporarily housed on the Eastlake High School property while the school is under construction.

The Fall 1997 enrollment at Eastlake High School was 1,831 against a total site capacity of approximately 2,460 (Wright 1998). Rancho del Rey Middle School had a Fall 1997 enrollment of 279 students and was operating temporarily on the Eastlake High School campus. Currently, Rancho del Rey serves students from two feeder schools: Olympicview and Eastlake Elementary as well as Chula Vista Hills and Discovery

Elementary. The Rancho del Rey Middle School is projected to open Phase I in Fall 1998. At completion, the student housing capacity will serve 1,500 students (Wright 1998).

A Community Facilities District (CFD) under the Mello-Roos legislation is currently in place for financing all school facilities to meet the Eastlake Greens needs. In compliance with the December 1986 Agreement between Sweetwater Union High School and The Eastlake Company, the company has provided to the Sweetwater Union High School District a site for a high school of forty-nine gross acres. Eastlake Greens shall not be subject to the payment of school impact fees for secondary school facilities (Reference is made to the Agreement between Sweetwater Union High School District and The Eastlake Company dated December 11, 1986 and "Special Tax Consultant Report" dated June 1986 for specifics).

In accordance with the December 1986 Agreement between Chula Vista Elementary School District and The EastLake Company, the company has agreed to sell to the Chula Vista Elementary School District four school sites of approximately ten (10) net usable acres each within the entire EastLake development. The purchase price for such property shall be the lesser of twenty percent (20 %) of the appraised value of the site or \$23,000 per acre, adjusted annually.

In September 1988, in partial satisfaction of this Agreement, the Chula Vista Elementary School District acquired an elementary school site within the Eastlake I area. A second elementary school site has been provided within Eastlake Greens. In addition to the authorization of a special tax and issuance of bonds, the Chula Vista Elementary School District has authorized a maximum impact fee of \$600 per residential dwelling unit, subject to annual escalation adjustment, payable at time of building permit. (Reference is made to the Agreement between Chula Vista Elementary School District and The EastLake Company dated December 9, 1986 and "Special Consultant Report" dated June 1986 for specifics.)

c. Proposed Changes:

The residential "Land Swap" parcels may have an impact on the current elementary educational facilities and may impact the current middle school and high school. The information below shows the existing Eastlake Greens dwelling unit projections and the "Land Swap" proposed dwelling units. The Districts student generation rates are applied to the dwelling unit counts to show the expected/proposed number of students that may be generated from the Land Swap parcels.

The Chula Vista Elementary School District applies a student generation rate of 0.30 students per household and does not differentiate between single family and multi-family dwelling units. The Sweetwater Union High School District applies a student generation rate of 0.19 per household for grades 9-12 and a generation rate of 0.10 for grades 7-8 for both single family and multi-family dwelling units.

Table 10
Student Generation for Eastlake Greens & Land Swap

Sectional Planning Area	Dwelling Units	Student Generation Rates			Student Projections		
		Elem. School K-6	Jr. High School 7-8	High School 9-12	Elem. School K-6	Jr. High School 7-8	High School 9-12
Eastlake Greens	2,738	0.30	0.10	0.19	821	273	520
Eastlake Greens "Land Swap"	705	0.30	0.10	0.19	211	70	134
Totals	3,443				1,032	343	654

d. Analysis of Changes:

The estimated 705 residential dwelling units from the "Land Swap" may generate an additional 211 k-6 students, 70 middle school students, and 134 high school students. If the proposed "Land Swap" residential units generated the students as shown above this would have an impact on the existing school facilities. Because the "Land Swap" residential parcels are not projected to be constructed before the year 2005, the Chula Vista Elementary District could review the attendance at that time and school capacity with the on-site portable alternatives. The Rancho del Rey Middle School and Eastlake High School are not operating at capacity and would be able to house incoming students from the proposed "Land Swap" dwelling units.

d. Phasing:

The development of the "Land Swap" parcels is undefined at this time. The northern "Land Swap" parcel can develop based upon market demand. It is anticipated that the commercial development of the southern "Land Swap" will not occur until the SR 125 corridor is developed and market forces create demand. The residential development of the southern "Land Swap" parcel, however, may develop before the development of the SR 125 corridor.

e. Financing School Facilities:

California Government Code section 65995 and Education Code section 53080 authorize school districts to impose facility mitigation exaction's on new development as a way to address increasing enrollment caused by that development.

The current developer fee for the Sweetwater District is \$0.96 and \$0.15 per square foot for residential and non-residential, respectively. The current developer fee for the Chula Vista District is \$0.76 and 0.13 per square foot for residential and non-residential.

Although the collection of school fees is one method available to defray the cost of new development, it is not an acceptable solution since the maximum amount which could be collected by law represents less than one-fourth the cost to construct schools.

In recognition of this funding deficiency, it is the policy of each district to fully mitigate the facility impacts caused by a master planned community via the creation of a Mello-Roos Community Facilities District as a condition of approval of the SPA Plan (CVESD) or prior to recordation of a final map (SUHSD). The following Mello-Roos Districts have been created by each district:

SUHSD

CFD No. 1 Eastlake
 CFD No. 2 Bonita Long Canyon
 CFD No. 3 Rancho del Rey
 CFD No. 4 Sunbow
 CFD No. 5 Mission Verde
 /Annexable
 CFD No. 8 Coal Gate: San
 Yidro Otay Mesa

CVESD

CFD No. 1 Eastlake
 CFD No. 2 Bonita Long Canyon
 CFD No. 3 Rancho del Rey
 CFD No. 4 Sunbow
 CFD No. 5 Territory for Future
 Annexations__

The estimate of costs for the construction of school facilities is based on historic data available from each district. Both districts follow state standards for determining the costs and size for school construction. The costs, including land acquisition, for high school are approximately \$16,004 per student (1995 dollars). Excluding land, the cost is \$12,700 per student. The costs, including land acquisition, for a middle school are approximately \$13,401 per student (1995 dollars). Excluding land, the cost is \$10,508 per student. The costs, including land acquisition, for an elementary school are approximately \$12,520 per student (1995 dollars). Excluding land, the cost is \$10,115 per student.

Using the above costs per student together with school size, the following costs per facility can be anticipated.

Elementary School Cost

625 students x \$10,115 / students w/o land cost = \$6,321,875
 625 students x \$12,520 / student w/ land cost = \$7,825,000

Middle School Cost

1,400 students x \$10,508 / students w/o land cost = \$14,711,200
 1,400 students x \$13,401 / students w/ land costs = \$18,761,400

High School Cost

2,400 students x \$12,700 students w/o land cost = \$30,480,000
 2,400 students x \$16,004 student w/ land cost = \$38,409,600

g. Threshold Compliance Accommodation:

As future development applications are processed in the Eastern Territories, the City shall coordinate with each school district to ensure that development does not occur until acceptable school site(s) are identified and a financing mechanism satisfactory to each district is in place.

7. Parks and Recreations Facilities

a. Existing City Threshold Standards:

Population Ratio: Three (3) acres of neighborhood and community park land with appropriate facilities per 1,000 residents east of I-805.

b. Existing Conditions:

Eastlake Greens Sectional Planning Area Plan Park Land Standards:

<u>Dwelling Type</u>	<u>Parkland/DU</u>	<u>Du/Park Acre</u>
Single Family	423 sf/du	103 du/ac
Attached/PUD*	366 sf/du	119 du/ac
Duplexes	325 sf/du	134 du/ac
Multiple Family	288 sf/du	151 du/ac

* Assumed "type of unit" for Attached/PUD includes SFD Condo's. Actual Park land required for SFD Condos may vary from the above and will be determined at the Design Review and/or tentative map processing stage.

c. Proposed Changes:

Eastlake Greens Amended Dwelling Unit Count

The total dwelling units proposed in Eastlake Greens has increased from 2,738 units to 3,443 units because of the "Land Swap."

<u>Type Of Unit</u>	<u>No. Of Dwelling Units</u>
Single Family	1,550
Attached/PUD	773
Duplex	110
Multi Family	1,010
	3,443 Total Dwelling Units

Population Assumptions

The population projections for Eastlake Greens was determined by applying a population generation rate of 2.88 persons per dwelling unit. See Eastlake II General Development Plan, Chapter I - Section I.9 page 4 of 5, footnote 1 for the assumed population generation rate.

Projected Population

<u>Total Units</u>	<u>Population Gen. Rate</u>	<u>Population</u>
3,443	2.88	9,915

Park Land Demand

Based on the City Of Chula Vista General Plan Parks and Recreation Element, Growth Management Threshold Standards, and the Eastlake Greens Sectional Planning Area Plan Park Dedication Standards, the following projections provides the park land demand analysis.

Growth Management Threshold Analysis:

<u>Population</u>	<u>Threshold Standard Demand</u> (3 acres/1,000 population)
9,915	29.7 acres

Eastlake Greens Sectional Planning Area Plan Analysis:

<u>Type Of Unit</u>	<u>No. Of DU</u>	<u>DU/Park Acre</u>	<u>Park Land</u>
Single Family	1,550	103 du/ac	15.1 acre
Attached/PUD	773	119 du/ac	6.5 acre
Duplexes	110	134 du/ac	0.8 acre
<u>Multi Family</u>	<u>1,010</u>	<u>151 du/ac</u>	<u>6.7 acre</u>
Totals	3,443		29.1 acres

The Eastlake Greens Sectional Planning Area Plan Threshold Analysis shall be utilized to determine demand on park facility adequacy in the Eastlake Greens Public Facilities Financing Plan (PFFP).

Park Land Supply:

Park Land Dedication: Park and recreation uses within Eastlake Greens include the public neighborhood parks, community parks, private neighborhood parks, a community trail system which will provide a connection between all major focal points within Eastlake Greens and extends north into Eastlake Shores and Eastlake Hills and east into Eastlake Trails. The Eastlake Greens Sectional Planning Area Plan park lands are listed in the table below along with their net and credit acreage, per the adopted Eastlake Greens Sectional Planning Area Plan.

Table 11
Eastlake Greens SPA Plan park lands

Parcel No.	Park	Park Type/Ownership	Acres	Projected % Credited (a)	Net Acres
P-1	Chula Vista Com. Park	Public/City	15.1	85%(b)	12.9
P-2	Augusta Park (Neighborhood Park)	Private/HOA	3.2	50%	1.6
P-3	Neighborhood Park (NP)	Public/City	11.8	85%	10.0
P-4	Country Club Park NP	Private/HOA	3.7	50%	1.9
P-5	Dolphin Beach NP	Private/HOA	3.0	50%	1.5
	Golf Course/ Public Trails	Public/City	1.1	100%	1.1
Totals			37.9		29.0

- (a) Actual park credit will be based on units developed and the final park plan plans to be approved by the Director of Planning. The amount of excess park credit is only a projection. The actual amount may be higher or lower depending on the actual units constructed and the final park boundaries.
- (b) An additional 7.0 acres of park land is required pursuant to agreements between the project sponsor and the City, which will be provided in the Salt Creek Community Park. These 7.0 acres include 2.0 acres of credit that were applied to the Eastlake Greens Community Park to make up for its "useable acre" deficit.

d. Analysis of Changes:

Projected City's Park Land Dedication Adequacy 37.9 acres of private and public improved park land and facilities shall be provided and or credited in Eastlake Greens. However, because of the percentage of credit allocated to Public Parks, Private Parks and other Public Park credits only 29.0 acres shall be applied toward meeting the Threshold Standards. Based on the Eastlake Greens Sectional Planning Area Plan park land demand analysis including the addition of the "Land Swap" land, there is a deficit of 0.1 acres (29.0 supply - 29.1 demand = < 0.1 > acres).

e. Phasing:

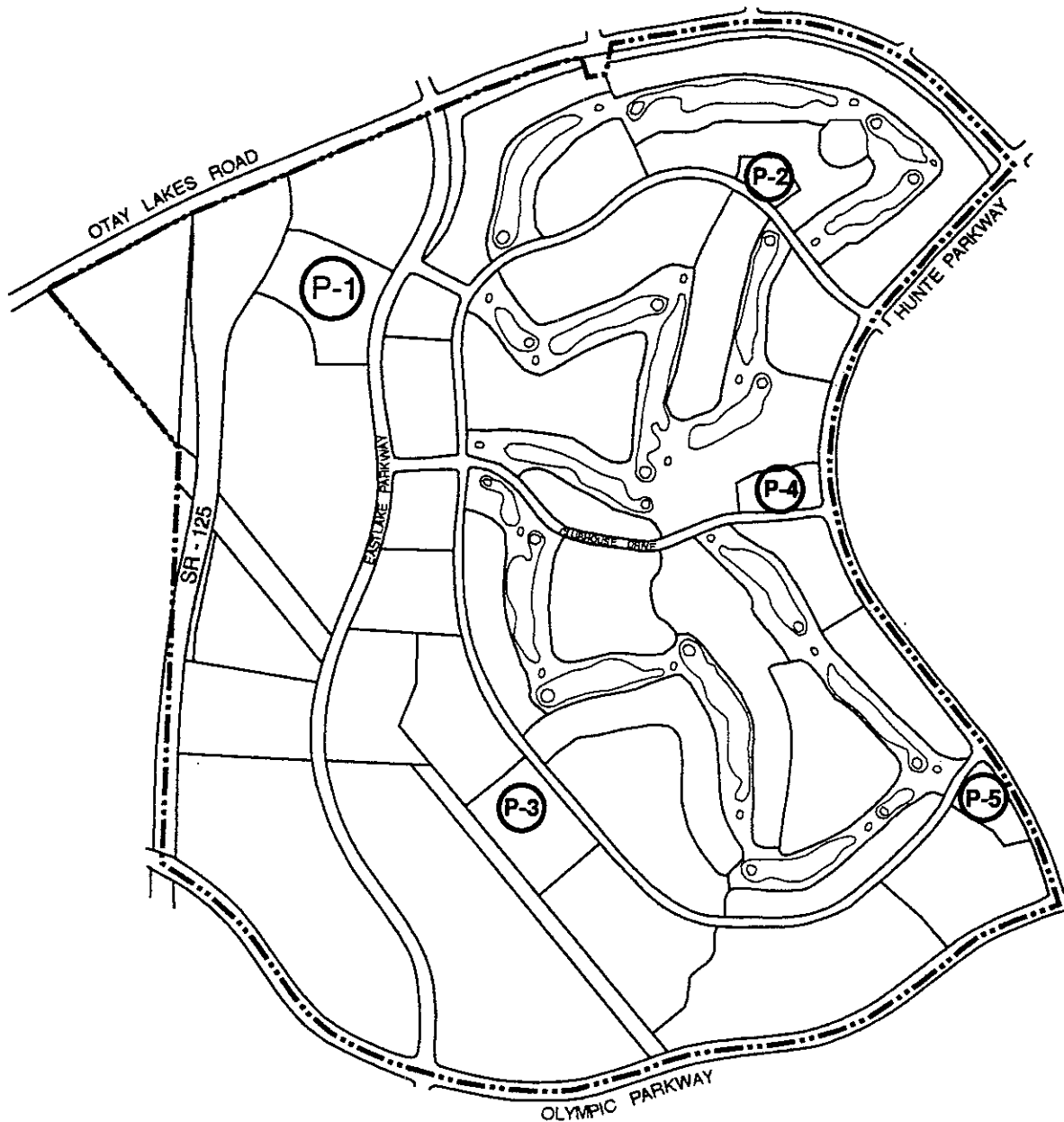
The development of the "Land Swap" parcels is undefined at this time. It is anticipated that the development of the southern "Land Swap" will not occur until the SR 125 corridor is developed and market forces create demand. The residential development of the southern "Land Swap" parcel, however, may develop before the development of the SR 125 corridor.

f. Financing Park Facilities:

The financing of parkland and improvements is governed by Chapter 17.10 of the Chula Vista Municipal Code as amended June 22, 1991. Included as part of the regulations are Park Acquisition and Development (PAD) fees established for the purpose of providing neighborhood and community parks and improvements are included in this regulation. The Ordinance provides that fees are paid to the City prior to approval of a final subdivision map.

g. Threshold Compliance:

Based on the analysis contained in this section of the PFFP, the parks standard for both neighborhood and community parks meets the required 3 acres per 1000 population standard.



PARK SITE LEGEND:

- P-1: CHULA VISTA COMMUNITY PARK (PUBLIC)
- P-2: AUGUSTA PARK (PRIVATE)
- P-3: NEIGHBORHOOD PARK (PUBLIC)
- P-4: COUNTRY CLUB PARK (PRIVATE)
- P-5: DOLPHIN BEACH (PRIVATE)

**EASTLAKE
GREENS**

**EastLake Greens
Park Location Map**



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8. Library Facilities

a. Existing City Threshold Standards:

Population Ratio: 500 square feet (gross) of adequately equipped and staffed library facility per 1,000 population.

b. Existing Conditions:

Library facilities are provided by the Chula Vista Library Department. In 1991, the City adopted a DIF program to pay for nine categories of public facilities including libraries. The Eastlake Greens project is located within the boundaries of the public facilities DIF - program and will be subject to payment of the fee in effect at the time building permits are issued.

As an obligation of Eastlake I, a one-acre library site shall be dedicated to the City of Chula Vista if the City determines that a branch library site is appropriate within the EastLake Planned Community area. If needed, the library site would be incorporated within the EastLake Village Center area with the actual site to be determined by the City in the context of subsequent site plan approval processes associated with the project area. Alternative locations within future EastLake SPA's will also be considered.

As a further obligation, the Developer was required to provide the City of Chula Vista with up to 4,000 square feet within the EastLake Village Center for interim storefront library purposes. This obligation has been met through participation agreements for the joint city/school district library on the EastLake High School campus. This experimental program began operation in 1993 at EastLake High School. This facility currently provides library services to the EastLake project area.

Eastlake Greens Dwelling Unit Count

The total dwelling units proposed in Eastlake Greens is 2,738 units

Population Assumptions

The population projections for Eastlake Greens was determined by applying a population generation rate of 2.88 persons per dwelling unit. See Eastlake II General Development Plan, Chapter I - Section I.9 page 4 of 5, footnote 1 for the assumed population generation rate.

Projected Population

Total Units	Population Gen. Rate	Population
2,738	2.88	
7,885		

Existing Library Demand

Growth Management Threshold Analysis:

Increased Population	Threshold Standard Demand (500 s.f./1,000 population)
7,885	3,943 square feet

c. Proposed Changes:

Eastlake Greens Amended Dwelling Unit Count

The total dwelling units proposed in Eastlake Greens has increased from 2,738 units to 3,443 units because of the Land Swap (R-9, FC-1 and PA-1).

Land Swap Projected Population

Total Units	Population Gen. Rate	Population
705	2.88	2,030

Proposed Library Demand**Growth Management Threshold Analysis:**

Increased Population	Threshold Standard Demand (500 s.f./1,000 population)
2,030	1,015 square feet

d. Analysis Changes:

The "Land Swap" residential parcels are not projected to be constructed before the year 2005, the City of Chula Vista shall review the library demand/supply at that time and determine if the Library Facility Threshold Standards are in conformance with Growth Management.

e. Phasing:

The residential portion of the "Land Swap" parcels are anticipated to be developed in one phase, approximately the year 2005.

f. Financing:

In January 1991, the Chula Vista City Council adopted Ordinance No. 2320 establishing a Development Impact Fee to pay for nine categories of public facilities within the City of Chula Vista. The facilities are required to support future development within the City and the fee schedule has been adopted in accordance with Government Code Section 66000. The fees were updated by adoption of Ordinance No. 2554 on April 27, 1993. The current fee is \$2,150 per equivalent dwelling unit.

The Eastlake Greens project is within the boundaries of the current public facilities DIF program. However, the Land Swap parcels will be subject to the payment of the fee at the rate in effect at the time of building permits are issued. The portion of the fee attributable to libraries is \$544/EDU.

**Table 12
Library Fee for "Land Swap"**

Development Phase	EDU's	Library Fee @ \$544/EDU	Library Fee Per For "Land Swap"
Land Swap Parcels	750*	\$408,000	\$408,000

* 45 dwelling units of this number were included in the original PFFP.

g. Threshold Compliance:

Based on this analysis, when the "Land Swap" parcels are developed the City will need to determine if the library facilities provided at that time are adequate to meet the Threshold Standard. No mitigation is proposed at this time.

9. **Fire and Emergency Medical Services (EMS)**

a. **Existing City Threshold Standards:**

Emergency Response: Properly equipped and staffed fire and medical units shall respond to calls throughout the City within seven (7) minutes in 85 percent (current service to be verified of the cases) (measured annually).

b. **Existing Conditions:**

Currently, the City of Chula Vista Fire Department (CVFD) provides two fire facilities to serve the EastLake area. These two facilities are Fire Station No. 4 located at 861 Otay Lakes Road and Interim Fire Station No. 6 located at 975 Lane Avenue. Fire Station No. 4 provides backup and support to Interim No. 6.

c. **Proposed Changes:**

The CVFD is currently updating the Fire Station Master Plan. The proposed plan recommends the following changes that will affect the "Land Swap" parcels:

- Fire Station No. 4 is planned to be relocated to 850 Paseo Ranchero.
- Interim Fire Station No. 6 will be relocated to Salt Creek Ranch in a permanent facility.
- Fire Station No. 8 will be constructed in the vicinity of Otay Lakes Road east of Hunte Parkway. Station No. 8 would replace Station No. 4 and Station No. 6 as the primary response stations.

d. **Analysis Of Changes:**

The "Land Swap" parcels can be adequately serviced under existing and proposed changes. Development within the "Land Swap" parcels will be required to pay their fair share for proposed Fire and EMS services via DIF fees.

e. **Phasing:**

The Land Swap parcels are not anticipated to be developed prior to the year 2005. However, these parcels are within the response time that meet the Threshold Standards.

f. **Financing Facility:**

In January 1991, the Chula Vista City Council adopted Ordinance No. 2320 establishing a Development Impact Fee to pay for nine categories of public facilities within the City of Chula Vista. The facilities are required to support future development within the City and the fee schedule has been adopted in accordance with Government Code Section 66000. The fees were updated by adoption of Ordinance No. 2554 on April 27, 1993. The current fee is \$2,150 per equivalent dwelling unit.

The portion of the fee attributable for Fire and EMS is \$141/EDU.

The Eastlake Greens project is within the boundaries of the current public facilities DIF program. However, the "Land Swap" parcels will be subject to the payment of the fee at the rate in effect at the time of building permits are issued.

Table 13
Fire/EMS Fee for "Land Swap"

Development Phase	EDU's	Fire Fee @ \$141/EDU	Fire & EMS Fee Per For Land Swap
Land Swap Parcels	750*	\$105,750	\$105,750

* 45 dwelling units of this number were included in the original PFFP.

g. Threshold Compliance:

The City will continue to monitor Fire Department responses to emergency fire and medical calls and report the results to the GMOC on an annual basis.

10. Police Protection

a. Existing City Threshold Standards:

Emergency Response: Properly equipped and staffed police units shall respond to 84 percent of "Priority One" emergency calls within (7) minutes and maintain an average response time to all "Priority One" emergency calls of 4.5 minutes or less.

Respond to 62 percent of "Priority Two Urgent" calls within seven (7) minutes and maintain an average response time to all "Priority Two" calls of 7 minutes or less.

b. Existing Conditions:

Police protection for the EastLake II project is provided by the Chula Vista Police Department (CVPD) located at 276 Fourth Avenue in Chula Vista. Currently, CVPD maintains a staff of 179 sworn officers and 82 civilian/support personnel. The EastLake Greens SPA is east of police patrol beat 32, which is served by one patrol car 24 hours per day.

c. Proposed Changes:

The development of the "Land Swap" parcels will incrementally increase the demand for police services. The development of the Medium Density Residential "Land Swap" parcel has the potential of 705 dwelling units which will increase the population by approximately 2,030 persons (2.88 persons per dwelling unit). According to City standards, this population will require an additional 2.8 officers (1.38 officers/1,000 citizens) plus 3.5 support staff to maintain current levels of police service. In addition, approximately 622 square feet of police facilities would be required to house the additional 2.8 officers (222.25 square feet per officer).

d. Analysis of Changes:

The development of the "Land Swap" parcels are not expected before 2005. However, if development does occur before 2005, it can be adequately serviced under existing and proposed changes. Development within the "Land Swap" parcels will be required to pay their fair share for proposed police services via DIF fees.

e. Phasing:

The Land Swap parcels are not anticipated to be developed prior to the year 2005. However, these parcels are within the response time that meet the Threshold Standards.

f. Financing Facility:

In January 1991, the Chula Vista City Council adopted Ordinance No. 2320 establishing a Development Impact Fee to pay for nine categories of public facilities within the City of Chula Vista. The facilities are required to support future development within the City and the fee schedule has been adopted in accordance with Government Code Section 66000. The fees were updated by adoption of Ordinance No. 2554 on April 27, 1993. The current fee is \$2,150 per equivalent dwelling unit.

The portion of the fee attributable for Police is \$235/EDU.

The Eastlake Greens project is within the boundaries of the current public facilities DIF program. However, the Land Swap parcels will be subject to the payment of the fee at the rate in effect at the time of building permits are issued.

Table 14
Police Fee for "Land Swap"

Development Phase	EDU's	Police Fee @ \$235/EDU	Police Fee Per For "Land Swap"
Land Swap Parcels	750*	\$176,250	\$176,250

* 45 dwelling units of this number were included in the original PFFP.

g. Threshold Compliance:

The City will continue to monitor police responses to calls for service in both the Emergency (priority one) and Urgent (priority two) categories and report the results to the GMOC on an annual basis.

11. Air Quality

a. Existing City Threshold Standards:

The City shall annually provide the San Diego Air Pollution Control District with a 12 to 18 month development forecast and request an evaluation of its impact on current and future air quality management programs, along with recent air quality data. The growth forecast and APCD response letters shall be provided to the GMOC for inclusion in its review.

b. Existing Conditions:

The "Land Swap" parcels are within the San Diego Air Basin. The existing air quality for the Chula Vista area is monitored by the State Air Resources Board at a monitoring station approximately five miles west of the project area. Air quality is usually expressed as the number of days in which the air pollution levels exceed state standards set by the California Air Resources Board (CARB) and federal standards set by the EPA.

Of special concern to CARB and the EPA are the pollutants ozone, carbon monoxide, particulates, nitrogen dioxide, sulfur dioxide and lead. Ozone is the major primary pollutant in the San Diego area. The basin is designated by the state and the feds as a "serious" nonattainment area for ozone. In 1994, San Diego exceeded the state standard for ozone on 79 days. No violations of the state standard for carbon monoxide have been recorded since 1991. The basin is in attainment for particulates and the pollutants nitrogen dioxide, sulfur dioxide and lead.

c. Proposed Changes:

According to the Subsequent EIR the future development of the "Land Swap" parcels will be consistent with Regional Air Quality Strategy in the San Diego Air Basin. However, The City will annually provide the San Diego Air Pollution Control District (APCD) with a 12-18 month development forecast and request an evaluation of its impact on current and future air quality management programs, along with recent air quality data. The growth forecast and APCD response letters shall be provided to the GMOC for inclusion in its annual review.

d. Analysis of Changes:

An Air Quality Improvement Plan is required for all major development projects (50 dwelling units or greater, or commercial and industrial projects with 50 EDU's of water demand or greater). This plan is required at the Sectional Planning Area (SPA) Plan level, or equivalent for projects which are not processed through a Planned Community Zone.

The City will provide a development forecast to the APCD in conformance with the threshold standard. A separate Air Quality Improvement Plan is provided as part of the SPA document.

e. Phasing:

The development of the "Land Swap" parcels is undefined at this time.

f. Service Analysis:

An Air Quality Improvement Plan is required for all major development projects (50 dwelling units or greater, or commercial and industrial projects with 50 EDU's of water demand or greater). This plan is required at the Sectional Planning Area (SPA) Plan level, or equivalent for projects which are not processed through a Planned Community Zone.

The Air Pollution Control District is responsible for the Air Quality Maintenance Program in compliance with the California Clean Air Act. There is no local Master Plan for Air Quality.

The *Air Quality Improvement Plan EastLake Greens SPA*, as amended, was prepared by Jay Kneip Land Planning.

g. Threshold Compliance Accommodation:

The City continues to provide a development forecast to the APCD in conformance with the threshold standard. A separate Air Quality Improvement Plan is provided as part of the SPA document.

12. Civic Center and Corporation Yard:

a. Existing Threshold Standards:

There is no adopted threshold standards for these facilities. The facility information is being provided in this report to aid in the establishing operational benchmarks which will determine construction phasing of the Civic Center and Corporation Yard. These facilities are funded through the collection of the DIF fees in effect at the time building permits are issued.

b. Existing Conditions:

<u>Existing Civic Center facilities</u>	<u>Square Feet</u>
Civic Center	111,940 s.f.
Previous County Health Center	3,120 s.f.
Future Public Works Inspections Division	<u>1,200 s.f.</u>
Total	116,260 s.f.

The existing corporation yard located at "F" Street and Woodlawn is inadequate to meet current demands. The City is considering a new site within the Otay Rio Business Park adjacent to the MCA Amphitheater.

c. Proposed Changes:

The City of Chula Vista has established a Development Impact Fee to pay for various public facilities such as the Civic Center and Corporation Yard. The facilities are required to support future development within the City. The current fee is \$2,150 per equivalent dwelling unit. The EastLake Greens "Land Swap" parcels are within the boundaries of the public facilities DIF program. Future development of these parcels will be subject to the payment of the fee.

d. Analysis Of Changes:

Corporation Yard facilities will be funded through the collection of public facility fees at the rate in effect at the time building permits are issued.

e. Phasing:

The Land Swap parcels are not anticipated to be developed prior to the year 2005. However, these parcels are within the response time that meet the Threshold Standards.

f. Financing Facility:

In January 1991, the Chula Vista City Council adopted Ordinance No. 2320 establishing a Development Impact Fee to pay for nine categories of public facilities within the City of Chula Vista. The facilities are required to support future development within the City and the fee schedule has been adopted in accordance with Government Code Section 66000.

The fees were updated by adoption of Ordinance No. 2554 on April 27, 1993. The current fee is \$2,150 per equivalent dwelling unit.

The portion of the fee attributable for Civic is \$527/EDU.

The portion of the fee attributable for Corporation Yard Facilities is \$515/EDU.

The Eastlake Greens project is within the boundaries of the current public facilities DIF program. However, the Land Swap parcels will be subject to the payment of the fee at the rate in effect at the time of building permits are issued.

Table 15
Civic Fee for "Land Swap"

Development Phase	EDU's	Civic Fee @ \$527/EDU	Civic Fee Per For Land Swap
Land Swap Parcels	750*	\$395,250	\$395,250

* 45 dwelling units of this number were included in the original PFFP.

Table 16
Corporate Yard Fee for "Land Swap"

Development Phase	EDU's	Corp. Yard Fee @ \$515/EDU	Corp. Yard Fee Per For Land Swap
Land Swap Parcels	750*	\$386,250	\$386,250

* 45 dwelling units of this number were included in the original PFFP.

g. Threshold Compliance:

Civic Center facilities and Corporate Yard facilities will be funded through the collection of the public facilities fees at the rate in effect at the time building permits are issued.

D. PUBLIC FACILITIES PHASING

Technical studies that create the foundation of this supplemental PFFP make certain assumptions regarding the development timing of the "Land Swap" parcels. These specialized studies assumed that the properties would be developed during the 2005 - 2010 timeframe. The studies also assumed that certain regional infrastructure would be in place then. This regional infrastructure includes, but is not limited to, the extension of Olympic Parkway, the Poggi Canyon Trunk Sewer, SR 125 and drainage facilities in Poggi Canyon. If the development of the southern "Land Swap" parcel is considered prior to the targeted development time frame then additional studies will be necessary to assure the adequate provision of public services. The northern "Land Swap" parcel, however, does not require the aforementioned facilities prior to development. Section C of this document provides a financial method discussion for each facility. The following table summarizes the public facilities phasing for the "Land Swap" parcels:

Table 17
EastLake Greens "Land Swap" Summary of Facilities

Facility	Facility Description	Fee Estimate	DIF Program	Timing	Funding Source	Financing Method
Transportation	Eastlake Parkway and Other Transp. facilities	\$9,335,480 ¹	Transportation Facilities in Eastern Territories	Concurrent w/ Building Permit	DIF const./ exaction ¹	Fee Program
	Interim Pre-SR 125	\$1,914,700	Interim Pre-SR 125	"	DIF exaction	Fee Program
	Traffic Signal	\$491,270	Traffic Signal Fee	"	DIF exaction	Fee Program
Subtotal		\$11,741,450				
Potable Water	980 & 711 Trans. Main	\$1,520,000*	City DIF fees do not apply to the OWD	Concurrent w/ Final Map for Southern L.S. parcel	OWD CIP Fees	Capacity Fees and Exactions
Recycle Water	680 & 950 Trans. Main	\$1,110,000*	City DIF fees do not apply to the OWD	Concurrent w/ Final Map for Southern L.S. parcel	OWD CIP Fees	Capacity Fees and Exactions
Sewer	Connection to Tele. Cyn. Trunk Sewer	\$45,448	Telegraph Cyn. Gravity Sewer Basin DIF	Concurrent w/ Building Permit for Northern L.S.	CIP/Develop-ment	Fee Program
	Upgrade Pump Station & connect to Tele Cyn.	\$598,920	Telegraph Cyn. Basin Pumped DIF	Concurrent w/ Building Permit for Southern L.S.	CIP/Develop-ment	Fee Program
	Connection to Poggi Cyn. Trunk Sewer	\$406,100	Poggi Cyn. Basin DIF	Concurrent w/ Building Permit for Southern L.S.	CIP/Develop-ment	Fee Program
Drainage	North L.S. connect to exist. SD	Unknown	No Drainage DIF	Per Ordinance	Developer funded	Subdivision exaction
	South L.S. connect to SR125 SD	Unknown		Per Ordinance	Developer funded	Subdivision exaction
Schools	No specific facility	Unknown	DIF not required for schools.	Concurrent w/ Final Map	Mello-Roos CFD	CFD
	Park dedication & construction		Park Acquisition & Development (PAD) Fees	Pay @ Building Permit	\$2990/EDU PAD Fees	Fee Program
Library	Pay PF/DIF Fee	\$2,242,500	Public Facilities DIF	Pay @ Building Permit	\$544/EDU	Fee Program
Fire & EMS	Pay PF/DIF Fee	\$105,750	Public Facilities DIF	Pay @ Building Permit	\$141/EDU	Fee Program
Police	Pay PF/DIF Fee	\$176,250	Public Facilities DIF	Pay @ Building Permit	\$235/EDU	Fee Program
Civic/Corporate Yard	Pay PF/DIF Fee	\$781,500	Public Facilities DIF	Pay @ Building Permit	\$527/EDU Civic \$515/EDU C.Y.	Fee Program
Total		\$18,729,818²				

* These are projected OWD CIP costs.

¹ Eastlake Parkway estimated cost of 2.3 million constitutes an advance of TDIF facilities and is included in the fee estimate shown in Table 17.

² Total \$18,729,818 includes connection to Telegraph Canyon Trunk Sewer but not Poggi Canyon connection.

E. PUBLIC FACILITIES FINANCE

1. Overview

All development within the City of Chula Vista must be in compliance with the City's Growth Management Program. The appropriate public facility financing mechanisms are required and approved by the City to fund the acquisition, construction and maintenance of public facilities. New facilities will be required to support the planned development of the EastLake Greens "Land Swap" parcels.

The public facilities are generally provided or financed in one of the following ways:

- a. Subdivision Exaction:** Developer constructed and financed as a condition of project approval.
- b. Development Impact Fee (DIF):** Funded through the collection of an impact fee. Constructed by the public agency or developer constructed with a reimbursement or credit against specific fees.
- c. Debt Financing:** Funded using one of several debt finance mechanisms. Constructed by public agency or developer.

It is anticipated that all three methods will be utilized for the EastLake Greens "Land Swap" parcels to construct and finance public facilities.

2. Financing programs available

a. Tentative Map Conditions:

Public improvements for the "Land Swap" parcels will be constructed simultaneously with related subdivisions. Through the use of the Subdivision Map Act, it is the responsibility of the developer to provide for local street and utility improvements. The use of subdivision conditions and exactions, where appropriate, will ensure that the construction of facilities is timed with actual development. When appropriate, however, the city may impose the use of other public facilities financing mechanisms to finance the public improvements.

b. Development Impact Fee Programs

Development Impact Fees (DIF) are acceptable methods to contribute to the financing of capital improvements within the city of Chula Vista. The EastLake Greens project is subject to fees established to help defray costs of facilities which will benefit the "Land Swap" parcels. These fees include but may not be limited to:

- (1) Eastern Chula Vista Transportation Impact Fee: Street DIF established to provide financing for circulation element road projects of regional significance in the area east of I-805.
- (2) Public Facilities Development Impact Fee: Public Facilities DIF established to collect funds for civic center facilities, police facility remodeling,

corporation yard relocation, libraries, fire suppression system, geographical information system, mainframe computer, telephone system upgrade and a records management system.

- (3) **Park Acquisition and Development Fees:** PAD fee established to pay for the acquisition and development of new park facilities.
- (4) **Traffic Signal Fees:** To pay for traffic signals associated with circulation element streets.
- (5) **Telegraph Canyon Gravity Sewer Basin DIF:** Fee established to pay for sewer basin improvements due to increased flows from future development.
- (6) **Telegraph Canyon Pumped Sewer DIF:** Fee established to pay for system upgrades within the Telegraph Canyon Sewer Basin to accommodate flows generated outside of the basin.
- (7) **Poggi Canyon Sewer Basin DIF:** Fee established to pay for sewer basin improvements required by increased flows from future development which gravity flow to the Poggi Creek Basin.
- (8) **Interim SR 125 DIF:** Fee established to pay for certain transportation facilities in the eastern area of Chula Vista to relieve traffic congestion prior to construction of SR 125.
- (9) **Otay Water District Fees:** OWD may require annexation to an existing improvement district or creation of some other finance mechanism that may result in specific fees being modified.

c. Debt Finance Programs

The City of Chula Vista has a history of using assessment districts to finance a number of street improvements, as well as sewer and drainage facilities. The Otay Municipal Water District has used such improvement districts for water system improvements. Both school districts have implemented Mello-Roos Community Facility Districts to finance school facilities.

(1) Assessment Districts

Special assessment districts may be proposed for acquiring, constructing and/or maintaining certain public improvements under the Municipal Improvement Act of 1913 and the Improvement Bond Act of 1915. The City has suspended the use of the Lighting and Landscape Act of 1972 for new open space district formation due to the passage of Proposition 218. The administration of the special assessment district is the responsibility of the public agency.

On January 13, 1998, the City Council adopted the "City of Chula Vista statement of goals and policies regarding the establishment of Community Facilities Districts" (CFD). The approval of this document ratified the use of CFD's as a public financing mechanism for:

- the construction and/or acquisition of public infrastructure, and

- the financing of authorized public services, including services provided by open space districts.

On April 28, 1998, the City Council enacted the "Chula Vista Community Facilities District Ordinance." This ordinance adopted the Mello-Roos Act with modifications to accomplish the following:

- incorporate all maintenance activities authorized by the "Landscaping & Lighting Act of 1972" (1972 Act) and
- include maintenance activities not listed in the "Mello-Roos Act" or the "1972 Act."

Special assessment financing may be appropriate when the value or benefit of the public facility can be assigned to specific properties. Assessments are levied in specific amounts against each individual property on the basis of relative benefit. Special assessments may be used for both publicly dedicated on-site and off-site improvements.

(2) **Mello-Roos Community Facilities Act of 1982**

The Mello-Roos Community Facilities Act of 1982 authorizes formation of community facilities districts which impose special taxes to provide financing for certain public facilities or services. Facilities which can be provided under the Act include the purchase, construction, expansion, or rehabilitation of: Local park, recreation, or parkway facilities; Elementary and secondary school sites and structures; Libraries; and, any other governmental facilities that legislative bodies are authorized to construct, own or operate. In addition, the City has enacted an ordinance that adopted the Mello-Roos Act with modifications to accomplish the maintenance of facilities (see the discussion under Assessment Districts).

d. Other Finance Methods

(1) **General Fund:**

The City of Chula Vista's general fund supports many public services throughout the city. The facilities and services included in the general fund are those which benefit not only a new project, but also the residents of the city in general.

(2) **State and Federal Funding:**

Although rarely available to fund an entire project, federal and state financial and technical assistance programs are available to public agencies, in particular school districts which receive significant funding from the state.

(3) **Dedications:**

Dedication of sites by developers for public capital improvements is a common financing tool used to acquire land. In the case of the "Land Swap parcels, public streets are expected to be conveyed through dedication:

(4) **Developer Reimbursement Agreements:**

Certain facilities that are off-site of the "Land Swap" parcels and/or provide regional benefits may be constructed in conjunction with their development.

(5) **Development Agreement:**

A development agreement between the City of Chula Vista and The EastLake Company has been used in the development of the EastLake Greens SPA (SPA #2), including the EastLake South Greens project. Depending upon the type of development proposed for the "Land Swap" parcels, an amendment to the original agreement or a new development agreement may be an appropriate vehicle to implement the PFFP.

F. IMPLEMENTATION PLAN

The development of the "Land Swap" parcels is not expected to occur until after the Year 2005. However, due to market pressures the "Land Swap" parcels may develop earlier. The Supplemental Public Facilities Financing Plan (PFFP) is intended to augment the existing EastLake Greens PFFP and identifies the various public facilities required to support planned development of the "Land Swap" parcels. The Supplemental PFFP also insures that future required public facilities are provided at the time they are needed.

The assumed growth projection of the "Land Swap" parcels and related public facility needs are subject to a number of external factors. These factors include the state of the economy and the City's land development approval decisions. The funding sources identified in this document may change due to financing programs available in the future or requirements of either state or federal law. Revisions to cost estimates and funding programs will be handled administratively.

G. FISCAL IMPACT

1. Existing City Threshold Standards:

- a. The GMOC shall be provided with an annual fiscal impact report which provides ' an evaluation of the impacts of growth on the City, both in terms of operations and capital improvements. This report should evaluate actual growth over the previous 12-month period, as well as projected growth over the next 12-18 month period, and 3-5 year period.
- b. The GMOC shall be provided with an annual "economic monitoring report" which provides an analysis of economic development activity and indicators over the next previous 12-month period, as well as projected growth over the next 12-18 month period, and 3-5 year period.

2. Existing Conditions:

A fiscal impact analysis prepared by CIC Research, Inc., (see Appendix A) identifies the estimated fiscal impact that the land swap parcel will have on the operation and maintenance budgets of the City of Chula Vista (general fund). The "Land Swap" parcels includes a portion of the EastLake Greens. Information pertaining to the scope of development was derived from EastLake Company. The "Land Swap" parcels will include 750 multi family units, 11.7 net acres of office uses and 42.6 net acres of retail uses.

The CIC analysis of revenues and expenditures did not include DIF fees. The analysis focused on the city's general fund account for city services. Estimated revenues were from property taxes (secured and unsecured), sales tax, franchise tax, TOT, business licenses, utility taxes, etc. Estimated expenditures were from police, fire, administration, public works, planning, library and park and recreation services.

All values are in 1998 dollars. No annual adjustments to revenues or costs were utilized. The estimated costs and revenue annual flows are primarily related to the estimated absorption schedule. Annual revenues range from \$376,100 in the first year of development (2005) to \$986,700 at build-out. Expenditures range from \$362,800 in year one to \$892,400 at build-out. The net fiscal impact from developing the study portion of EastLake Greens is positive in year one (\$13,300) and remains positive to build-out (\$94,300).

4. Threshold Compliance:

An analysis of the fiscal impacts of the development of "Land Swap" parcels will have on the operation and maintenance budgets of the City of Chula Vista was prepared by CIC Research, Inc. A summary of the analysis is included above.

The results of the analysis will be included in the next annual fiscal and economic report prepared for the GMOC.

APPENDIX A
FISCAL IMPACT ANALYSIS



**FISCAL IMPACT ANALYSIS
OF LAND SWAP PARCEL**

Prepared for:

City of Chula Vista
276 Fourth Avenue
Chula Vista CA 91910

Prepared by:

CIC Research, Inc.
8361 Vickers Street
San Diego CA 92111

June 16, 1998



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INTRODUCTION

This analysis identifies the estimated fiscal impact that the land swap parcel will have on the operation and maintenance budgets of the City of Chula Vista (general fund). The land swap parcel includes a portion of the Eastlake Greens. Information pertaining to the scope of development was derived from The Eastlake Company.

Two basic methodologies were utilized in estimating public agency revenues and expenditures; the case study and per unit/acre multiplier methods. The case study method was used to estimate secured property tax. The case study method is based on specific characteristics of the project from which revenues can be estimated. Appropriate City officials were contacted to identify actual tax rates and fees, also Mr. Dan Beintema of the Chula Vista Fire Department was contacted for costs associated with fire protection. Mr. David Palmer of the Chula Vista library and Mr. Jerry Foncerrada of the Parks Department were contacted. The per unit/acre multiplier method, which represents a more general approach was utilized to estimate unsecured property tax, sales tax, TOT, property transfer tax, utility tax, license fees, fines, other revenues and fees and all expenditures. The City of Chula Vista's FY 1997-1998 Budget was utilized to estimate per unit/acre multipliers.

Future revenues and expenditures are presented in current (1998) dollars. Also, revenues and expenditures are depicted annually, reflecting a conservatively projected development absorption schedule. This approach identifies annual project fiscal surpluses and deficits and represents a more realistic approach when compared to assuming instant build-out.

PROJECT DESCRIPTION

The land swap parcel will include 750 multi family units, 11.7 net acres of office uses and 42.6 net acres of retail uses. Presented in Table 1 is a description of the product types and projected absorption schedule, both provided by The Eastlake Company. This schedule includes a 12 year development schedule. For the purpose of this analysis, absorption represents new units being sold (or rented) and occupied.

Estimated housing market values were developed by The Eastlake Company. Commercial values were estimated using COMPs (Commercial Property Information Services). Estimated coverage ratios of 40 percent for retail and 80 percent for office (assumes two story), and market values of \$140 per square foot for the professional administration and thoroughfare commercial uses were utilized. These values are utilized in identifying property taxes and are presented in Table 1.

PROJECT DEMOGRAPHICS AND LAND USES

In developing per unit/acre multipliers, CIC utilized demographic and land use information related to the City of Chula Vista as a whole and, more specifically, the subject Eastlake parcels. Included in Table 2 are population characteristics, housing statistics and the amount of developed acreage by land-use.

Table 1
DEVELOPMENT DESCRIPTION AND ABSORPTION SCHEDULE BY LAND USE

Land Use	Per Unit/ Net Acre Value (000's)	Cumulative Developed and Occupied Units/Net Acres										
		98/99	99/00	00/01	01/02	02/03	03/04	04/05	05/06	06/07	07/08	08/09
EASTLAKE GREENS (Swap)												
Multi-Family	\$160.0	0	0	0	0	0	0	0	375	750	750	750
Professional & Admin.	\$4,879	0.0	0.0	0.0	0.0	0.0	0.0	0.0	3.9	7.8	11.7	11.7
Thoroughfare Commercial	\$2,439	0.0	0.0	0.0	0.0	0.0	0.0	0.0	10.7	21.3	32.0	42.6

Table 2
EASTLAKE FISCAL IMPACT
GENERAL ASSUMPTIONS

Chula Vista	
Population	156,100
Occupied Housing Units	53,016
Persons Per Household	2.94
Street Miles	321
Estimated Avg. HH Income	\$53,464
Median Housing Price	\$160,000
Land Uses (Developed Acres)	
Commercial	1,093.46
Industrial	724.62
Residential	6,876.98
Park	339.85
Land Swap Parcel	
Estimated Population	2,205
Housing Units	750
Commercial Acres	54.3
Industrial Acres	0
Park Acres	0
Street Miles	0
Estimated Avg. HH Income	\$53,000
Median Housing Price	\$160,000

Source: California Department of Finance, 1998
City of Chula Vista
The Eastlake Company
DataQuick Information Services

REVENUES

Operating revenues for the City of Chula Vista resulting from the proposed Eastlake Land Swap Parcel are estimated in this section. The major revenue sources which are expected to be generated from the subject developments and detailed in this chapter include property tax (secured and unsecured), property transfer tax, sales tax, franchise fees, TOT, utility tax, license revenue, miscellaneous fines, homeowner's property tax relief, motor vehicle license fees, gas tax and charges for various current services. The City of Chula Vista's Budget (FY 1997/1998) for these revenue items is detailed in Table 3 along with allocation rates. The following sections detail each of the revenue sources and the methodology employed to

estimate the revenue from the subject developments. For each identified revenue source, a detailed table reflecting the revenue flow over the project build-out (1998 to 2009) is presented in the appendix of this report. All dollar figures are presented in 1998 dollars (no inflation rates were used).

Table 3
FISCAL IMPACT
REVENUE GENERATION ASSUMPTIONS

Revenues	City of Chula Vista FY97/98 Revenues	Allocation Assumption
Property Taxes		
Secured	\$7,740,000	Based on 14% of 1% of TAV
Unsecured	411,000	Based on \$244 per commercial acre
Other Taxes		
Property Transfer Tax	\$250,000	Annual Avg. \$12-\$23 per housing unit/\$50-\$68 per commercial acre
Sales & Use Tax	13,200,000	\$187 per housing unit/\$1,245 to \$6,500 per commercial acre
Franchise Fees	2,500,000	\$17 per housing unit/\$835 per commercial acre
TOT	1,425,000	\$2 per housing unit/\$71 per commercial acre
Utility Tax	2,807,000	\$19.60 per housing unit/\$937 per commercial acre
Licenses		
Business License	\$740,000	\$528 per commercial acre
Animal License	55,000	\$1 per housing unit
Bicycle License	900	\$.02 per housing unit
Fines		
Library Fines	\$175,200	\$3 per housing unit
Parking Citations	144,400	\$3 per housing unit
Revenues from other Agencies		
State Homeowners Prop Tax Relief	\$175,000	\$3 per housing unit
Motor Vehicle Licenses	6,100,000	\$115 per housing unit
Gas Tax	2,100,000	\$40 per housing unit \$209 per commercial acre
Charges for Current Service		
Swimming Pools	\$132,800	\$3 per housing unit
Recreation Programs	16,500	\$.30 per housing unit
Park Reservation Fees	43,000	\$.81 per housing unit
Other Park & Recreation Fees	47,184	\$.89 per housing unit
Other Revenue	\$12,084,966	N/A

Secured Property Tax

Secured property tax revenues generated from the proposed developments were calculated on the basis of a one- percent tax rate on the current market value of the residential, commercial and industrial construction. The City of Chula Vista's share of the one percent is roughly 14 percent. For the purpose of this analysis, assessed values are in current 1998 dollars (no inflation rates were utilized).

As previously mentioned, market values (assessed values) for the residential units were determined by The Eastlake Company. Market values for commercial uses were estimated using COMPS, Commercial Property Information Services, Inc. These identified market values also represent the assessed values. Although assessed values increase two percent per year and readjust after the property resells, this analysis assumes no inflation and all values remain in 1998 dollars. Included in Table A-2 in the appendix is the cumulative assessed value over the build-out of the developments.

Assessed values for the study portion of Eastlake Greens ranges from \$105.0 million during the first year (2005/06) to \$281.0 million at build-out.

The City of Chula Vista's share of the collected annual property tax is \$393,400 for Eastlake Greens, at build-out (refer to Table A-3).

Unsecured Property Tax

Unsecured property, which includes personal property such as equipment, inventory, furniture, etc. is taxed for commercial businesses only. CIC utilized the City of San Diego's "Fiscal Impact of New Development" to develop an estimated per acre multiplier. The City of San Diego assumes 65 percent of the unsecured property tax is associated with commercial development. Using the City's budget figure of \$411,000 (unsecured tax collect-FY 97/98) and an estimated 1,093 acres of commercial development, results in a ratio of \$244 per acre ($411,000 \times .65 \div 1,093$) for the City's share of unsecured property tax.

The study portion of Eastlake Greens includes roughly 54 acres of commercial uses and would generate an estimated \$13,200 in unsecured property tax at build-out (refer to Table A-4)

Property Transfer Tax

Sales of real property in San Diego County are taxed at a rate of \$1.10 per \$1,000 of the sales price. Chula Vista would receive 50 percent of the tax. An analysis conducted by the San Diego Association of Governments (SANDAG) indicates that the average turnover rate for residential property is once every seven years and once every 14 years for nonresidential property. The following formulas, which take both the transfer tax formula and the average turnover rate into account were utilized to yield average annual per unit property transfer tax.

Single Family Resident	$\frac{\$.55}{\$1,000} \times$	$\frac{1}{7}$	=	.00007857
Commercial/Industrial	$\frac{\$.55}{\$1000} \times$	$\frac{1}{14}$	=	.00003929

Using these formulas, an estimated annual average property tax can be calculated. Refer to Table A-5 in the appendix. The land swap parcel (Eastlake Greens) would generate \$15,800 in average annual property tax.

Sales Tax

The City's share of sales tax generated by the study properties is based on \$187 per household per year, which is based on 75 percent of the total sales tax collection in the City of Chula Vista, divided by the number of housing units. Household incomes were estimated for the study projects using the City's ratio of income to housing value. Based on an analysis conducted by the City of San Diego's finance department and given the study site location and land-use mix, CIC utilized the following tax allocations, 75% for residential, 10% for retail/office and 15% for manufacturing. Using these guidelines, a ratio of \$1,245 per acre for retail and office uses was developed. Only the residential and office multiplier was applied to Eastlake Greens. Eastlake Greens is adding 42.6 acres of freeway commercial uses. Given the freeway location, it is likely that this site would capture sales from residents outside of Chula Vista.

Some additional sales tax (over the above 10% allocation) is attributed to Eastlake Greens. This study estimates that conservatively 10 percent of the sales will be to non-Chula Vista residents. Assuming an estimated 17,400 square feet (43,560 X .40) of freeway commercial uses are developed per acre and estimated per square foot sales at \$150, a multiplier of \$2,610 per acre in sales tax revenue would be applied to the freeway commercial portion of the land swap parcel.

Estimated total annual sales tax generated by the study portion of Eastlake Greens is estimated at \$265,900 at build-out (refer to Table A-6).

Franchise Taxes

The City of Chula Vista receives a franchise tax fee from sales of natural gas, electricity, cable television and trash collection. Using the sale of gas and electricity as a guideline and based on a study prepared by San Diego Gas and Electric (SDG&E), 37 percent of the franchise taxes are attributed to residential and 36.5 percent are attributed to retail/office uses. Using these guidelines, the City budget, area demographics and land use information results in an estimated \$17.45 in annual franchise tax per housing unit and \$835 per developed commercial acre.

Utilizing these ratios, results in a total franchise tax of \$58,400 for the study portion of Eastlake Greens, both at build-out (see Table A-7).

Transient Occupancy Tax

Transient occupancy tax (TOT) is a tax added to the price charged for the use of a hotel or motel room. The majority of the tax is associated with new hotel developments. The San Diego Convention and Visitors Bureau estimates that of all visitors who stay in hotels and motels, eight percent are visiting friends and an additional nine percent are in San Diego on non-convention business. Utilizing the City's 1997/98 budget for TOT of \$1,425,000 and assuming eight percent is generated by residential land uses and nine percent by non-residential uses, results in multiplier ratios of \$2.15 per housing unit and \$70.54 per commercial

acre. Using these ratios, results in a total annual TOT tax of \$5,400 associated with the study portion of Eastlake Greens (refer to Table A-8).

Utility Users' Tax

The City of Chula Vista's budget for utility taxes is \$2,807,000. These taxes are paid by the residents on gas, electric and telephone services. CIC utilized the same methodology for utility taxes and franchise taxes. Using the land use allocation of 37 percent residential and 36.5 percent attributed to retail/office uses, results in an estimated \$19.60 in annual utility tax per housing unit and \$937 per developed commercial acre. These ratios result in a total utility tax of \$65,600 for the land swap parcel, at build-out (refer to Table A-9).

Business License Fees

Business license fees are attributed based on a survey reported by the City of San Diego's Financial Management Department, which indicated that 78 percent of the fees were generated by commercial uses and 22 percent were generated by industrial uses. Using the City of Chula Vista's budget, the above proportions and the number of citywide developed commercial acres, results in a multiplier of \$528 per commercial acre. Using this multiplier, total business license fees attributed to the study portion of Eastlake Greens is \$28,700 per year at build-out (refer to Table A-10).

Miscellaneous Revenues

CIC grouped numerous revenues into the category of miscellaneous. These revenues include: animal licenses, bicycle licenses, motor vehicle licenses, State homeowners property tax relief, gas tax, library fines, parking citations, swimming pool fees, recreation programs and park reservation fees. With the exception of gas tax and parking citations, all the revenues are assumed to be allocated entirely to residential uses. For these revenues, multipliers were developed by dividing the total revenues by the total number of citywide occupied housing units (See Table A-11).

The allocation of gas tax and parking citations was calculated as follows:

Gasoline Tax

Gasoline tax revenue accrues on the basis of a complicated formula utilizing county to state and incorporated to unincorporated portion of population. According to the City of San Diego's "Fiscal Impact of New Development" and the Department of Motor Vehicle's auto registration records, an estimated 50 percent is attributed to residential uses and the remaining 50 percent is allocated based on vehicle registration (76% residential, 19% commercial, 6% industrial).

Parking Citations

Parking violation revenues were allocated by vehicle registration classification as estimated by the Department of Motor Vehicles (residential 76%, Commercial 19%)

OPERATING EXPENDITURES

Operating expenditures for the City of Chula Vista resulting from development of the land swap parcel are outlined in this chapter. The expenditures categories expected to be impacted by the subject developments include administration overhead, planning, police, fire, library, public works and parks and recreation. The City of Chula Vista's operating expenditure budgets for fiscal year 1997/98 and allocation assumptions are presented in Table 4. These expenses are utilized in estimating per unit/acre expenditures for the project. The methodologies used to estimate project expenses are discussed in more detail in the following sections. Similar to the revenue analysis, all figures shown are in current (1998) dollars. The projection of costs in this analysis assumes no significant or predictable changes in the service standards of the City of Chula Vista. Detailed tables reflecting the annual expenditure cash flows are presented in the appendix to this report.

Table 4
EASTLAKE FISCAL IMPACT
COST ALLOCATION ASSUMPTIONS

Expenditures	City of Chula Vista FY97/98 Expenditures	Allocation Assumptions
OVERHEAD FUNCTIONS		
Administration Overhead	\$8,985,994	
City Council	407,652	
Boards and Commission	48,583	
Community Promotions	234,487	
City Attorney	893,623	
City Clerk	232,538	
Admin	891,035	
Management	758,743	
Human Resources	834,145	
Finance	1,496,765	
Insurance	810,946	
Non-Dept	2,377,477	
Public Works	\$1,505,048	
Building Maintenance	740,533	
Custodial Maintenance	764,515	
TOTAL OVERHEAD	\$10,491,042	Based on 20.1% Line of Operations
LINE OPERATIONS		
Planning (non current)	\$959,764	\$14 per housing unit/\$114 per comm. acre
Community Development	2,202,577	N/A
Police	20,517,477	\$283 per housing unit/\$4,316 per comm. acre
Fire	7,636,620	\$121 per housing unit/\$1,009 per comm. acre
Building and Housing	939,598	N/A
Library	3,894,344	\$73 per housing unit
Public Works	\$9,884,070	
Admin/Planning (1)	613,039	\$9 per housing unit/\$73 per comm. acre
Traffic Signal Maint	1,024,546	\$3,192 per mile
Traffic Operations	500,816	\$1,560 per mile
Street Maint	987,265	\$3,076 per mile
Street Sweeping	189,264	\$590 per mile
Street Tree Maint	450,845	\$1,405 per mile
Sanitary Sewer Maint	1,654,948	Self supporting
Wastewater Maint	313,436	Self supporting
Parks	\$5,352,282	\$46 per housing unit
Admin-Parks	387,072	\$7 per housing unit
Admin-Open Space	306,582	Provided by lighting/landscape district
Maintenance	2,303,640	
General	2,066,320	\$39 per housing unit

Marina Park	237,320	N/A
Recreation	\$2,341,271	\$44 per housing unit
Athletics	273,272	\$5 per housing unit
Aquatics	490,842	\$9 per housing unit
Senior Citizens	275,935	\$5 per housing unit
General	914,150	\$17 per housing unit
Administration	387,072	\$7 per housing unit
TOTAL LINE OPERATIONS	\$52,186,994	
TOTAL EXPENDITURES	\$62,678,036	

(1) Allocation includes Public works Operations Administration (\$462,908) and Communications (\$150,131)

Government Administration

The total costs for City administration services projected in the 1997/98 fiscal year are \$10,491,042, as shown in Table 4. In order to allocate these overhead expenses to the project, CIC assumed the City costs for the subject developments would incur an overhead rate (20.1%) similar to the City of Chula Vista. Table A-12 in the appendix shows an annual overhead expenditure for the study portion of Eastlake Greens (\$149,300) at build-out.

Planning (Non-Current)

Non-current planning costs are allocated based on the City of Chula Vista's land use allocation (79% residential and 13 % commercial/office) and the number of housing units in the City and developed commercial acreage. Utilizing these proportions results in multipliers of \$14.30 per housing unit and \$114.15 per commercial acre. These ratios translate into impacts of \$16,900 for the study portion of Eastlake Greens (refer to table A-13).

Police

The Chula Vista Police Department will provide police protection for the project. CIC contacted representatives of the local police department to obtain information on service calls and beat activity attributable to residential, business and industrial land uses. No information was available regarding the nature of local calls and regular beat activity. As a result, CIC

utilized City of San Diego's cost allocation by land use from the City of San Diego's "Fiscal Impact Model of New Development".

The San Diego Police Department estimates that calls for service account for roughly 50 percent of their expenditures. They are distributed as follows: 66.6% in or around residential structures and 32.3% in or around commercial structures. The other 50 percent of expenditures is attributed to normal "beat" activity, and is allocated in proportion to land use acreage. Using land use allocation for the City of Chula Vista, the percentages are as follows: 79% to residential land use and 13% to commercial land use. Averaging the percentages for both service-call activity and "beat" activity yields the following per unit allocations for police service in Chula Vista

<u>Land Use</u>	<u>Combined Percent of Budget Allocation</u>	<u>Estimated Per Unit Expenditures</u>
Residential	73%	\$283
Commercial/Office	23%	\$4,316/acre

The above estimates are based upon a fiscal year 1997/98 proposed police budget of \$20,517,477 and results in police costs of \$446,600 for the study portion of Eastlake Green (refer to Table A-14).

Fire Protection

Mr. Dan Beintema of the Chula Vista Fire Department provided CIC a breakdown of calls for fire department service in 1997; residential uses 84.2% and commercial uses 14.3%. Based on these allocations for fire service, the following per unit costs were developed for the projects which results in annual fire costs of \$145,800 for the study portion of Eastlake Greens (refer to Table A-15)

<u>Land Use</u>	<u>Per Unit Cost For Fire Service</u>
Residential	\$121.3 per housing unit/person
Commercial	\$1,009/acre

Paramedic Services

The City contracts privately with American Medical Response Group to provide paramedic services. Services are charged on a fee for service basis, at no resulting cost to the City. Therefore, the project will not incur paramedic expenses and no expense category is shown in the expenditure cash flow analysis for this service.

Library Services

CIC Research contacted the Chula Vista Library's Director, Mr. David Palmer regarding allocations by land use for new development's impact on library services. He was able to provide CIC with a breakdown of resident versus nonresident patronage. In fiscal year 1996/1997, 37 percent of local library use (three branches) was by nonresidents of the community. Alternatively, 63 percent of use was by residents. Since the library is primarily a local resource used by residents as opposed to businesses, the entire budget is allocated to residential uses.

In the 1997/98 proposed budget, total library costs are estimated at \$3,894,344, which calculates to a multiplier of \$73 per housing unit. Total annual library costs associated with the study portion of Eastlake Greens is \$55,100 (refer to Table A-16).

Public Works

The Public Works Department has a proposed 1997/98 budget of \$9,884,344 (this figure excludes some overhead costs, which were included in overhead functions). The basis for allocating the cost of Public Works Administration included only Operations Administration (\$462,908) and Communication (\$150,131). These costs were allocated by City land use proportions (79% residential and 13% commercial) and by housing units and acreage, resulting in cost allocations of \$9.13 per housing unit and \$72.91 per commercial acre. The remaining public works operations are related to street and traffic issues and are allocated based on the total miles of public streets in Chula Vista (321) and the miles of public streets in the land swap

parcel of Eastlake Greens (0 miles). No public streets will be included in the Land Swap Parcel. Sanitary sewer and wastewater maintenance are assumed to be self-supporting. Using the above ratios results in a total annual public works cost of \$10,800 for the land swap parcel, at build-out (refer to table A-17)

**CITY OF CHULA VISTA
PUBLIC WORKS COST PER UNIT/ACRE/MILE**

<u>EXPENDITURES</u>		<u>Cost Allocation Per Unit/Acre</u>	
		<u>Residential</u>	<u>Commercial</u>
1997/1998 Budget for Public Works	\$9,884,070	\$9.13	\$79.91
Admin/Planning	613,039		
Traffic Signal Maintenance	1,024,546	\$3,192 per mile	
Traffic Operations	500,816	\$1,560 per mile	
Street Maintenance	987,265	\$3,076 per mile	
Street Sweeping	189,264	\$590 per mile	
Street Tree Maintenance	450,845	\$1,405 per mile	
Sanitary Sewer Maintenance	1,654,948	Self supporting	
Wastewater Maintenance	313,436	Self supporting	

Parks and Recreation Services

The City of Chula Vista's total 1997/98 proposed park and recreation budget is \$5,352,282. CIC Research contacted Mr. Jerry Foncerrada with the Chula Vista Parks and Recreation Department. He indicated that close to 100 percent of the department's expenditures go towards the local residential community. CIC allocated the park and recreation costs on a per housing unit basis.

Excluding the Women's Club, which is assumed to be self supporting, per housing unit costs for park and recreation services total \$90 per housing unit. Using this multiplier, results in costs of \$67,800 for the land swap parcel (refer to Table A-18). The following table details the cost allocation for Parks and Recreation.

	<u>97/98 Budget</u>	<u>Cost Allocation Unit/Acre</u>
Parks and Recreation Total	\$5,352,282	\$90 per housing unit
Parks	\$2,997,294	\$46 per housing unit
Administration-Parks	387,072	\$7 per housing unit
Administration-Open Space	306,582	Provided by lighting & landscape district
Maintenance	\$2,303,640	
General	2,066,320	\$39 per housing unit
Marina Park	237,320	Not applicable
Recreation	\$2,341,271	\$44 per housing unit
Athletics	273,272	\$5 per housing unit
Aquatics	490,842	\$9 per housing unit
Senior Citizens	275,935	\$5 per housing unit
General	914,150	\$17 per housing unit
Administration-Recreation	387,072	\$7 per housing unit

NET FISCAL IMPACT

Utilizing the previously mentioned methodologies, an estimated net fiscal impact is presented in Table 5 (Eastlake Greens-land swap parcel). As previously mentioned, all values are in 1998 dollars. No annual adjustments to revenues or costs were utilized. The estimated costs and revenue annual flows are primarily related to the estimated absorption schedule.

Table 5 presents the results of the fiscal impact associated with the study portion of Eastlake Greens (land swap parcel). Revenues range from \$376,100 in the first year of development (2005) to \$986,700 at build-out. Expenditures range from \$362,800 in year one to \$892,400 at build-out. The net fiscal impact from developing the study portion of Eastlake Greens is positive in year one (\$13,300) and remains positive to build-out (\$94,300).

Table 5
NET FISCAL IMPACT OF THE EASTLAKE GREENS (Land Swap Parcel)
ON THE CITY OF CHULA VISTA

Revenue Sources											
	Revenues (In Thousands)										
	98/99	99/00	00/01	01/02	02/03	03/04	04/05	05/06	06/07	07/08	08/09
Secured Property Tax	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$147.0	\$294.0	\$357.0	\$393.4
Unsecured Property Tax	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$3.6	\$7.1	\$10.7	\$13.2
Property Transfer Tax	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$6.5	\$13.0	\$14.7	\$15.8
Sales & Use Tax	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$102.7	\$205.5	\$238.1	\$265.9
Franchise Tax	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$18.7	\$37.4	\$49.5	\$58.4
TOT Tax	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$1.8	\$3.7	\$4.7	\$5.4
Business License	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$7.7	\$15.4	\$23.0	\$28.7
Utility Tax	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$21.0	\$42.0	\$55.6	\$65.6
Miscellaneous Revenues	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$67.1	\$134.2	\$137.7	\$140.3
TOTAL REVENUES	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$376.1	\$752.1	\$891.1	\$986.7
Expenditure Sources											
	Expenditures (In Thousands)										
	98/99	99/00	00/01	01/02	02/03	03/04	04/05	05/06	06/07	07/08	08/09
Government Admin.	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$60.7	\$121.4	\$137.5	\$149.3
Planning	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$7.0	\$14.0	\$15.7	\$16.9
Police	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$168.9	\$337.8	\$400.6	\$446.6
Fire	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$60.2	\$120.3	\$135.0	\$145.8
Library	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$27.5	\$55.1	\$55.1	\$55.1
Public Works	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$4.5	\$9.0	\$10.0	\$10.8
Park and Recreation	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$33.9	\$67.8	\$67.8	\$67.8
TOTAL EXPENDITURES	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$362.8	\$725.5	\$821.9	\$892.4
TOTAL REVENUES	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$376.1	\$752.1	\$891.1	\$986.7
TOTAL EXPENDITURES	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$362.8	\$725.5	\$821.9	\$892.4
NET FISCAL IMPACT	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$13.3	\$26.6	\$69.2	\$94.3

Source: CIC Research, Inc. 1998



APPENDIX A

Table A-1
ABSORPTION SCHEDULE BY LAND USE

Land Use	Per Unit/ Net Acre Value (000's)	Cumulative Developed and Occupied Units/Net Acres										
		98/99	99/00	00/01	01/02	02/03	03/04	04/05	05/06	06/07	07/08	08/09
EASTLAKE GREENS (Swap)												
Multi-Family	\$160.0	0	0	0	0	0	0	0	375	750	750	750
Professional & Admin.	\$4,879	0.0	0.0	0.0	0.0	0.0	0.0	0.0	3.9	7.8	11.7	750
Thoroughfare Commercial	\$2,439	0.0	0.0	0.0	0.0	0.0	0.0	0.0	10.7	21.3	32.0	11.7
												42.6

Table A-2
ASSESSED VALUE
(000s)

Land Use	Per Unit/ Net Acre Value (000's)	Cumulative Assessed Value										
		98/99	99/00	00/01	01/02	02/03	03/04	04/05	05/06	06/07	07/08	08/09
EASTLAKE GREENS (Swap)												
Multi-Family	\$160.0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$ 60,000	\$ 120,000	\$ 120,000	\$ 120,000
Professional & Admin.	\$4,879	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$ 19,028	\$ 38,056	\$ 57,084	\$ 57,084
Thoroughfare Commercial	\$2,439	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$ 25,975	\$ 51,951	\$ 77,926	\$ 103,901
TOTAL EASTLAKE GREENS		\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$ 105,003	\$ 210,007	\$ 255,010	\$ 280,986

Table A-3
Secured Property Tax Revenue (000s)

SECURED PROPERTY TAX REVENUES		98/99	99/00	00/01	01/02	02/03	03/04	04/05	05/06	06/07	07/08	08/09
TOTAL EASTLAKE GREENS												
Total Assessed Values		\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$ 105,003	\$ 210,007	\$ 255,010	\$ 280,986
Tax Rate	1.00%	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,050	\$2,100	\$2,550	\$2,810
City of Chula Vista Share*	14.00%	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$147.0	\$294.0	\$357.0	\$393.4

Table A-4
Unsecured Property Tax Revenue (In Thousands)

UNSECURED PROPERTY TAX		Tax Per Acre	98/99	99/00	00/01	01/02	02/03	03/04	04/05	05/06	06/07	07/08	08/09
TOTAL EASTLAKE GREENS			\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0
Professional & Admin.	\$	244	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$1.0	\$1.9	\$2.9	\$2.9
Thoroughfare Commercial	\$	244	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$2.6	\$5.2	\$7.8	\$10.4
TOTAL CITY SHARE			\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$3.6	\$7.1	\$10.7	\$13.2

Derived from discussions with the County Assessors Office (TRA 001000 to 001999)

Table A-5
ESTIMATED PROPERTY TRANSFER TAX REVENUES BY LAND USE

Single Family Resale Ratio 0.00007857
Commercial Resale Ratio 0.00003929

Product	Resale Rate	Property Transfer Tax (000s)										
	(Years)	98/99	99/00	00/01	01/02	02/03	03/04	04/05	05/06	06/07	07/08	08/09
EASTLAKE GREENS (Swap)												
Multi-Family	7	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$4.7	\$9.4	\$9.4	\$9.4
Professional & Admin.	14	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.7	\$1.5	\$2.2	\$2.2
Thoroughfare Commercial	14	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$1.0	\$2.0	\$3.1	\$4.1
TOTAL EASTLAKE GREENS		\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$6.5	\$13.0	\$14.7	\$15.8

Table A-6
ESTIMATED SALES TAX REVENUES

		ESTIMATED SALES TAX REVENUES										
	Sales Tax Per Unit/Acre	City of Chula Vista's Share of Sales Tax (000s)										
and Use	(000s)	98/99	99/00	00/01	01/02	02/03	03/04	04/05	05/06	06/07	07/08	08/09
EASTLAKE GREENS (Swap)												
Multi-Family	\$0.187	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$70.1	\$140.3	\$140.3	\$140.3
Professional & Admin.	\$1.234	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$4.8	\$9.6	\$14.4	\$14.4
Thoroughfare Commercial	\$2.610	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$27.8	\$55.6	\$83.4	\$111.2
TOTAL EASTLAKE GREENS		\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$102.7	\$205.5	\$238.1	\$265.9

Table A-7
ESTIMATED FRANCHISE FEES BY LAND USE

1997/1998 Budget
for Franchise Fees \$2,500,000

and Use	Per Unit	Franchise Fee Revenue (In Thousands)										
		98/99	99/00	00/01	01/02	02/03	03/04	04/05	05/06	06/07	07/08	08/09
EASTLAKE GREENS (Swap)												
Multi-Family	\$17.45	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$6.5	\$13.1	\$13.1	\$13.1
Professional & Admin.	\$835	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$3.3	\$6.5	\$9.8	\$9.8
Thoroughfare Commercial	\$835	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$8.9	\$17.8	\$26.7	\$35.6
OTAL EASTLAKE GREENS		\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$18.7	\$37.4	\$49.5	\$58.4

Table A-8
ESTIMATED TRANSIENT OCCUPANCY TAX

	TOT per Unit/Net Acre
Residential	\$2.15
Thoroughfare Commercial	\$70.54
Professional & Admin.	\$70.54

Land Use	Transient Occupancy Tax (In Thousands)										
	98/99	99/00	00/01	01/02	02/03	03/04	04/05	05/06	06/07	07/08	08/09
EASTLAKE GREENS (Swap)	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0
Multi-Family	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0
Professional & Admin.	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.8	\$1.6	\$1.6	\$1.6
Thoroughfare Commercial	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.3	\$0.6	\$0.8	\$0.8
TOTAL EASTLAKE GREENS	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.8	\$1.5	\$2.3	\$3.0
								\$1.8	\$3.7	\$4.7	\$5.4

Table A-9
ESTIMATED UTILITY TAX BY LAND USE

1997/1998 Budget
For Utility Tax \$2,807,000

Land Use	Utility Tax Revenue (In Thousands)										
	98/99	99/00	00/01	01/02	02/03	03/04	04/05	05/06	06/07	07/08	08/09
EASTLAKE GREENS (Swap)											
Multi-Family	\$19.60	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$7.4	\$14.7	\$14.7	\$14.7
Professional & Admin.	\$937	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$3.7	\$7.3	\$11.0	\$11.0
Thoroughfare Commercial	\$937	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$10.0	\$20.0	\$29.9	\$39.9
TOTAL EASTLAKE GREENS	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$21.0	\$42.0	\$55.6	\$65.6

Table A-10
ESTIMATED BUSINESS LICENSE REVENUE BY LAND USE

Land Use	Average Business License Fee Per Acre
Thoroughfare Commercial	\$528
Professional & Admin.	\$528

Land Use	Business License Revenue (In Thousands)										
	98/99	99/00	00/01	01/02	02/03	03/04	04/05	05/06	06/07	07/08	08/09
EASTLAKE GREENS (Swap)											
Thoroughfare Commercial	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$2.1	\$4.1	\$6.2	\$6.2
Professional & Admin.	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$5.6	\$11.2	\$16.9	\$22.5
TOTAL EASTLAKE GREENS	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$7.7	\$15.4	\$23.0	\$28.7

Table A-11
ESTIMATED MISCELLANEOUS REVENUES BY LAND USE

997/1998 Budget	Total Budget	Allocation of Budget		Per House Unit	Per Comm. Acre
		Residential	Commercial		
Animal License	\$55,000	\$55,000	\$0	\$ 1.04	
Bicycle License	\$900	\$900	\$0	\$ 0.02	
Motor Vehicle Licenses	\$6,100,000	\$6,100,000	\$0	\$ 115.06	
State HOPTR	\$175,000	\$175,000	\$0	\$ 3.30	
Gas Tax	\$2,400,000	\$2,100,000	\$228,000	\$ 39.61	\$208.6
Library Fines	\$175,220	\$175,200	\$0	\$ 3.30	\$0.0
Parking Citations	\$190,000	\$144,400	\$36,100	\$ 2.72	\$33.0
Charges for Current Services	\$0	\$0	\$0	-	\$0.0
Swimming Pools	\$132,800	\$132,800	\$0	\$ 2.50	
Recreation Program	\$16,500	\$16,500	\$0	\$ 0.31	
Park Reservation Fees	\$43,000	\$43,000	\$0	\$ 0.81	
Other Park & Recr. Fees	\$47,184	\$47,184	\$0	\$ 0.89	
Total Misc. Revenue	\$9,335,604	\$8,989,984	\$264,100		
	Per Unit/Acre				

and Use

		Miscellaneous Revenue (In Thousands)										
		98/99	99/00	00/01	01/02	02/03	03/04	04/05	05/06	06/07	07/08	08/09
EASTLAKE GREENS (Swap)												
	Multi-Family	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$63.6	\$127.2	\$127.2	\$127.2
	Professional & Admin.	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.9	\$1.9	\$2.8	\$2.8
	Thoroughfare Commercial	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$2.6	\$5.1	\$7.7	\$10.3
OTAL EASTLAKE GREENS		\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$67.1	\$134.2	\$137.7	\$140.3

Table A-12
ESTIMATED EXPENDITURES FOR GOVERNMENT ADMINISTRATION

997/1998 Budget For
Government Expenditures \$10,491,042

and Use	Allocated Cost
Residential	20.1% of total line operations
Professional & Admin.	20.1% of total line operations
Thoroughfare Commercial	20.1% of total line operations

and Use

Government Administration (In Thousands)											
	98/99	99/00	00/01	01/02	02/03	03/04	04/05	05/06	06/07	07/08	08/09
EASTLAKE GREENS (Swap)	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$60.7	\$121.4	\$137.5	\$149.3

Table A-13
ESTIMATED PLANNING COST
(Non-Current)

1997/1998 Budget For
Planning Expenditures \$959,764

Cost per Unit
/Net Acre

Residential \$14.30
Professional & Admin. \$114.15
Thoroughfare Commercial \$114.15

Land Use	Planning Costs (In Thousands)										
	98/99	99/00	00/01	01/02	02/03	03/04	04/05	05/06	06/07	07/08	08/09
EASTLAKE GREENS (Swap)											
Multi-Family	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$5.4	\$10.7	\$10.7	\$10.7
Professional & Admin.	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.4	\$0.9	\$1.3	\$1.3
Thoroughfare Commercial	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$1.2	\$2.4	\$3.6	\$4.9
TOTAL EASTLAKE GREENS	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$7.0	\$14.0	\$15.7	\$16.9

Table A-14
ESTIMATED POLICE PROTECTION COST

1997/1998 Budget For
Police Expenditures \$20,517,477

Cost per
Unit/Net Acre

Residential \$283
Professional & Admin. \$4,316
Thoroughfare Commercial \$4,316

Land Use	Police Protection Costs (In Thousands)										
	98/99	99/00	00/01	01/02	02/03	03/04	04/05	05/06	06/07	07/08	08/09
EASTLAKE GREENS (Swap)											
Multi-Family	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$106.1	\$212.3	\$212.3	\$212.3
Professional & Admin.	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$16.8	\$33.7	\$50.5	\$50.5
Thoroughfare Commercial	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$46.0	\$91.9	\$137.9	\$183.9
TOTAL EASTLAKE GREENS	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$168.9	\$337.8	\$400.6	\$446.6

1997/1998 Budget For
Fire Expenditures

\$7,636,620

Cost per Unit
/Net Acre

Residential
Professional & Admin.
Thoroughfare Commercial

\$121.3
\$1,009
\$1,009

Table A-15
ESTIMATED FIRE PROTECTION COST

Land Use	Fire Protection Costs (In Thousands)										
	98/99	99/00	00/01	01/02	02/03	03/04	04/05	05/06	06/07	07/08	08/09
EASTLAKE GREENS (Swap)											
Multi-Family	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$45.5	\$91.0	\$91.0	\$91.0
Professional & Admin.	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$3.9	\$7.9	\$11.8	\$11.8
Thoroughfare Commercial	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$10.7	\$21.5	\$32.2	\$43.0
TOTAL EASTLAKE GREENS	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$60.2	\$120.3	\$135.0	\$145.8

Table A-16
ESTIMATED LIBRARY COST

Cost per
Unit/Net Acre

Residential
Professional & Admin.
Thoroughfare Commercial

\$73.46

Land Use	Library Costs (In Thousands)										
	98/99	99/00	00/01	01/02	02/03	03/04	04/05	05/06	06/07	07/08	08/09
EASTLAKE GREENS (Swap)											
Multi-Family	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$27.5	\$55.1	\$55.1	\$55.1
Professional & Admin.	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0
Thoroughfare Commercial	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0
TOTAL EASTLAKE GREENS	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$27.5	\$55.1	\$55.1	\$55.1

Table A-17
ESTIMATED EXPENDITURES FOR PUBLIC WORKS

1997/1998 Budget For		Cost Allocation Unit/Acre	
Public Works	\$9,884,070	Residential	Commercial
Admin/Planning (1)	\$ 613,039	\$ 9.13	\$ 72.91
Traffic Signal Maint.	\$ 1,024,546	\$ 3,192	per mile *
Traffic Operations	\$ 500,816	\$ 1,560	per mile
Street Maintenance	\$ 987,265	\$ 3,076	per mile *
Street Sweeping	\$ 189,264	\$ 590	per mile
Street Tree Maintenance	\$ 450,845	\$ 1,405	per mile *
Sanitary Sewer Maintenance	\$ 1,654,948		self supporting
Wastewater Maintenance	\$ 313,436		self supporting

* Assumed to start in year 7 of development

Public Works Expenditures (In Thousands)											
	98/99	99/00	00/01	01/02	02/03	03/04	04/05	05/06	06/07	07/08	08/09
EASTLAKE GREENS (Swap)											
Street Miles	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Admin/Planning (1)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 4.5	\$ 9.0	\$ 10.0	\$ 10.8
Street/Traffic Costs	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
TOTAL EASTLAKE GREENS	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 4.5	\$ 9.0	\$ 10.0	\$ 10.8

Table A-18
ESTIMATED EXPENDITURES FOR PARK AND RECREATIONS

1997/1998 Budget For		Cost Allocation Unit/Acre	
Park & Recreation	\$5,352,282		
Parks, Recreation and Open Space	\$ 5,352,282		
Parks	\$ 2,997,294	\$ 46.28	per housing unit
Administration - Parks	\$ 387,072	\$ 7.30	per housing unit
Administration - Open Space	\$ 306,582		provided by lighting and landscape district
Maintenance	\$ 2,303,640		
General	\$ 2,066,320	\$ 38.98	per housing unit
Marina Park	\$ 237,320		Not Applicable
	\$ -	\$ -	
Recreation	\$ 2,341,271	\$ 44.16	per housing unit
Athletics	\$ 273,272	\$ 5.15	per housing unit
Aquatics	\$ 490,842	\$ 9.26	per housing unit
Senior Citizens	\$ 275,935	\$ 5.20	per housing unit
General	\$ 914,150	\$ 17.24	per housing unit
Administration- Recreation	\$ 387,072	\$ 7.30	per housing unit

Park and Recreations(In Thousands)											
	98/99	99/00	00/01	01/02	02/03	03/04	04/05	05/06	06/07	07/08	08/09
EASTLAKE GREENS (Swap)											
Park	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 17.4	\$ 34.7	\$ 34.7	\$ 34.7
Recreation	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 16.6	\$ 33.1	\$ 33.1	\$ 33.1
TOTAL EASTLAKE GREENS	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 33.9	\$ 67.8	\$ 67.8	\$ 67.8

SECTION II.6

EASTLAKE COMPREHENSIVE AFFORDABLE HOUSING PROGRAM.

**A COMPREHENSIVE PLAN
FOR
THE PROVISION OF
AFFORDABLE HOUSING**

**EASTLAKE TRAILS,
WOODS, VISTAS
AND
"LAND SWAP" PARCELS**

**Approved by the Chula Vista City Council
Resolution No. 19275
November 24, 1998**

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I.6.1 INTRODUCTION

The City of Chula Vista ("City"), along with all other cities in California, is required by state law to have a Housing Element as a component of its General Plan. The Housing Element describes the housing needs of the community and the responses necessary to fulfill them.

The City of Chula Vista Housing Element of 1991 contains numerous objectives, policies and related action programs to accomplish these objectives. Key among these policies is the affordable housing policy which requires that residential development with fifty (50) or more dwelling units provide a minimum of 10% of the total dwelling units for low and moderate income households, one-half of these units (5% of the total project) being designated to low income and the remaining five percent (5%) to moderate income households.

In order to guarantee the provision of Affordable Housing opportunities, the City requires that a specific Affordable Housing Program ("AHP") and agreement be consistent with the Housing Element of the Chula Vista General Plan and be prepared and signed by the Developer. This Affordable Housing Program is intended to delineate how, when and where the units would be provided, intended subsidies, income rent restrictions and methods to verify compliance. The program may be implemented through various mechanisms including development agreements, tentative map conditions, and specific housing project agreements which may impose additional terms and conditions consistent herewith.

The EastLake Comprehensive Affordable Housing Program, as used herein, applies to the following future neighborhoods identified in the EastLake II & EastLake III General Development Plans

- EastLake Trails (EastLake II GDP)
- EastLake Vistas (EastLake III GDP)
- EastLake Woods (EastLake III GDP)
- EastLake Land Swap Parcels (EastLake II GDP)

The EastLake Comprehensive Affordable Housing Program is consistent with the City's affordable housing policies and is expected to be completed in three phases. Construction of 61 low income and 61 moderate income housing units in the Initial Phase is scheduled to begin before the issuance of the 1201st building permit. The second phase is scheduled to start before the issuance of the 2401st building permit. The third phase is scheduled to start before the issuance of the 3,201st building permit (see the section entitled "Implementation Schedule" in this program). EastLake II & III are planned to include a total of 3,660 housing units.

The low income housing units (183) shall be located at three sites in the different neighborhoods as shown on Exhibit 1, Low Income Housing Sites. The moderate income housing units (183) are expected to be distributed throughout the project in Residential - Medium Density, Residential - Medium-High Density, and Residential - High Density.

II.6.2 DEFINITIONS

Affirmative Marketing Plan:

An outline that details actions the developer will take to provide information and otherwise attract eligible persons in the housing market area to the available housing without regard to race, sex, sexual orientation, marital status, familial status, color, religion, national origin, ancestry, handicap, age, or any other category which may be defined by law now or in the future.

Affordable Rental Rate:

The rent to be charged to a low income household shall not exceed the Fair Market Rents ("FMR's") set by HUD on an annual basis based on the number of bedrooms within the unit. It includes shelter rent and the cost of utilities, except telephones. Currently HUD sets the FMR's at the 40th percentile distribution of standard quality rental housing units. The 40th percentile rent is drawn from the distribution of rents of units which are occupied by recent movers (renter households who moved into their units within the past 15 months). Usage of FMR's assures each household pays equal proportionate share of rent. There are no minimum rent requirements. The Fiscal Year 1998 FMR's are as follows:

Metropolitan						
Statistical Area	EFF	1-bd	2-bd	3-bd	4-bd	
San Diego, CA	\$483	\$552	\$691	\$960	\$1,133	

Low Income Household:

A household of persons who claim primary residency at the same unit with combined incomes that do not exceed 80% of the Area Median Income for the San Diego area (adjusted annually) based on household size. Household size is calculated by the number of persons residing at the same unit as their primary residency. For the purpose of calculating income, the guidelines contained in HUD regulation 24CFR 813.106, as they may be amended from time to time, shall be used.

Moderate Income Household:

A household of persons who claim primary residency at the same unit with combined incomes between 80% to 120% of the Area Median Income for the San Diego area (adjusted annually) based on household size. Household size is calculated by the number of persons residing at the same unit as their primary residency. For the purpose of calculating income, the guidelines contained in HUD regulation 24CFR 813.106, as they may be amended from time to time, shall be used.

Qualified Term:

The length of time the rental unit must remain affordable to low income households. In the event Developer obtains subsidized financing, the Qualified Term shall be dictated by the selected funding source. If the selected funding has no qualified term, it shall be fifty-five (55) years. In the event that no subsidized financing is obtained, the Qualified Term shall be twenty (20) years from the date of the completion of the final inspection for each structure.

San Diego Area Median Income:

The San Diego County area median income level as determined from time to time by the Department of Housing and Urban Development, United States Government, based on household size.

Subsidized Financing:

Any financing provided by any public agency specifically for the development and construction of low or moderate income housing units.

II.6.3. CITY OF CHULA VISTA INCLUSIONARY HOUSING NEEDS

As the State Regional Needs Assessment indicates, housing for large families is the single greatest need in our community. A recent survey of Chula Vista showed that within a three mile radius of Cordova in Rancho del Rey, (an affordable housing development on the east side of Chula Vista) there are 1,334 market rate rentals of which 110 are three bedrooms and zero are four bedrooms. Only 8.2% of the market rate rentals are three bedrooms. Given that 14% of the households in Chula Vista (according to the 1990 Census) are large families (of five or more persons), and assuming the desire for equal distribution of these families throughout the City, the private market is not producing adequate housing for large families (three or more bedroom units) on the east side. Thus, should the City of Chula Vista choose to participate in financing affordable housing to families of low income, the City would prefer to invest in affordable developments with large units.

Another City of Chula Vista objective through its housing policy is to broaden the availability of housing types and increase home ownership opportunities for low income households. As the State Regional Needs Assessment indicates, due to the high cost of buying a home in Southern California, home ownership is rarely affordable to families with low incomes. The 1980 Census data shows that among homeowners in Chula Vista, the lower the household income the higher the percentage of respective household incomes goes to the mortgage payments. Making home ownership affordable to families with low income is the key to this objective. Should the City of Chula Vista choose to participate in financing affordable housing, the City would prefer to invest in home ownership opportunities for families of low income.

II.6.4 EASTLAKE II & III AFFORDABLE HOUSING PROGRAM

II.6.4.1 LOW INCOME HOUSING

Requirements

The EastLake Trails, "Land Swap" parcels, and EastLake III Developments are required to provide a minimum of 10% of the number of permitted dwelling units as affordable housing, of which one-half shall be provided as low income housing and half will be provided as moderate income housing

Based on the total number of permitted dwelling units, a total of 366 low and moderate-income housing units are required to be provided within the project, of which 183 will be provided for low-income households, and 183 will be provided for moderate-income households.

Site Selection Criteria

The low income housing sites were selected using the following selection criteria which is prescribed in the City of Chula Vista General Plan:

- a. Such units are located near proposed public transit facilities, including bus routes along arterial highways;
- b. Such units are located within walking distance of future retail, commercial and support services, public park facilities and schools.
- c. Every effort has been made to make targeted sites for the low and moderate income housing units compatible with adjacent residential units (i.e., densities, design, etc.).

Low Income Housing Sites

Three sites have been selected for low income housing units within EastLake II & III (See Exhibit 1).

Site 1. This site is located within the Vistas neighborhood, south of Olympic Parkway in close proximity to the Olympic Training Center. The site is designated Medium High (11-18 du/ac). The low income units at this site will supplement the on site dorms at the Olympic Training Center.

Site 2. This site is located near the northwest quadrant of the intersection of Otay Lakes Road and Hunte Parkway. The site is designated Low Medium (3-6 du/ac) and will require a future plan amendment to redesignate the site to Medium High (11-18 du/ac). The site is in close proximity to the EastLake Business Center.

Site 3. This site is located in the "Land Swap" Parcel (R-9) which is designated Medium High (11-18 du/ac) with a density range of 15-25 du/ac and a target of 750 dwelling units. The low income housing units will be integrated into the development of Parcel R-9, which is located on EastLake Parkway, adjacent to the EastLake Activity Corridor.

Phasing

The low income housing units would be completed in three phases. The Initial Phase consists of 61 units and the Remaining Phases consists of 62 and 60 units for a total of 183 units. Every effort will be made by the Developer to produce additional low income units at the first and second phases if the opportunity to produce such units becomes feasible.

Implementation Schedule

Low Income Housing EastLake Comprehensive Affordable Housing Program PHASE I	
Timing	Items to be Completed
Prior to approval of the 401st building permit	Submit a SPA application for EastLake III identifying specific low income housing sites consistent with the Affordable Housing Program and provide proof of control of sites for all phases in the form of a trust deed or an option agreement
Prior to issuance of the 501st building permit	Identify intended subsidies, incentives, and financing mechanisms for all phases to the satisfaction of the Director of Community Development
Prior to issuance of the 601st building permit	Submit and obtain approval for a marketing plan from the Community Development Department.
Prior to issuance of the 701st building permit	Submit a design development plan to the Planning Department for the construction of Phase I low income housing units (61 units).
Prior to issuance of the 901st building permit	Obtain Design Review approval for the construction of the Phase I low income housing units
Prior to issuance of the 1,201st building permit for EastLake Trails	Obtain building permits for the construction of the Phase I low income units and identify specific location of low income units within project.
Prior to the issuance of the 1,501st building permit or one year from the date of the issuance of the first low income building permit issuance, whichever occurs first	Obtain City's final inspection and utilities release for low income units or obtain Director of Community Development approval of up to a maximum of six month extension based upon market pre-sales rate of low income units.
Total Low Income Housing Units, Phase I	61

Low Income Housing EastLake Comprehensive Affordable Housing Program PHASE II	
Timing	Items to be Completed
Prior to approval of the 1,501st building permit	Confirm location of low income housing site for Phase II.
Prior to issuance of the 1,601st building permit	Confirm intended subsidies, incentives, and financing mechanisms for all phases
Prior to issuance of the 1,701st building permit	Submit and obtain approval for a marketing plan from the Community Development Department
Prior to issuance of the 1,901st building permit	Submit a design development plan to the Planning Department for the construction of Phase II low income housing units (62 units).
Prior to issuance of the 2,101st building permit	Obtain Design Review approval for the construction of the Phase II low income housing units
Prior to issuance of the 2,401st building	Obtain building permits for the construction of the Phase II low and moderate income units and identify specific location of low and moderate income units within project(s)
Prior to the issuance of the 2,701st building permit or one year from the date of the building permit issuance, whichever occurs first.	Obtain City's final inspection and utilities release for low income units or obtain Director of Community Development approval of up to a maximum of six month extension based upon pre-sales rate of low income units
Total Low Income, Phase II	62

Low Income Housing EastLake Comprehensive Affordable Housing Program PHASE III	
Timing	Items to be Completed
Prior to approval of the 2,401st building permit	Confirm location of low income housing site for Phase III
Prior to issuance of the 2,501st building permit	Confirm intended subsidies, incentives, and financing mechanisms for all phases
Prior to issuance of the 2,601st building permit	Submit and obtain approval for a marketing plan from the Community Development Department
Prior to issuance of the 2,701st building permit	Submit a design development plan to the Planning Department for the construction of Phase II low income housing units (60 units).
Prior to issuance of the 3,001st building permit	Obtain Design Review approval for the construction of the Phase II low income housing units (60 units)
Prior to issuance of the 3,201st building	Obtain building permits for the construction of the Phase III low income units and identify specific location of low income units within project.
Prior to the issuance of the 3,501st building permit or one year from the date of the building permit issuance, whichever occurs first	Obtain City's final inspection and utilities release for low income units or obtain Director of Community Development approval of up to a maximum of six month extension based upon pre-sales rate of low income units
Total Low Income, Phase III	60

Contingency Plan

Developer shall diligently pursue completion of the construction of the low-income housing units as per the above implementation schedule. However, if the performance obligations are not achieved as per the implementation schedule, in addition to any and all other rights and remedies the City may have to enforce Developer's affordable housing obligations, the City shall have the right to require that the EastLake Greens surplus low-income units be automatically used to satisfy the low-income housing obligation of EastLake II and III.

II.6.4.2 MODERATE INCOME HOUSING

Moderate Income Housing Requirements

EastLake II & III includes 3,660 housing units of which five percent (5%), or one hundred eighty-three (183), must be moderate income housing units. These moderate income housing units shall consist of for-sale housing.

Moderate Income Housing Sites

The residential densities of Medium, Medium-High and High have been selected as the sites for moderate income housing units within the EastLake II & III project. The location of these parcels are distributed throughout the project (refer to General Development Plans).

Phasing

The moderate income housing would be completed in three phases. The Initial Phase consists of 61 units and the Remaining Phases consists of 62 and 60 units.

Implementation Schedule

Moderate Income Housing EastLake Comprehensive Affordable Housing Program PHASE I	
Timing	Items to be Completed
Prior to issuance of the 1,201st building permit.	Provide proof to the satisfaction of the Community Development Director that 30 Moderate Income housing units have been delivered to Moderate Income family households
Prior to the issuance of the 1,501st building permit	Provide proof to the satisfaction of the Community Development Director that 31 Moderate Income housing units have been delivered to moderate income households
Total Moderate Income, Phase I	61

Moderate Income Housing EastLake Comprehensive Affordable Housing Program PHASE II	
Timing	Items to be Completed
Prior to issuance of the 2,401st building	Provide proof to the satisfaction of the Community Development Director that 31 Moderate Income housing units have been delivered to Moderate Income family households
Prior to the issuance of the 2,701st building permit	Provide proof to the satisfaction of the Community Development Director that 31 Moderate Income housing units have been delivered to moderate income households
Total Moderate Income, Phase II	62

Moderate Income Housing EastLake Comprehensive Affordable Housing Program PHASE III	
Timing	Items to be Completed
Prior to issuance of the 3,201st building	Provide proof to the satisfaction of the Community Development Director that 30 Moderate Income housing units have been delivered to Moderate Income family households
Prior to the issuance of the 3,501st building permit or one year from the date of the building permit issuance, whichever occurs first	Provide proof to the satisfaction of the Community Development Director that 31 Moderate Income housing units have been delivered to moderate income households.
Total Moderate Income, Phase III	60

II.6.4.3 SUBSIDIES, INCENTIVES AND FINANCING MECHANISMS

In the event Developer obtains subsidized financing, the Qualified Term shall be dictated by the selected funding source. If the selected funding has no qualified term, it shall be fifty-five (55) years. In the event that no subsidized financing is obtained, the Qualified Term shall be twenty (20) years from the date of the completion of the final inspection for each structure.

Below is a list of some of the potential funding mechanisms that the Developer may use for affordable housing.

- . Low Income Housing Tax Credits (LIHTC)-statewide Competition
- . Housing Bonds - State
- . Density Bonus - City
- . Mortgage Credit Certificates - City
- . Local Initiative Support Corporation (LISC)-Source for Nonprofit Only
- . Redevelopment Low and Moderate Income Fund - City
- . HOME - City, County, and State
- . Other Public Financing - State and Federal

City agrees to the extent it deems reasonable to use good faith and reasonable best efforts to assist Developer in pursuing the benefit of certain financing and other mechanisms which will reduce the cost of providing affordable housing in EastLake II & III, some of which require approvals from, or allocations by, state agencies, including, but not limited to, local, state and federal subsidies and City bonuses, planning, and design and development techniques and standards which reduce the cost of providing affordable housing (collectively, the "Cost Reducing Mechanisms"). The parties acknowledge that City is not hereby committing and cannot guarantee the availability of any Cost Reducing Mechanisms to Developer for EastLake II & III. City reserves the right to approve or disapprove, in its sole discretion, any developer request for substantial financing.

II.6.4.4 COMPLIANCE REPORTING

All Compliance Reports shall be submitted to the City of Chula Vista Community Development Department and an independent trustee hired by the Developer to monitor the Developer's compliance. The requirements imposed by providers of subsidized financing or other Cost Reducing mechanisms may replace the terms described below if City so approves.

. Rental Units' Compliance Packet and Audit

- a. Should a Developer seek approval by the City to credit a tenant toward its low income housing obligation, the Developer must give the City, at a

minimum, a compliance packet including the following:

- Supplemental Rental Application - Exhibit 2
- Semi-Annual Report - Exhibit 3-A, 3-B, 3-C
- Authorization to Release Information by Purchaser
- Acknowledgement that the Information is for City's Reporting and Administration Use Only

Developer shall not be required to perform any extraordinary investigation or verification regarding such information other than Developer's usual and customary means of income verification. Developer shall retain the Supplemental Rental Application and any supporting documents for a period of at least two (2) years after the applicant ceases to occupy a low income housing unit.

- b. A household occupying a designated low income unit whose annual income increases subsequent to occupying said unit (referred to as "over income household") and thus exceeds the 80% of area median income, need not vacate the apartment. However, at the Developer's discretion, this over income household's monthly rent (including utilities) may be increased to the market rate. Regardless of a rent increase, the Developer can no longer credit this over income household toward its 5% low income requirement and is obligated to replace this unit by renting the next comparable unit to a low income household as per the paragraph below. Thus, the Developer shall ensure appropriate language is included in the lease requiring tenant to provide income information biannually and acknowledge that should its income increase, the household may be subject to a higher rent. Adjusted monthly incomes can be calculated using rules according to the HUD Handbook 4350/3 Occupancy Requirements for HUD Subsidized Multifamily Housing.

The location of the designated units may change over time (to be referred to as "floating units") as long as the total number of affordable units remains constant and that substituted units are comparable in terms of size, features, and the number of bedrooms, as determined by the Director of the Community Development Department. If the over income household does not vacate the unit, the Developer must assure that when the next comparable apartment becomes vacant, the newly available unit must be rented to a low income household, as a floating unit, to replace the previously designated unit no longer housing a low income household. If the over income household chooses to leave, the vacated unit retains its low income unit designation.

If a residential apartment complex is designated as 100% low income, the over income household will not be required to vacate, if it pays the increased rent, and the unit will not be replaced with a "floating unit". When the over income household vacates the unit, the unit retains its low income unit designation.

- c. If the city determines that an outside audit is necessary to verify the accuracy of the submitted rent roll, then on a basis no more frequently than once a year, it may require such an audit at the expense of Developer. In such event, within ten (10) days after delivery of the City's written request for such outside audit, Developer shall deliver to the City the names of three (3) certified public accountants doing business in the Metropolitan San Diego area. City will promptly deliver to Developer notice of approval by the City of one or more of said names.

The audit shall be completed by an approved certified public accountant, at Developer's sole cost and expense, within sixty (60) days after the delivery to Developer of City's approval. The certified public accountant shall promptly deliver a copy of the written audit to the City. Such audit shall be an audit of Developer's records, including the information supplied to Developer by the low income tenants. The auditor shall not be required to verify the accuracy of the information provided by the low income tenants.

Home Ownership Units' Compliance Packet

Should Developer seek approval by the City to credit a home purchase toward its low and/or moderate income housing obligation, the Developer must give the City at a minimum a compliance packet including the following:

- Copy of Settlement Sheet
- Homebuyer's Qualifying Form - Exhibit 4
- Authorization to Release Information by Purchaser
- Acknowledgement that the Information is for City's Reporting and Administration Use Only

Developer shall not be required to perform any extraordinary investigation or verification regarding such information other than Developer's usual and customary means of income verification.

Developer may contact the City's Community Development Housing Division's Housing Coordinator to confirm the City's acceptance of the applicant as credit toward Developer's low and/or moderate income housing

unit obligation. Developer may contact the City prior to the sale of the unit for consultation purposes if desired; however, approval will be given in writing only after required documents are reviewed and accepted by the City.

II.6.4.5. AFFIRMATIVE MARKETING PLAN

Developer shall provide a marketing plan acceptable to the City, in the City's reasonable discretion, for proactively marketing the low and moderate income housing units to low and moderate income tenants and purchasers, respectively, at the time specified in the Implementation Schedules in Sections A5 and B4 above. Developer shall use good faith and reasonable best efforts to market the low and moderate income housing units to low and moderate income tenants and purchasers according to the affirmative marketing plan. See Exhibit 5, attached hereto, which sets forth the plan requirements.

The City will in its discretion use good faith and reasonable best efforts to assist Developer in marketing low and moderate income housing units to low and moderate income tenants and purchasers, obtaining the services of a third-party organization in connection with such marketing efforts, processing the applications of prospective tenants and purchasers of low and moderate income housing units, and complying with the reporting requirements as required herein.

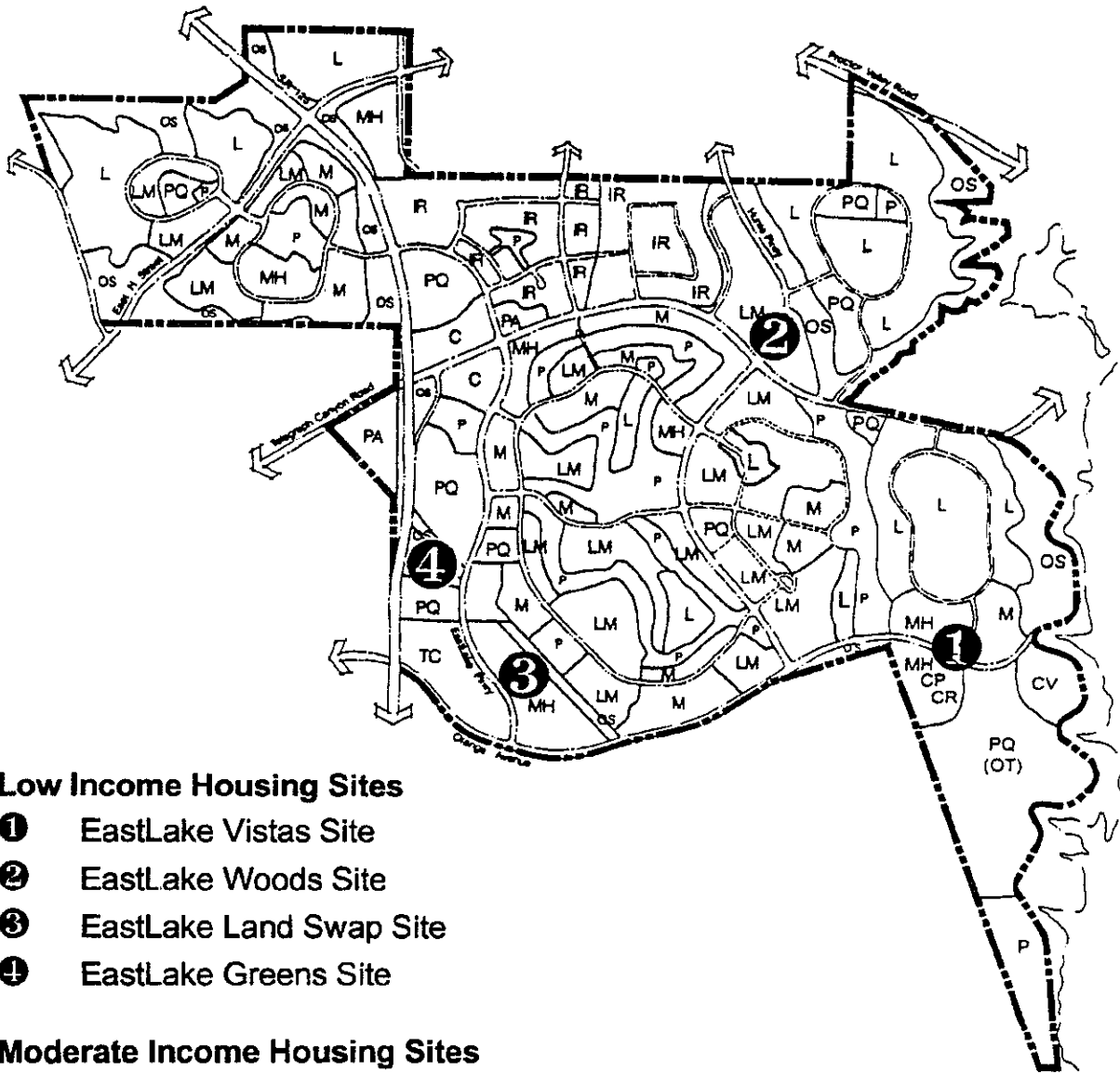
II.6.4.6 IMPLEMENTING AGREEMENTS AND CONDITIONS

This AHP may be implemented through various mechanisms including development agreements, tentative map conditions, and specific housing project agreements which may impose additional terms and conditions consistent herewith.

Exhibit 1

Low & Moderate Income Housing Sites

Composite General Development Plan for EastLake

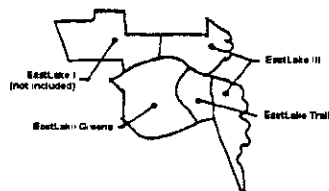


Low Income Housing Sites

- ① EastLake Vistas Site
- ② EastLake Woods Site
- ③ EastLake Land Swap Site
- ④ EastLake Greens Site

Moderate Income Housing Sites

Dispersed without assignment in
M, MH, & H Categories.



EASTLAKE
A PLANNED COMMUNITY BY EASTLAKE DEVELOPMENT CO.

Cinti
Land Planning
San Diego, CA
Date: 6/8/98

EXHIBIT 2A

SUPPLEMENTAL RENTAL APPLICATION

The rental unit for which you are applying has received governmental assistance under programs to encourage more affordable housing. As a result, the unit carries a rent level restriction and is restricted to occupancy by low and moderate income households.

The information required on this form is necessary to determine your income eligibility to occupy the unit. You must report all household income. Information provided will be confidential and not subject to public disclosure pursuant to State Government Code Section 6254(n).

6.15.1 Rental Unit Address _____

6.15.2 Applicant Name _____

6.15.3 Other Household Members _____

6.15.4 Total Current Annual Household Income from all Sources Including Asset:

TOTAL \$ _____

Detail:

Household Member	Income	Source
------------------	--------	--------

6.15.5 Total Gross Annual Household Income shown on most recent Federal Tax Return from Previous Calendar Year (Attach copies of most recent Federal Tax returns from previous calendar year for all household members receiving income. Include other verification of income not appearing on tax forms.)

\$ _____

6.15.6 Monthly Rental Rate \$ _____

6.15.7 Number of Bedrooms _____

EXHIBIT 2B

APPLICANT'S STATEMENT

I certify under penalty of perjury that the following information is true and correct to the best of my knowledge. I understand that any misrepresentation of the information contained herein may be cause for eviction.

Signature_____ Date_____

OWNER'S STATEMENT

Based on the foregoing information, I certify under penalty of perjury that the applicant is eligible to occupy this restricted low and moderate income housing unit. Eligibility is based on finding that the applicant's household's current annual income is \$_____ and does not exceed current maximum household income of \$_____ allowed under the terms of a Development Agreement with the City of Chula Vista regarding this residential rental development.

Name:_____

Title:_____

Signature:_____ Date: _____

EXHIBIT 3-A

SEMI-ANNUAL REPORT

OWNER'S CERTIFICATION

I am the owner or owner's representative for an affordable housing development in the City of Chula Vista which is bound by a Housing Agreement with the City.

I certify under penalty or perjury that the attached rent roll for affordable units at my project is true and correct to the best of my knowledge and complies with the terms and conditions stipulated in the Affordable Housing Agreement, or any agreement that implements the same, with the City of Chula Vista.

Name_____

Title_____

Signature_____ Date _____

EXHIBIT 3-B

SEMI-ANNUAL REPORT

PROJECT NAME _____

PROJECT ADDRESS _____

NAME OF PERSON COMPLETING FORM _____

PHONE NUMBER _____

BDRM SIZE	MONTHLY RENT	NAME OF HOUSEHOLD	NUMBER OF OCCUPANTS	TOTAL MONTHLY HOUSEHOLD INCOME	SENIOR PROJECTS - ONE OCCUPANT IS 60 YEARS+

(copy form as needed)

Exhibit 3 - Page 2 of 3

EXHIBIT 3-C

SEMI-ANNUAL REPORT

(insert memo from City)

EXHIBIT 4

HOMEBUYER'S QUALIFYING FORM

Buyer's Name	_____
Current Address	_____
Tract	_____
Lot #	_____
Lot Address	_____
Purchase Price ¹	_____
Monthly PITI Payment	_____
% of Income	_____
# Bedrooms	_____
Household Size	_____
Year of Purchase	_____
Median San Diego Household Income	_____
% of Median	_____
Current Income	_____
Signature Authorizing Release to City	_____
Sales Representative	_____
Submitted to City on	_____

NOTE: This information is for the City's Reporting and Administrative Use Only.

¹ The sale price of any unit being sold in partial satisfaction of Developer's obligation to provide low income housing shall not exceed three times the household's annual income as required by and as may be revised from time to time by the San Diego Association of Governments (SANDAG).

EXHIBIT 5

City of Chula Vista Equal Housing Opportunity Requirements For The Low/Moderate Income Housing Affirmative Marketing Plan

Every Developer complying with the City of Chula Vista's Housing Element's "Affordable Housing Plan" shall submit to the City an Affirmative Marketing Plan for City Review and Approval which details actions the Developer will take to provide information and otherwise attract eligible persons in the housing market area to the available housing without regard to race, sex, sexual orientation, marital status, family status, color, religion, national origin, ancestry, or handicap, age or any other category which may be defined by law now or in the future.

- I. The City of Chula Vista Affirmative Marketing Requirements are as follows. Please note, however, the Plan is not limited to these Requirements.
 - (i) Detail methods for informing the public, buyers and potential tenants about Federal fair housing laws and the City of Chula Vista's affirmative marketing policy;
 - (ii) Publicize to minority persons the availability of housing opportunities through the type of media customarily utilized by the applicant, including minority outlets which are available in the housing market area;
 - (iii) Identify by language and by number any significant number of persons in a community within the housing market area who have limited fluency in the English language;
 - (iv) Where there is a significant number of person in a community within the housing market area who have limited fluency in the English language, the Plan shall:
 - (a) Identify the media most likely to reach such persons.
 - (b) Advertise for the housing development in the native language of such persons, in addition to the English language, and
 - (c) Describe the provisions which the housing sponsor will make for handling inquiries by and negotiations with such persons for the rental or sale of units in the development.
 - (v) Detail procedures to be used by the Developer and/or property manager to inform and solicit applications from persons in the housing market area who are not likely to apply for the housing without special outreach (e.g., use of community organizations, places of worship, employment centers, fair housing groups, or housing counseling agencies).

- II. Records must be kept describing actions taken by the Developer and/or property managers to affirmatively market units and records to assess the results of these actions:
- (i) The records shall include a copy or transcript of the advertisement copy, the identity of the media in which it was disseminated, and the date(s) of each appearance. The housing sponsor shall also keep a record of the dates and places of any meetings or communications between the housing sponsor and any individual or group referred to the housing sponsor by the agency or organizations representing any of the groups within the community acting on behalf of any classification of minority persons described above. Such records shall be retained for a period of five years;
 - (ii) A description of how the Developer and/or property managers will annually assess the success of affirmative marketing actions and what corrective actions will be taken where affirmative marketing requirements are not met; and
 - (iii) The Developer/property manager shall furnish all information and reports required hereunder and will permit access to its books, records and accounts by the City of Chula Vista, HUD or its agent, or other authorized Federal and State officials for purposes of investigation to ascertain compliance with the rules, regulations and provisions stated herein.
- III. The City of Chula Vista may from time to time review the Plan and the Developer's and property manager's activities pursuant to the Plan and may require amendments to the Plan if it does not fully comply with the requirements of this section.
- IV. An affirmative marketing program shall be in effect for the duration of the Qualified Term defined in the Affordable Housing Agreement.
- V. If a source of funding used in a low/moderate income housing development, such as federal or state funds, has affirmative marketing requirements more restrictive than the City of Chula Vista's affirmative marketing requirements, then the more restrictive applies.

(A:\ELK-AHP.doc)

EastLake Greens SPA

Air Quality Improvement Plan

Adopted on November 24, 1998

by Resolution No. 19275

Project Sponsor

THE EASTLAKE COMPANY
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Prepared by:

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(916) 541-1817

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I. EXECUTIVE SUMMARY

The purpose of this Air Quality Improvement Plan for the EastLake Greens Sectional Planning Area (SPA) is to respond to the Growth Management Policies of the City of Chula Vista. The most significant air quality improvement measures are those policies and regulations established at the broadest geographic level, i.e., State and Federal. However, there are measures that can be applied on a City or project level which can have a positive impact. This report presents an overview of these issues, and offers the following improvement measures which are to be implemented at the local level.

1. Pedestrian and Bicycle Paths: The EastLake General Development Plan, and subsequent SPA Plans, adopted by the City have emphasized the use of an extensive trail system, connecting activity centers, to enable non-vehicular travel. The project is designed with a single loop collector connecting the majority of residential development and simplifying internal circulation. The clustering of "activity uses" (high school, community park, and retail) at a central location within the community encourages the use of non-vehicular modes of travel to these destinations.

There has also been a suggestion that programs to encourage pedestrian and bicycle travel could be applied, such as reduced parking availability at retail centers. These concepts would require City-wide debate to fully appreciate competing goals, and are not applicable at the project level.

2. Jobs/Housing Balance: The EastLake General Development Plan, adopted by the City, includes job opportunities, recreation, education, retail and service commercial, and public facilities within the community. Full implementation of the community plan would minimize the length and number of automobile trips because of the range of opportunities and services available within the community.
3. Access To Regional Systems: The LOS requirements applied to development within the EastLake Greens SPA will encourage free-flow travel, which reduces air emissions. However, there are those who argue that transit use is actually enhanced by congestion. These competing approaches to air quality improvements need to be reviewed as City-wide policy to determine the appropriate balance.
4. Transit Access: The project circulation will improve routes for transit. Transit stops can be incorporated where desired at key intersections without significant plan modification. The clustering of transit destinations (i.e., schools, shopping and employment) encourages the use of public transit and simplifies routing and scheduling.

5. Educational Programs: The master developer will participate in an educational program for residents of homes within the EastLake Greens SPA. This program could also be coordinated as part of a larger City-wide program to inform residents of the services and alternative transportation options available to them.
6. Park-and-Ride Facilities: The provision of a Park-and-Ride facility in proximity to the project is anticipated. Construction of such a facility is required in the EastLake Village Center, located just north of the project site. Such a Park-and-Ride facility could also provide a staging area for carpools, vanpools, and transit vehicles. This facility should be incorporated into a city-wide system of similar facilities coordinated with public transit routes, including future light rail corridors.
7. Local and Regional Air Quality Regulations: A new Air Quality Plan is currently being formulated will supersede the 1982 SIP. This plan, which is projected for adoption prior to the full implementation of development within the EastLake Greens SPA, will include increased standards and regulatory measures to mitigate this as well as other anticipated growth in the San Diego Air Basin. EastLake will be subject to compliance with these regulations and mitigation measures as they evolve.
8. Development Monitoring: The Design Review process provides a point for monitoring the inclusion of on-site transit stops and trail linkages. In addition, this development will be subject to the ongoing monitoring programs inherent in the City's Transportation Phasing Plan and Growth Management Program.

These local mitigation measures might have a minimal impact on Air Quality in quantifiable terms, but their enhancement of future transit options and public awareness should have a greater long term public benefit.

II. INTRODUCTION

A. Purpose

The purpose of this Air Quality Improvement Plan is to respond to the Growth Management Policies of the City of Chula Vista. The City has looked comprehensively at issues dealing with development and the additional impacts it places on public facilities and services. The Growth Management Program implements the Growth Management Element of the General Plan and establishes an orderly process to carry out the development policies of the City. The primary area of focus of the Growth Management Program is east of I-805 where most of the remaining vacant land is located, including the project site.

B. Planning Context

The planning context for this air quality plan ranges from state-wide and regional considerations to local planning requirements. The California Clean Air Act (CCAA) forms the basis for most air quality management efforts. It is the driving mechanism to the current revision to the San Diego Air Basin Air Quality Management Plan by the regional Air Pollution Control District (APCD).

At the local level, cities must carry out their fair-share responsibilities within a day-to-day decision making framework to ensure attainment of the regional standards and objectives. Although specific local policies have not been adopted, Chula Vista is actively participating, through the growth management program and other efforts, in the regional endeavor to establish effective long term regional strategies to implement the air quality standards and objectives.

The California Air Resources Board (ARB) has classified the San Diego region as having a severe air pollution problem because the region will not comply with State standards until some time after 1997. According to the San Diego Air Pollution Control District (APCD), the major sources of air pollutants in the region are motor vehicles and pollution blown in from Los Angeles. Given this situation, local air quality improvement efforts are focused on transportation issues. To address air quality problems related to transportation, level of service standards for arterials, highways and transit are being developed, as are goals for reducing solo auto trips.

Actions necessary to achieve state and federal clean air standards, and transportation system management (TSM) and transportation demand management (TDM) objectives include:

- reducing solo auto trips by carpooling and using transit

- promoting telecommuting and staggered work schedules
- improving transit service
- building additional high occupancy vehicle lanes
- coordinating traffic signals and implementing other circulation system improvements
- reducing trip lengths through jobs/housing balance, mixed use development and focusing development near transit stations

The regional plans required by State law are now being prepared by SANDAG and the APCD. Although the areas of focus are well known and alternative measures have been offered for review and comment, specific guidelines and standards have not yet been adopted. Thus a direct comparison or evaluation of the measures included in this plan with regional standards cannot be made at this time. However, because of the commercial nature of this project and the transportation focus of the specific measures expected to be adopted in the regional plan, project level consistency will be based on operational requirements (e.g., employee commuting, goods movement/truck operations, etc.) and design parameters. Design parameters will include project access and parking management/pricing which could be a design issue (i.e., reduce parking requirements to create a shortage so that users would be induced to use public transit or ride-share). The following chapter will more fully detail these issues.

At the local level, within Chula Vista, there is no local air quality plan. However, the City Council has adopted the Growth Management Program which requires Air Quality Improvement Plans for major development projects (50 residential units or commercial/industrial projects with equivalent air quality impacts). This report for the EastLake Greens SPA has been prepared to meet that requirement. Although such plans are required, the City has not established any guidelines, criteria, or other requirements for content or scope of such plans. Additionally, the City has not adopted an Air Quality Plan or element to its General Plan to establish local policy in this area. Because no local plan exists or is in preparation, project compliance will need to be measured against the anticipated requirements of the regional plan.

C. Goals

The following are goals of the EastLake Greens SPA Air Quality Improvement Plan:

1. To minimize air quality impacts during and after construction of projects within the EastLake Greens SPA.

2. To comply with the air quality standards and policies of the City of Chula Vista and San Diego County APCD.
3. To create a framework for the design and implementation of air quality mitigation measures in these residential development projects.
4. To be economically efficient and cost effective.

D. Approach

The approach to air quality mitigation outlined in this plan is focused on the strategies and measures available to residential development projects. As will be described in the next chapter, few transportation/air quality improvements measures in the State and regional plans are addressed to these projects. The majority address transportation system efficiency, alternative transportation modes, heavy vehicle restrictions, and increased vehicle occupancy. None of these are directly influenced or effected by residential development. Some measures are available however, and these are described and incorporated into the project as appropriate. These include integration of land uses, construction of facilities to support public transportation, and the provision of private group transportation where feasible. Efforts to educate and increase awareness of the need to minimize air quality impacts and the opportunities to do so, will be directed toward future residents. The roles and responsibilities of all affected parties are described in the following section.

E. Roles and Responsibilities

In order for this plan to be effective, it is necessary to clearly assign appropriate roles and responsibilities to all of the participants in the development and occupancy phases of projects within the EastLake Greens SPA. There are three primary groups involved: developer/builders; government/service agencies; and future residents/tenants. Each has an important role to play, as described below.

1. Developer/Builders

The master developer, EastLake Development Company, is providing the basic planning, design, and management of this program. Community level transportation facilities, vehicular and non-vehicular, will be implemented by the master developer.

Individual builders will construct homes according to the standards set by the master developer (and the City) and will be responsible for energy planning and management within their own project. Builders will also be the primary communicators with homebuyers. In this role, they will be responsible for identifying the energy conservation features incorporated in the project, and educating homebuyers regarding a continuing conservation effort.

2. Property Owners/Residents/Tenants

The long term success of the air quality mitigation effort rests with residents who choose their own modes of transportation, driving habits and lifestyles. In the aggregate, choices by residents/tenants affect the air quality in the region more than any effort by the City or developer.

Generally, commercial and industrial are the land uses which have significant opportunities to incorporate air quality/transportation mitigation measures because of the concentrated number of automobile trips associated with them. The decision to utilize public transit or non-vehicular transportation will rest with future residents, influenced by the availability and convenience of such facilities.

3. Government/Service Agencies

The City of Chula Vista will review project plans and monitor this plan. Because of its development approval role, the City can effectively enforce transportation phasing and other standards for new construction. Some local public transportation systems are operated under authority of the City, in cooperation with regional operators. The City can also be a source of on-going education and air quality awareness through citizen communication programs.

The San Diego APCD will adopt regional air quality plans which will implement measures to meet State and Federal standards. Although these plans will focus primarily on transportation issues, land use and indirect source guidelines will also be included. State law prohibits the intrusion of the APCD on the land use decision authority of the City, so it will be up to the City to implement any such guidelines.

To a certain extent, the local school districts also have a role to play based on the transportation they offer to students. Bussing of students to school facilities, instead of parent auto trips, can have beneficial effects in the same way that using public transit for employment commuting reduces total trips, improving air quality and traffic congestion.

III. AIR QUALITY LEGISLATION AND PLANS

A. Background

Based on air quality data from the regional air quality monitoring network, the California Air Resources Board classified San Diego County as a "non-attainment area" for the State Ozone (O_3) and Inhaleable Particulate Matter (PM_{10}) Air Quality Standards. In addition, the western portion of the County was classified "non-attainment" for the State Nitrogen Dioxide (NO_2) and Carbon Monoxide (CO) Standards. The eastern portion of the County is classified "attainment" for these standards.

Ozone is the principal pollutant of concern in San Diego County. Because violations of the CO and NO_2 standards are marginal compared to the significant O_3 problem, the principal focus of the regional air quality effort will be directed toward reducing reactive organic gases and oxides of nitrogen, which are ozone precursors.

The ARB motor vehicle pollution control program will continue to provide significant reactive hydrocarbon, oxides of nitrogen, and CO reductions from motor vehicles. Transportation control measures will also reduce these emissions. Since 80% of the region's CO and 50% of the NO_2 pollution is from on-road motor vehicles, this combination of measures will substantially contribute to attaining and maintaining these two standards. While transportation control measures and motor vehicle emission controls will be major elements in the CO and NO_2 control program, additional stationary source control measures may be necessary to control oxides of nitrogen.

B. Air Quality Plan Requirements

1. Involved Agencies

The four agencies involved in the air quality planning process are the Environmental Protection Agency (EPA), which is responsible for the administration of the federal Clean Air Act; the State Air Resources Board (ARB), which is responsible for the implementation of the California Clean Air Act of 1988; the San Diego County Air Pollution Control District (APCD), which is responsible for the development of the Air Quality Plan mandated by the State Clean Air Act and for regulating the emissions in the region; and SANDAG, which is responsible for the preparation of the transportation control measures component of the Air Quality Plan. The Plan is to be consistent with the traffic congestion management and regional growth management plans also being prepared by SANDAG. Within this context of a long term strategy to be carried out by the

State and the APCD, Chula Vista can also do its fair share, although it does not have a formal role in formulating the plan. State law does provide for the delegation of administration of APCD Regulations to local agencies if the following conditions are met:

- Measures adopted and implemented are as stringent as the District's measures.
- The local agencies submitting an implementation plan have sufficient resources and the District approves the plan.
- The District adopts procedures to audit local agency performance to insure compliance. The District can revoke the delegation for inadequate performance.

Any land use provisions of the adopted plan will ultimately be the responsibility of the City as state law prohibits the APCD from intruding in this area.

2. Air Quality Standards

Attainment of air quality standards is based on federal and state law which establishes such standards, with the state standards more strict than federal standards (see Table 1). Given this situation, compliance with state law will generally lead to conformance with federal law.

The California Clean Air Act of 1988 requires that each air district develop and submit a plan by July 1991 showing how the district will achieve the mandated standards. In their plans, the districts must consider all emission sources, independent of transport into the air basin. Each district not in attainment of the standards by 1994 must reduce non-attainment pollutants or their precursors by an average of 5% per year, beginning from the 1987 levels. The plan must also demonstrate that improved air quality will be maintained after attainment; thus, the plan must have provisions for continued air quality improvement to accommodate growth. The plan must contain transportation control measures, transportation system measures, and direct source regulations.

Table 1

Ambient Air Quality Standards

Pollutant	Averaging Time	California Standard	National Standard
Ozone	1 hour	0.09 ppm	0.12 ppm
Carbon Monoxide	8 hour 1 hour	9.0 ppm 20 ppm	9 ppm 35 ppm
Nitrogen Dioxide	Annually 1 hour	-- 0.25 ppm	100 $\mu\text{g}/\text{m}^3$ --
Sulfur Dioxide	Annually 24 hour 1 hour	-- 0.05 ppm 0.25 ppm	80 $\mu\text{g}/\text{m}^3$ 0.14 ppm --
Suspended Particulate Matter (PM 10)	Annual Mean 24 hour	30 $\mu\text{g}/\text{m}^3$ 50 $\mu\text{g}/\text{m}^3$	50 $\mu\text{g}/\text{m}^3$ 150 $\mu\text{g}/\text{m}^3$
Sulfates	24 hour	25 $\mu\text{g}/\text{m}^3$	--
Lead	30 days Calendar Quarter	1.5 $\mu\text{g}/\text{m}^3$ --	-- 1.5 $\mu\text{g}/\text{m}^3$
Hydrogen Sulfide	1 hour	0.03 ppm	--
Vinyl Chloride (chloroethene)	24 hour	0.010 ppm	--
Visibility Reducing Particulates	1 Observation	Visibility of 10 miles when humidity is <70%.	--

ppm = parts per million

3. Mandated Measures

Because the San Diego region is classified "severe", specific controls are required by State law. These are: the best available retrofit control technology for existing sources; a permitting program that mitigates emission increases from all new and modified sources; reasonably available transportation control measures; indirect and area source control measures; and, specifically, transportation control measures to hold vehicle emissions constant after 1997 and achieve an average commute-time ridership of 1.5 persons per vehicle by 1999, and measures to achieve use of a significant number of low-emission vehicles by fleet-operators.

If the region cannot meet the 5% annual reduction standard, then the next best level of reduction is to be achieved. The Act authorizes the ARB to adjust the emission reduction target for individual areas, if two legal conditions are met. First, the Plan must include all feasible measures and the region must be expeditiously implementing the Plan. Based on the currently available data, the APCD believes that the 5% annual reduction will not be met and thus the "all feasible measures" standard will be applied.

C. Transportation Control Measures

In November 1990, the APCD Board adopted criteria for developing a transportation control measures (TCM) plan. The plan is being prepared by SANDAG according to the criteria of APCD, and, once completed, the plan will be implemented through district regulations and transportation system improvements.

The TCM criteria addressed six major areas: transportation demand management (reduction in number vehicle trips & heavy duty vehicle restrictions); alternative transportation mode capacity expansion (public transit, park and ride, high occupancy vehicle facilities & bicycle/pedestrian facilities); transportation system management (traffic signals & incident management); land use (jobs/housing balance, mixed use development & focused development); market based incentives (fees & taxes); and, driving restrictions.

Regulations which will be proposed to meet these criteria could include:

1. Ride sharing and van pool programs.
2. Employer subsidized transit ticket passes.

3. Flexible work schedules to accommodate ride sharing and transit.
4. Telecommuting and teleconferencing.
5. Parking incentives to support ride sharing.
6. Trip management education.
7. Limiting heavy duty truck traffic during peak commute periods and reducing the number of trips through better fleet management.
8. Measures to reduce trips to large facilities.

In addition, the Air Quality Plan will contain transportation system measures to attempt to reduce motor vehicle pollution utilizing some of the following measures:

1. Adding more high occupancy vehicle by pass ramps and lanes.
2. Improving transit services.
3. Special bridge toll rates for drivers who ride share.
4. Increase bus fleets and upgrading of vehicles.
5. Development of long range policies supporting vehicle trip reduction.

D. Indirect Source Regulations

A residential development is considered an indirect source in that it generates/attracts motor vehicle trips, although the homes themselves do not directly impact air quality. Because all feasible measures will be required, indirect source measures will be included in the Plan. The focus of these provisions will be to reduce motor vehicle-related emissions, although measures addressing aspects of development such as improved energy conservation could be included. Key elements for indirect source regulation would include the following:

1. New source review and approval prior to construction.
2. Determine if the project is consistent with the APCD Air Quality Plan.
3. Analysis of the location, distance, time of day, vehicle occupancy and mode split.

4. Assess the quantity of air pollution which could result from the project.
5. Require the best available design to reduce trips, maintain or improve traffic flow, reduce vehicle miles traveled and implement appropriate transportation control measures.
6. Define the means for monitoring results.
7. Issue a permit specifying air quality construction and operating requirements to provide a basis for determining on going compliance.
8. Incorporate energy conservation measures/opportunities in new construction.

E. Transportation Demand Management

As noted earlier, other planning programs are currently underway which should be coordinated with the Air Quality Plan. Currently, the City of Chula Vista is participating in the regional effort to implement the transportation demand management (TDM) ordinance. City staff is evaluating the model TDM ordinance prepared by SANDAG. The near term focus of the regional transportation demand program will be on the largest components of the principal traffic stream including employment travel, college and university student travel, and goods movement. The objectives for each of the larger traffic components are as follows:

1. The objectives of the freeway traffic element policies and programs shall lead to the achievement of a 1.4 average vehicle occupancy rate for all area freeways during the principal travel period by the year 2000 and a 1.5 average vehicle occupancy rate by the year 2010.
2. The objectives of the employment traffic element policies and programs shall lead to the achievement of a 50% drive alone ratio for region wide employment traffic during the principal travel period by the year 2000 and 40% drive along ratio by the year 2010.
3. The objectives of the college and university traffic element policies and programs shall lead to the achievement of a 50% student drive along ratio by the year 2000; and a 40% student drive along ratio by the year 2010.
4. The objective of the goods movement traffic element policies and programs shall lead to the achievement of a 25% reduction in goods movement traffic during the

principle travel period by the year 2000; and a 35% reduction by the 2010.

Violation of the transportation demand management ordinance as currently proposed may constitute a violation of the Regional Air Quality Plan.

The basic requirements of the transportation demand management ordinance will be to require employers to prepare plans to carry out the objectives of the program and to file annual reports showing the degree of compliance with said standards. In addition, each college and university will develop, implement and promote student commute alternatives in order to achieve the regional college university student drive along targets.

Finally, with respect to the goods movement/trucking traffic element, each business providing goods movement/traffic trucking services shall develop, implement and promote a non-peak period delivery program as well as other measures to further reduce truck traffic during the principal travel period which is to defined as between 6:30 a.m. to 8:30 a.m. through 1995 after which time it shall be 6:00 a.m. to 9:00 a.m.

The draft version of Regulation XIV embodying these objectives is currently being processed by the local air quality agencies. Although it will take time to finalize and implement the regulation, the importance of Reg. XIV in regulating some portion of transportation-related air quality impacts is undeniable.

F. Public Transit Planning and Service

The EastLake Community is currently served by a local bus route, although preliminary planning for light rail service to the region is underway. Increased use of public mass transit is a primary objective to achieve improved air quality.

1. Current Transit Service

Chula Vista Transit Route 709 provides bus service to the EastLake Community. The route which began service in July 1991 has an average ridership of 150 persons per day. Downtown San Diego commuters can make their daily trip via a 20 minute bus ride to the "H" Street Trolley Station and continuing to downtown via the trolley.

Until such time as the South Bay Light Rail Service is initiated, Chula Vista Transit will be the only mass transit service to EastLake. The City does not currently have a

planned transit expansion program for developing areas in the eastern territories. Transit officials expect to use the MTDB South Bay Public Transportation Plan (due in late 1992) as a guide in phasing and expanding service to the area. The current expansion policy, while not written, attempts to provide bus service where sufficient ridership is available. Funding for the Chula Vista Transit service is provided by fare box revenues (40%) and the ¼% State sales tax proceeds.

2. Future Transit Planning

In March 1991 SANDAG completed the "South Bay Rail Transit Extension Study". The report evaluated the feasibility of extending light rail (trolley) and commuter rail service in the South Bay. Specifically the light rail service required to serve the eastern territories of Chula Vista and Imperial Beach was evaluated using cost and ridership estimates as a measure of performance and feasibility. Potential land use patterns to support rail transit service were also evaluated.

Three light rail corridors were determined worthy of further study. Alternative "E" which traverses the southwest portion of the EastLake Greens SPA and crosses the proposed alignment of SR-125 at Palomar Road, approximately one-half mile south of Telegraph Canyon Road, has been identified as having the best performance of all alternatives studied.

The South Bay Rail Transit Extension Study was accepted by the SANDAG Board and a follow-up study being administered by the Metropolitan Transit Development Board (MTDB) is currently underway. This study, the "South Bay Public Transportation Plan," will:

- Assemble existing short range public transportation plans for the South Bay.
- Prepare a South Bay seven-year public transportation plan.
- Identify major transit facilities.
- Develop a staging plan.
- Study proposed guide-way transit corridors and station locations.
- Study adequacy of existing land use plans as they relate to supporting mass transit.

No funding source has been identified for the proposed light rail extensions and the currently programmed MTDB extensions

are currently under-funded. The State Propositions 108 and 111 which passed in 1990 have provided significant funds for MTDB near term projects, however the rail extension project is very long term in nature.

IV. AIR QUALITY IMPACTS

This chapter discusses the Air Quality Impacts associated with the build-out of development within the EastLake Greens SPA. Information from the Environmental Impact Report (EIR) prepared for the project has been utilized with some modification to reflect the project "as approved." The EIR addressed a project totaling 3,609 residential units while the revised project consists of 2,738 units.

A. Existing Climate/Air Quality Conditions

1. Climate

The climate of the Chula Vista area, as with all of Southern California, is controlled largely by the strength and position of the subtropical high pressure cell over the Pacific Ocean. It maintains moderate temperatures and lower humidities, and limits precipitation to a few storms during the winter "wet" season. Temperatures are normally mild with rare extremes above 100 degrees Fahrenheit (F) or below freezing.

Winds in the City of Chula Vista are almost always driven by the dominant land/sea breeze circulation system. Regional wind patterns are dominated by daytime on-shore sea breezes up to 20 miles per hour with an average of 7 miles per hour. At night, the wind generally slows and reverses direction, traveling towards the sea. Wind direction is altered by local canyons, with winds tending to flow parallel to the canyons.

The on-shore flow of air provides the driving mechanism for both air pollution transport and dispersion. The winds described above control the horizontal transport in the region. The interior valleys of San Diego County also have numerous temperature inversions that control the vertical extent through which pollutants can be mixed. When the on-shore flow of cool, marine air undercuts a large dome of warm, sinking air within the oceanic high pressure area, it forms a marine/subsidence inversion. These inversions allow for good local mixing, but act like a giant lid over the larger area. As air moves inland, sources add pollution from below without any dilution from above. The boundary between the cool air near the surface and the warm air aloft is a zone where air pollutants become concentrated. As the air moves inland and meets elevated terrain, inland foothill communities are

exposed to many of the trapped pollutants within this most polluted part of the inversion layer.

A second inversion type forms when cool air drifts into lower valleys at night and pools on the valley floor. These radiation inversions are strongest in winter when nights are longest and air is coldest. They may lead to stagnation of ground-level pollution sources such as automobile exhaust near freeways or major parking facilities.

2. Air Quality

To assess the air quality impact of the proposed project, that impact, together with the baseline air quality levels, must be compared to the Ambient Air Quality Standards (AAQS). These standards are the levels of air quality considered safe, to protect the public health and welfare. They are designed to protect people whose health makes them most susceptible to respiratory distress, such as asthmatics, the elderly, very young children, people weakened by disease or illness, and persons engaged in strenuous work or exercise, whose are deemed sensitive receptors. Healthy adults can tolerate occasional exposure to air pollutant levels which exceed the established standards.

The Clean Air Act Amendment of 1970 first established national AAQS. States retained the option to adopt more stringent standards or to include other pollution categories. The initial attainment deadline of 1977 was extended to 1987 for certain national standards, and that deadline passed with the San Diego Air Basin (SDAB) still far from attainment. The California Clean Air Act and a new Federal Clean Air Act have been passed since then, both of which set forth more realistic implementation time frames for airsheds with moderately degraded air quality such as the SDAB. Because California already had standards in existence prior to 1970 and because of unique meteorological problems in California, there is considerable difference between state and federal clean air standards. The standards currently in effect in California are shown in Table 1.

Air quality at any site is dependent on the regional air quality and local pollutant sources. Regional air quality is determined by the release of pollutants throughout the air basin. Within the San Diego Air Basin, it has been calculated that mobile sources are the major source of regional emissions and are responsible for approximately 73 percent of the smog emissions in San Diego County ("Climate and Smog in San Diego County", SDAPCD). Smog (comprised primarily of ozone) concentrations in San Diego County exceed both federal and state standards. In 1990 the federal standards was exceeded

on 39 days while the more stringent state standard was exceeded on 139 days. In 1991, these days exceeding standards fell to their lowest levels since expanded monitoring was begun in the mid-1970's. The federal standard was exceeded on 26 days while the state standard was exceeded on 106 days. While a combination of industrial and motor vehicle pollution controls have provided a steady and significant improvement in air quality, the dramatic improvements of 1991 are probably more due to favorable weather patterns than any air quality improvement programs. In San Diego County, approximately 40% of the state smog standard violations, three-fourths of the federal violations, and all of the highest smog alert level concentrations are caused by transported smog from the Los Angeles area.

The air monitoring station closest to the project site, operated by the SDAPCD, is on East "J" Street in Chula Vista. The data collected at this station is considered to be representative of the air quality experienced in the vicinity of the project. Air quality data for 1987 through 1991 for the Chula Vista station is provided in Table 2.

The air quality data indicate that ozone is the air pollutant of primary concern in the project area, as well as San Diego County as a whole. Ozone is a secondary pollutant; it is not directly emitted. Ozone is the result of the chemical reactions of other pollutants, most importantly hydrocarbons and nitrogen dioxide, in the presence of bright sunlight. Pollutants emitted from morning rush hour traffic react to produce the oxidant concentrations experienced in Chula Vista. Ozone is the primary component of the photochemical oxidants and it takes several hours for the photochemical process to yield ozone levels which exceed the standard. All areas of the San Diego County Air Basin contribute to the ozone levels experienced at Chula Vista, with the more significant areas being those directly upwind. The ozone levels at Chula Vista have not significantly increased or decreased over the last six years.

Particulate matter (PM10) refers to suspended particulates which are respirable. PM10 levels in the area are due to natural sources, grading operations, and motor vehicles. The federal standards for particulates have not been exceeded at the Chula Vista station since before 1982.

The carbon monoxide standards have not been exceeded over the past several years, although no clear trend in maximum carbon monoxide concentrations is evident. Carbon monoxide is generally considered to be a local pollutant. That is, carbon monoxide is directly emitted from several sources (most

notably motor vehicles), and the highest concentrations experienced are directly adjacent to the source.

Lead and sulfur oxide levels are also well below state and federal standards. Sulfur oxide levels are not exceeded anywhere in the San Diego Air Basin, primarily because of the lack of major industrial sources. Due to the introduction and increased usage of unleaded gasoline, lead concentrations are now well below the federal and state standards throughout the basin.

Table 2
Air Quality Levels Measured at Chula Vista
Ambient Air Monitoring Station 1987-91

Pollutant	CA Std.	Fed. Std.	Year	Max. Level	Days State/Fed. Std. Exceeded
Ozone	0.09 ppm* for 1 hr.	0.12 ppm for 1 hr.	1987	0.17	15/2
			1988	0.22	17/4
			1989	0.16	21/7
			1990	0.15	21/3
			1991	0.15	13/3
Inhaleable Particulate (PM10)	50 µg/m³ for 24 hr	150 µg/m³ for 24 hr	1987	68	0/0
			1988	58	0/0
			1989	69	0/0
			1990	67	0/0
			1991	N/A	0/0
SO ₂	0.25 ppm for 24 hr	0.5 ppm for 24 hr	1987	0.04	0/0
			1988	0.09	0/0
			1989	0.08	0/0
			1990	0.06	0/0
			1991	0.07	0/0
CO	20 ppm for 1 hr	35 ppm for 1 hr	1987	7.0	0/0
			1988	7.0	0/0
			1989	8.0	0/0
			1990	7.0	0/0
			1991	7.0	0/0
NO ₂	0.25 ppm for 1 hr	0.05 ppm annual avg.	1987	0.15	0/0
			1988	0.21	0/0
			1989	0.16	0/0
			1990	0.13	0/0
			1991	0.12	0/0

*ppm = parts per million
N/A = not available

SOURCE: Rancho del Rey Commercial Center Draft EIR (7/20/92)

B. Project Air Quality Impacts

Full development of projects within the EastLake Greens SPA would generate approximately 66,389 daily automobile trips. These trips would result in increased air emissions on new and existing roadways. This includes trips assigned to non-residential uses such as schools, commercial, and recreation facilities. Short-term emissions from construction activities would generate dust and diesel emissions resulting in short-term emissions impacts.

1. Construction Impacts

Soil disturbance to prepare the project site would generate fugitive dust during the construction phase. Soil dust is typically chemically inert and much of the dust is comprised of large particles that are readily filtered by human breathing passages and also settle out on nearby surfaces. It comprises more of a potential soiling nuisance than an adverse air quality impact.

Construction activities for large development projects are estimated by the U.S. Environmental Protection Agency to add 1.2 tons of fugitive dust per acre of soil per month of activity. If water or other soil stabilizers are used to control dust, the emissions can be reduced by up to 50 percent. However, fugitive dust control using water must be balanced against the need to conserve water resources. Currently, water conservation has taken priority. The California ARB, in its development of area source emissions calculations of fugitive construction dust, estimates that the net disturbance area for single family homes is one-fourth acre with a six month disturbance duration. Assuming the entire EastLake Greens SPA will be graded and the average duration will be six months, a total of 7,163 tons of dust could be generated without application of dust control procedures. Standard dust control utilizing reclaimed water could reduce this by 50% to approximately 3,582 tons. The respirable PM10 fraction of fresh construction dust is estimated to be approximately one-third of TSP. Thus, the project impact is probably about 1,194 tons over the multi-year build-out period.

In addition to fugitive dust, construction activities would also cause combustion emissions to be released from on-site construction equipment and from off-site vehicles hauling materials. Heavy duty equipment emissions are difficult to quantify because of day-to-day variability in construction activities and equipment used. Typical emission rates for a diesel powered scraper are provided in Table 3, and were obtained from the San Diego Air Quality Management Division

Air Quality Handbook (April 1987). A diesel powered scraper is the most common equipment used for grading operations.

Table 3
Emission Rates for Grading Scraper

<u>POLLUTANT</u>	<u>EMISSION RATE (Grams/8 Hr.)</u>
Carbon monoxide	5,280
Nitrogen oxides	22,560
Hydrocarbons	2,272
Sulfur oxides	1,680
Particulates	1,472

The emission rates above are provided in grams per 8-hour day. To provide a regional perspective of construction emissions generated by projects, the projected emissions for San Diego County (Year 2000) have been provided for comparison. These emissions are based on construction of planned land uses and regional transportation facilities consistent with the input data for the forthcoming Air Quality Plan, and are given in units of tons/day (Table 4). [909,091 grams = 1 ton]

2. Mobile Source Impacts

Impacts to air quality result primarily from automobile emissions. The proposed project would result in an increase in air emissions. If future development has been anticipated in the 1982 SIP then air quality impacts are considered mitigated by adherence to the measures as outlined in the SIP. The proposed project is consistent with SANDAG Series VII projections, while the 1982 SIP is based on Series V projections. Typically, Series VII projections are higher than Series V. Adherence to the policies and measures in the 1982 SIP may result in some residual impacts as not all growth has been anticipated. However, the air quality planning process now underway utilizes the Series VII projections and will result in a new Air Quality Plan that will supersede the 1982 SIP. With adoption of the new plan, the project will be in conformance with the regional air quality plan. This plan will include increased standards and regulatory measures based on the anticipated growth. Because the new plan includes the project in its baseline information, project impacts would no longer be considered significant.

Table 4
San Diego Air Basin Emission Inventory Summary
(tons/day)

(Preliminary Data)

<u>SOURCES</u>	<u>1987</u>		<u>2000</u>	
<u>Reactive Organic Gases (ROG)</u>				
Solvent Use	73.81	(27%)	106.63	(43%)
Other Stationary Sources	27.54	(10%)	36.23	(15%)
Lt. Duty Passenger Vehicles	107.10	(39%)	49.38	(20%)
Other On-road Vehicles	47.98	(18%)	29.86	(12%)
Other Mobile Sources	18.07	(6%)	24.70	(10%)
Total ROG	274.50		246.80	
<u>Oxides of Nitrogen NOx</u>				
All Stationary Sources	36.47	(15%)	55.97	(22%)
Lt. Duty Passenger Vehicles	76.52	(31%)	41.49	(16%)
Other On-road Vehicles	65.50	(26%)	64.92	(25%)
Ships	51.98	(21%)	71.42	(28%)
Other Mobile Sources	18.08	(7%)	24.15	(9%)
TOTAL NO _x	248.55		257.94	
<u>Carbon Monoxide (CO)</u>				
Fuel Combustion	46.03	(3%)	60.25	(6%)
Other Stationary Sources	10.52	(1%)	13.22	(1%)
Lt. Duty Passenger Vehicles	870.33	(61%)	519.66	(51%)
Other On-road Vehicles	402.64	(28%)	290.94	(29%)
Other Mobile Sources	97.08	(7%)	134.29	(9%)
TOTAL CO	1,426.60		1,018.37	
<u>Nitrogen Dioxide (NO₂)</u>				
Fuel Combustion	42.16	(17%)	63.55	(25%)
Other Stationary Sources	1.50	(1%)	2.00	(1%)
Lt. Duty Passenger Vehicles	70.63	(29%)	38.43	(15%)
Other On-road Vehicles	57.30	(24%)	56.11	(22%)
Ships	52.83	(22%)	72.59	(28%)
Other Mobile Sources	17.59	(7%)	23.47	(9%)
Total NO ₂	242.01		256.15	

Project air quality impacts from mobile sources were estimated in the project EIR. These estimates have been modified to correspond with the total ADT increase associated with the project as amended in 1997. Emissions associated with build-out of the SPA are presented in Table 5. The figures can be compared with the regional daily totals provided in Table 4.

Table 5
Estimated Mobile Source Project Emissions

	<u>Project Emissions</u>
Carbon Monoxide (CO)	10.8 tons/day
Nitrogen Oxides (NO _x)	1.69
Sulfur Dioxide (SO ₂)	0.17
Hydrocarbons (HC)	1.01
Total Suspended Particulate Matter (TSP)	0.33

Localized air quality impacts can also result from vehicle emissions. The volume of carbon monoxide released when a large volume of slow moving vehicles are contained in one small area can create air pollution "hot spots". Often such "hot spots" can occur when intersection congestion is LOS E/F. If traffic on Telegraph Canyon Road deteriorates to these levels, potentially significant "hot spots" could result.

3. On-Site Impacts

Emissions from residential activity including painting, household cleaning, fumigation, gasoline powered lawnmowers, chemicals associated with swimming pools, wood burning fireplaces and barbecues, while not considered significant, would have a cumulative impact on regional air quality. Emissions from the school and park sites including the use of gasoline powered lawnmowers, chemicals associated with maintenance activities and classroom activities are not considered significant on a project level, but could have cumulative impacts on regional air quality. Within the South Coast Air Basin (Los Angeles area), regulations to prohibit or restrict these types of air impacts are being adopted. If similar regulations are adopted in the San Diego region, the SDAPCD (or its designee) will enforce compliance, including the subject project.

V. AIR QUALITY MITIGATION MEASURES

The primary route to air quality mitigation and reduction of project impacts to an insignificant level is conformance to the adopted regional air quality plan. As discussed, the new Air Quality Plan is now being prepared but specifics are unknown at this time. To decrease project level emissions, the City of Chula Vista will adhere to recommendations made by the 1982 SIP and the forthcoming San Diego Air Quality Plan regarding local participation in air emission reduction measures.

As is evident from the preceding discussion, the focus of local air quality improvement measures are local sources (industrial uses) and transportation behavior. The EastLake Greens SPA includes primarily residential development. Residential development is not a direct source of emissions. Thus, the project approach is to provide alternative transportation routes, and in some cases facilities, and encourage and/or educate residents to use them. Specific mitigation measures required of the project are described in EIRs 81-03, 86-04, and IS 92-04 which are incorporated by reference. Among these, measures to decrease project-related emissions include:

- The project facilitates the use of alternative transportation modes by promoting non-vehicular transit usage by project residents by providing bicycle and pedestrian trails connecting to all local activity centers (e.g., schools, parks, etc.). All levels of schools (elementary to high school) are planned within the EastLake Community. In addition, the EastLake Activity Center is planned to include a variety of retail and service commercial, entertainment and public facility uses. Day care/church facilities and a full range of public parks are included within the community to minimize travel distance and encourage non-vehicular modes.
- The land use plan for EastLake also includes a significant business center to potentially reduce commute distances and maintain an appropriate jobs/housing balance.
- The location of the development projects is in close proximity to existing and planned major transportation facilities: Telegraph Canyon Road and SR-125. In addition, light rail service is being planned to serve the community.
- To avoid creation of air pollution "hot spots" at intersections, transportation phasing measures included in the Growth Management Plan will be implemented to reduce potentially significant impacts to air quality. Maintaining the LOS to C or better will minimize the number of idling cars that are releasing carbon monoxide into the air. The projects will be required to comply with the threshold standards adopted by the

City which will maintain acceptable traffic flow. Fee contributions by the projects will also help fund transportation system management improvements (signal synchronization, etc.) planned by the City and funded through development impact fees.

- To minimize air quality impacts from energy generation plants, the project will incorporate energy conservation measures as required by the State. Measures associated with reducing energy for hot water heating will also contribute to water conservation efforts.
- As a component of the project water conservation program, an on-going program of homeowner education/assistance will be provided by the master developer (or designee). This program can be expanded to include air quality issues; to provide education and information to new homeowners who may be receptive to changing their habits in conjunction with their move to a new environment.
- In addition, should new or more definitive measures be adopted for residential development projects, either as a component of the new regional Air Quality Plan or local regulations, these measures will be incorporated into the projects. Because air quality is an issue which can be effectively addressed only on a regional (air basin) basis, the most effective approach will be for each and every project to implement the Air Quality Plan. EastLake Development Company is committed to implementing this Plan and expects such provisions to be fully implemented and/or enforced by the city of Chula Vista.

VI. MONITORING/CONCLUSION

A. Monitoring

To assure compliance with project mitigation measures, City staff will require compliance with the forthcoming San Diego Air Quality Plan. The City General Plan also includes policies encouraging adherence to these measures. Prior to or as a condition of approval of the tentative map, the project design plan would be reviewed by the City Planning Department to insure that there are adequate bicycle facilities on-site (per PC District regulations), and that area(s) to accommodate mass transit vehicles are reserved within the adjacent EastLake I Village Center.

Transportation control systems and development/transportation improvement phasing is also controlled by the City of Chula Vista through the forthcoming Growth Management Plan. These measures will address the potential impacts associated with

congested traffic on Telegraph Canyon Road. The mitigation measures included in the Transportation Phasing Plan will be implemented before issuance of the occupancy permit per the Public Facilities Finance Plan.

B. Conclusion/Analysis of Significance

Development of the projects will result in increased traffic on new and existing roadways and additional air emissions. Fugitive dust released from construction a short-term nuisance and would not constitute a significant impact. The development of the proposed project is consistent with SANDAG Series VII projections and not the Series V projections associated with the 1982 SIP which is considered a significant impact. The SIP revision, which is currently being initiated using Series VII projections will be completed and adopted prior to build-out. The project will be in compliance with the provisions of the new Air Quality Plan and impacts are expected to be minimized. Compliance with the air quality plan would define project impacts as less than significant.

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EastLake Greens SPA

Water Conservation Plan

Adopted on November 24, 1998

by Resolution No. 19275

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I. Executive Summary

A. Purpose

The purpose of this Water Conservation Plan for development within the EastLake Greens Sectional Planning Area (SPA) is to respond to the Growth Management Policies of the City of Chula Vista. The water conservation measures presented in this plan are intended to respond to the long term need to conserve water in new development; more stringent short-term, emergency measures (e.g., water rationing, new meter moratorium, etc.) responding to drought or water crisis situations are not included. This plan is intended to be implemented over the life of the project and to establish standards which will be acceptable to future project residents regardless of water availability.

B. Approach

The approach to water conservation outlined in this plan is intended to be comprehensive and implemented throughout the life of the development project. Water conservation during construction and after occupancy are addressed, as well as the installation of water conserving landscaping, appliances and fixtures. Efforts to educate and increase awareness of the need to conserve water and the opportunities to do so, will be directed toward future residents. Project participation in regional or city-wide water conservation/mitigation programs to provide additional off-site mitigation is also anticipated.

C. Goals

The following are goals of the EastLake Greens SPA Water Conservation program:

1. To conserve water during and after construction of the projects within the EastLake Greens SPA.
2. To comply with the water conservation standards and policies of the City of Chula Vista and Otay Water District.
3. To create a comprehensive framework for the design, implementation and maintenance of water conserving measures, both indoor and outdoor.
4. To be economically efficient and cost effective.

D. Conservation Estimates

As detailed in this report, numerous features have been included in the project and commitments made by the Master

Developer to minimize the use of water during the construction and habitation of development within the EastLake Greens SPA. The estimated water consumption statistics, with and without conservation measures are outlined in the Table 1.

Table 1

EastLake Greens SPA
Water Consumption/Conservation Summary

	Water Consumption		Percent
	<u>w/o Conserv.</u>	<u>w/ Conserv.</u>	<u>Savings</u>
Residential	1.11 MGD*	0.63 MGD	43%
Commercial/ Public & Quasi-public	0.25 MGD	0.23 MGD ¹	10%
Schools/Parks	0.23 MGD	0.06 MGD ²	74%
Golf Course/Landscape	<u>0.72 MGD</u>	<u>0.22 MGD²</u>	<u>69%</u>
TOTALS	2.31 MGD	1.14 MGD	51%

*MGD=million gallons/day

¹ Savings based on using efficient irrigation and drought tolerant landscaping.

² Savings based on using reclaimed water for irrigation.

The water savings summarized above reflect the implementation of several water conservation measures essentially within the EastLake Greens SPA boundary. These measures are summarized in Table 2. In addition, the project is committed to fully participate in any off-site mitigation program adopted by the City. Such a program could be designed to require new development to off-set all or a portion of their new water demand by funding or providing water conservation improvements in older developed areas where efficient plumbing fixtures or irrigation systems were not installed. Funds collected could also be spent on studying or acquiring new or improved sources of water (e.g., expanded water reclamation, desalination, etc.). Although such a program does not exist at the current time, considerable work is being completed by several agencies including the CWA, local water districts, and the City to formulate such a plan and adoption of a region-wide program is anticipated at a future date.

Table 2

**EastLake Greens SPA
Water Conservation Measures**

On-Site Measures

Fixtures/Devices

- Ultra-low Flow Toilet
- Ultra-low Flow Shower Head
- Faucet Aerator
- Hot Water Pipe Insulation
- Pressure Reducing Valves
- Water Efficient Dishwasher
- Water Efficient Clothes Washer (advise/assist)

Outdoors/Landscaping

- Efficient Irrigation for Common Areas and Slopes
- Low Water Use Demonstration Model Home Landscaping
- Installation of Reclaimed Water Mains
- Water Conserving Practices during Grading/Construction

Public Education/Awareness Program

- Homebuyer Information Packets
- Water Conservation Coordinator
- Public Information Seminars

Off-Site Measures

The applicant shall comply with a City-approved water use offset policy, in which one or more of the following off-site measures may be required:

1. Compliance with a regional water use offset program, to be administered by the San Diego County Water Authority.
2. Compliance with a locally administered water use offset program (such program may be administered by the City, water district, or a combination of both).
3. Implementation of specific water use offset measures for this project, if neither a regional or locally administered water use offset program is in place prior to issuance of building permits for any portion of this project.

In the event that a City-approved water offset policy is not in effect at the time building permits are issued, the requirements of this plan shall be met through implementation of specific water offset measures for this project, with the level of offsets and specific measures to be approved by the City.

E. Roles and Responsibilities

In order for this plan to be effective, it is necessary to clearly assign appropriate roles and responsibilities to all of the participants in the development and occupancy phases of projects within the EastLake Greens SPA. There are three primary groups involved: developer/builders; government/service agencies; future residents and commercial property owners/tenants. Each has an important role to play, as described below.

1. Developer/Builders

The master developer, EastLake Development Company, is providing the basic planning, design, and management of this program. Community level facilities, landscaping and construction standards will be designed and implemented by the master developer.

Individual builders will construct homes according to the standards set by the master developer (and the City) and will be responsible for water planning and management within their own project. Builders will also be the primary communicators with homebuyers. In this role, they will be responsible for identifying the water conservation features incorporated in the project, and educating homebuyers regarding a continuing conservation effort.

The builder/developer will also comply with any city-wide or regional water supply mitigation or improvement program, if such a program is adopted.

2. Property Owners/Residents/Tenants

The long term success of the conservation effort rests with property owners who are the long term water users within the project. Private homeowners, associations, and public agencies will be responsible for irrigation and landscape materials on individual lots. Builders will incorporate water conserving systems and materials with initial construction but it will be the responsibility of the property owner/tenant to maintain these installations and use water responsibly on a day-to-day basis.

Land uses which have significant irrigation requirements (i.e., golf course, schools, parks, landscaped open space) should utilize reclaimed water when it is available. The decision to utilize reclaimed water will rest with property owners, which are public agencies (school district and city) in most cases.

3. Government/Service Agencies

The City of Chula Vista will review project plans and assist in the monitoring of this plan. Because of its development approval role, the City can effectively enforce water conservation standards for new construction. The City can also be a source of on-going education and water awareness through citizen communication programs.

The City, through the Interagency Water Commission, will also have a role in formulating and implementing a city-wide or regional water conservation/mitigation program.

The Otay Water District will provide domestic water service and reclaimed water service. As the water purveyor, the District may adopt its own guidelines or standards for water conservation. The District now has a water connection allocation program in effect. The District will also monitor adherence to policies or requirements of regional water agencies such as the County Water Authority and the Regional Water Quality Control Board.

As owners of property with significant irrigation needs, the City, Chula Vista Elementary School District and Sweetwater Union High School District will have the opportunity to utilize reclaimed water, when it is available.

II. WATER CONSUMPTION

This section presents information on the anticipated water demand of development within the EastLake Greens SPA. Information from the Environmental Impact Report (EIR) prepared for the project has been utilized with some modification to reflect the amended project. The EIR addressed a project totaling 3,609 residential units while the amended consists of 3,443 units.

Table 4 shows the projected water use within the EastLake Greens SPA, based on average use rates which do not reflect significant conservation measures, categorized according to land use and residential density based on the population estimates given in Table 3. The primary unit of measure for water quantity used for comparison in this report is gallons per capita per day (gpcpd). This can be multiplied by the estimated number of persons per dwelling unit (DU) to obtain the gallons per day per dwelling unit. The number of persons per dwelling unit varies with the type of unit (single family detached, attached, apartment, etc.), as shown in Table 3.

The total projected average water use, without conservation measures, for projects within the EastLake Greens SPA is 2.31 million gallons per day (MGD). The ability to use reclaimed water to irrigate large areas within the EastLake Greens SPA is being built into the project, and is addressed separately, as it is not directly a part of the residential development. Approximately 0.67 MGD (3429%) of the total water need could be satisfied by using reclaimed water. The focus of this report is to describe conservation measures for reducing the projected 1.11 MGD potable water use within the residential development.

Table 3

EastLake Greens SPA Estimated Population

	Proposed Units (DU)	Household Size	Population
Single Family Detached	1,387	3.0	4,161
Attached Med. Density	<u>2,056</u>	<u>2.5</u>	<u>5,140</u>
TOTALS	3,443	2.7 (avg.)	9,301

Table 4

Projected Water Use in EastLake Greens SPA

Land Use	Population/Units	Rate	Water Use (MGD)
Residential			
Single Family Detached	4,161 persons	130 gpcpd	0.54
Attached Medium Density	5,140 persons	110 gpcpd	0.57
Sub-total	9,301 persons		1.11
Commercial ¹ / Public Quasi-public	99.7 acres	2,500 gpapd	0.25
High School: Potable	2,400 students	20 gpcpd	0.05
Irrigation	17 acres	3.0 ft/yr	0.05*
Elem. School: Potable	600 students	15 gpcpd	0.01
Irrigation	5 acres	3.0 ft/yr	0.01*
Open Space OS-6 & OS-7	11 acres	2.0 ft/yr	0.02*
Other	69 acres	2.0 ft/yr	0.12
Parks	37 ac (net)	3.0 ft/yr	0.11*
Golf Course Fairways	130 acres	3.5 ft/yr	0.41*
Slopes	30 acres	2.5 ft/yr	0.07*
Clubhouse	---	---	0.10
Total Permanent Potable Use			1.64
Total Potential Reclaimed Use			<u>0.67*</u>
Total Water Use			2.31

Average per capita use 248 gal/day

gpapd= gallons per acre per day
gpcpd= gallons per capita per day
MGD= million gallons per day

¹Estimated net developable acres used for TC and PA parcels.

*Areas with potential to be irrigated with reclaimed water.

III. Water Conservation Measures

Three consecutive years of drought in watersheds supplying San Diego County have lead to changing attitudes and governmental policies regarding water. Continued water shortfalls are projected as growth continues in Southern California. Three possible solutions are available: increase water supply from non-traditional sources; conserve available water; or, increase production and use of reclaimed water. The conservation approach is the focus of this report, primarily because it is a cost effective approach which can be directly implemented on a project-by-project basis. Over the long-term, water conservation must become an integral component of the Southern California way of life with or without a drought condition in order to avoid drastic lifestyle alterations. The potential impact of water conservation can be see in Table 5.

A. Available On-Site Conservation Measures

Several general approaches to water conservation are available: demand reduction; increased efficiency; increased supply/reclaimed water use; and, improved water system management. The measures included in this report are limited to those which can be implemented in development projects of the size and type found in the EastLake Greens SPA.

1. Public Information

Any voluntary or mandatory water conservation effort requires cooperation of the public. Most consumers have very little knowledge of the water system that serves them. Historically, water has been inexpensive in California; therefore, people have a tendency to assume that there is an abundant supply and take it for granted. The purpose of public education is to inform and convince the consumer that a change in personal water habits is essential and is in his/her own and the community's best interest. Generally, long term results are best achieved through educating children in water conservation.

2. Land Use

The per capita and per dwelling unit water use quantity changes with the type of residential units, the value of the residence, and the size of the lot. Table 5 shows typical per capita use for a single family detached residence in coastal Southern California. Interior per capita use is similar to other types of residences; the major difference in use is with outside use, which is significantly lower for high density developments such as apartments and condominiums. Table 5 also shows the potential savings for each of the water use areas.

Table 5

Residential Water Use in Southern California

	Typical Use (gpcpd)	Use w/ Conservation Measures (gpcpd)	Potential Water Savings (gpcpd)	%
Inside Use				
Toilet	30.0	20.0	10.0	33
Bath/Shower	22.0	17.0	5.0	23
Laundry	10.0	8.5	1.5	15
Dishwashing	4.0	3.0	1.0	25
Faucet	3.0	2.5	0.5	17
Cooking	<u>3.0</u>	<u>3.0</u>	<u>0.0</u>	<u>0</u>
Total Inside	72.0	54.0	18.0	25%
Outside Use				
Landscape	53.0	28.0	25.0	47
Car Washing, etc.	<u>5.0</u>	<u>5.0</u>	<u>0.0</u>	<u>0</u>
Total Outside	58.0	33.0	25.0	47%
TOTAL USE	130.0	87.0	43.0	33%

Total Savings:

Single Family Detached - 129 Gallons Per DU Per Day at 3.0 Capita Per DU

Attached Low Density - 108 Gallons Per DU Per Day at 2.5 Capita Per DU

Attached High Density - 86 Gallons Per DU Per Day at 2.0 Capita Per DU

NOTE: Total savings without consideration of reclamation.

Source: Luke-Dudek Engineers

3. Mechanical Measures

Numerous mechanical devices to reduce household water consumption are available, especially for interior use. As Table 5 indicates, about half the water used in California is used indoors.

The bathroom is where most inside water is used and wasted daily. Conventional toilets use from 5 to 7 gallons per flush, as opposed to low-flush toilets, which use from 3.3 to 1.5 gallons per flush. Since 1978, California has required that all new toilets installed use no more than 3.5 gallons per flush.

Ultra low flush toilets, which have recently been developed, use about 1.5 gallons per flush. This is a reduction of about 57% from the low flush toilets used in new homes, and a reduction of up to 70% from the older toilets. Since the toilet accounts for about 40% of the indoor use, this presents a significant opportunity for reduction.

Standard shower heads have a flow rate of about 4.5 gallons per minute (gpm). California requires that new shower heads have a flow of no more than 2.75 gpm. The most water conservative showerheads have a flow rate of 0.5 gpm using a blend of air and water to give the illusion of a higher flow rate. In addition to saving water, low flow showerheads also save energy by reducing the amount of hot water used. Hot water use is the second largest residential energy consumer; heating and air conditioning the home is the greatest residential use. Low flow faucets reduce flow rates from about 5 gpm to between 2.75 gpm and 0.5 gpm; this can save one gallon per person per day.

Low water-use appliances can also be large contributors to water conservation. Certain models of dishwashers use 50% less water than others and can thus save between 7 and 9 gallons per load. Clothes washers use 41 to 74 gallons per load. Front loading washers are more efficient than top loading, and various options can save even more water. Water level controls and washers that recycle rinse water save about 1.5 gallons per person per day. Table 6 shows potential water use reduction due to water saving devices installed in an average home.

Table 6

Summary of Typical Household Water-Saving Devices

Device	Water Use gpd	Reduction percent
Toilet improvements	7.5-17.5	12-27
Faucet aerators	0- 0.5	0- 1
Shower flow limiting	0- 7.5	0-12
Pressure-reducing valves	0-16.0	0-20
Improved clothes washers	0- 8.0	0- 5
Improved dishwashers	0- 8.0	0- 4
Hot water pipe insulation	0- 8.0	1- 4
Approximate Total	35.0 gpd	25%

Source: Water Conservation Strategies, AWWA, 1980.

4. Landscape

Approximately 50% of water used in California is for landscapes. Typical landscape efficiencies are between 50% and 80%; therefor, savings of 20%-50% are possible through better watering techniques and maintenance. Trickle/drip irrigation applies water exactly where it is needed at an efficiency of 85%-90%, and results in a total water savings of more than 4% alone. Generally, sprinklers are between 60 and 75% efficient. Watering at night, or in the early morning, using automatic sprinkler systems can save 20% of outside water. Daytime irrigation is inefficient because much water is lost to evaporation. Through the use of drought tolerant plants, water consumption can be reduced by 40% to 60%.

Moisture sensors are another way to increase irrigation efficiencies. Residential customers, on the average, over water their landscaping by about 20% while parks and recreational areas are over watered by nearly 80%. Moisture sensors are not considered economical for residential use, but would save millions of gallons of water and thousands of dollars each year if used for parks and recreational areas. Polymers and wetting agents in the soil can also increase irrigation efficiency.

B. Conservation Measures Implemented

Implementing water conservation measures before a project is constructed provides an opportunity to include measures which might not otherwise be practical. Many of the measures described here could be prohibitively expensive to retro-fit to existing residences, but can be cost effective if included with the initial construction. In addition, moving in to a new home provides a major opportunity to change habits and attitudes while adjusting to the new home/environment.

The potential water savings for each of the conservation measures which have been and will continue to be implemented in development within the EastLake Greens SPA are shown in Table 7 in units of gallons per capita per day (gpcpd), and can be multiplied by the number of people per dwelling unit (DU) to determine the water savings for each household. Water savings are relative to other newer homes without water conservation devices; much higher water savings can be shown if the proposed measures are compared to older residential units.

1. Fixtures/Devices - Indoors

Ultra-Low Flow Toilet - The ultra low flow toilet uses 1.6 gallons per flush, compared to the current requirement of 3.5 gal/flush, or the older standard of 5 to 7 gal/flush. Since the toilet is the largest single inside use of water (40%), large savings can be realized by using the ultra-low flow toilets.

Ultra-Low Flow Shower Head - The ultra-low flow shower head reduces the flow from the current standard of 3.5 to 2 gpm. Older shower heads flow from 3 to 5 gpm. The ultra-low flow shower head saves about 5 gpcpd for a minimal extra cost of approximately \$3.00.

Faucet Aerator - Faucet aerators give the appearance and feel of greater flow, so less water is used. Many new homes already come with aerators, so the actual savings is shown ranging from 0 to 0.5 gpcpd. Although the savings is small, the additional cost is low, so their use is economical. There is also potential savings in energy through reduced use of hot water.

Hot Water Pipe Insulation - By insulating the hot water pipes and separating the hot and cold lines to reduce heat exchange, the time the faucet is allowed to flow while waiting for the water to become hot is reduced. The cost for insulating the pipes exceeds the value of water saved, but the cost is relatively low, and it is simple to do while the unit is under construction. The potential energy savings with insulation can be significant.

Pressure Reducing Valve - A pressure reducing valve at the water hook-up for each residence can reduce the flow rate by reducing the pressure in the lines. Normal pressures for residential use range from 40 to 80 psi; the optimum is a range of 50 to 60 psi allowing a normal flow of 3 gpm. The amount of potential savings depends on the line pressure available, and ranges from 0 to 3 gpcpd.

Water Efficient Dishwasher - New water efficient dishwashers can save as much as 6 gallons per cycle over older models. Newer models tend to be more efficient, so the actual amount of water saved will depend on the type of dishwasher proposed.

Water Efficient Clothes Washers - The relationship between water efficiency and cost of the appliance for the clothes washer is the same as with the dishwasher. Since the clothes washer uses more water, the potential savings is greater. The major difference with the clothes washer is that it is normally supplied by the owner, and would therefore be difficult to mandate the use of more efficient and costly machines, especially since the cost increase exceeds the value of the water saved. Home builders will advise and assist homeowners in their selection of an efficient machine.

2. Outdoors/Landscaping

Efficient Irrigation System - As much as 50% of total water use is outside the home for a single family detached residence with large turf areas. Most residential landscaping is over-watered, so the potential savings with efficient, timed sprinklers and micro irrigation systems is very large. All builder installed common area/slope irrigation within the EastLake Greens SPA will be water efficient. Drip irrigation systems will be utilized where appropriate. The master developer requires each home builder to provide a low water use landscaping example within each model complex to demonstrate the concept and methods water conservation in landscaping to prospective homebuyers. This is one component of an education program intended to encourage homeowners to install efficient irrigation systems and drought tolerant plant material in their own homes. A Homeowner's Guide to Drought Tolerant Landscape is also distributed to all new home buyers to provide information on irrigation systems and low water use landscaping.

Low Water Use Landscaping - The largest potential for reducing outside water use is to decrease the water demand by using low-water use, drought-tolerant landscaping. Turf areas require large amounts of water, so restricting the area of turf will have a significant

impact. As noted above, builders are required to provide examples of front yards which have reduced turf areas and utilize drought-tolerant plant materials. A Homeowner's Guide to Drought Tolerant Landscape will be distributed to all new home buyers to educate and encourage similar homeowner installed landscape design and materials.

3. Education

General Water Conservation - In addition to the physical measures to reduce water consumption, a general water conservation program will be enforced to reduce waste. Guidelines and educational materials will be distributed to all new homeowners. Water waste may be monitored by the homeowners' association(s), where available.

4. Reclaimed Water

Water Reclamation - Water reclamation conserves large amounts of potable water used for irrigation. The major opportunities for irrigation with reclaimed water are the golf course, parks, large open space areas, and the field area of the schools. Reclaimed water mains have been installed to deliver water to these sites from the water reclamation plant operated by the Otay Water District. The decision to utilize reclaimed water will lie with the respective property owners, the City of Chula Vista, school districts, and golf course operator. Reclaimed water is currently being utilized to irrigate the golf course. In addition, the amount and timing of irrigation is controlled by a computerized "weather station" which determines the appropriate amount of water based on current climatic conditions. The use of reclaimed water on the golf course alone provides a 21% savings of potable water. The use of reclaimed water on all potential sites could result in a 29% reduction in potable water use in the EastLake Greens SPA (see Table 4).

5. Water Use During Construction

Water conservation measures can also be implemented during the construction/grading process. The three primary uses are: dust abatement; soil compaction; and, street washing. Since the imposition of Stage 2 water conservation requirements by the Otay Water District, water conservation has been incorporated in EastLake construction activities, as appropriate. Water use has been limited to that necessary for proper soil compaction; soiled streets have been swept instead of washed. Reclaimed water could be used for these grading activities, when it is available.

The use of native/naturalized plant materials on graded slopes in open space will reduce the need for irrigation in the future. Open space slopes within the EastLake Greens SPA are or will be planted with drought tolerant plant materials to reduce the need for irrigation and maintenance.

C. Projected Water Savings

As indicated in Table 7, a total water savings of 0.467 MGD or approximately 43% of residential water use is projected with full implementation of the water conservation measures specified in this plan.

Table 7

**EastLake Greens SPA
Water Conservation Measures**

Conservation Measure	Function	WATER SAVINGS		Per Residence (gpd/DU)
		Per Capita (gpcpd)	For Project (MGD)	
<u>Inside</u>				
Ultra-low flow Toilet; 1.6 gal/flush	Reduced Flush Volume	10	0.093	27
Ultra-low flow shower head; 2 GPM	Reduced Shower Flow Rate	5	0.047	14
Faucet Aerator	Appearance and Feel of Greater Flow	0-0.5	0.005	1
Hot Water Pipe Insulation	Reduces Warm-Up Time	0-2	0.019	5
Water Hook-up Pressure Reducing Valve	Reduces Pressure and Flow Rate	0-3	0.028	8
Water Efficient Dishwasher	Reduced Water Requirement	0-1	0.009	3
Water Efficient Clothes Washer	Reduced Water Requirements	0-1.5	0.014	4
<u>Outside</u>				
Efficient Sprinklers & Drip Irrigation	Increased Irrigation Efficiency	10	0.093	27
Low Water Use Landscaping	Low Water Demand	15	0.140	41
General Conservation	Reduce Waste	0-3	0.028	8
Subtotal			0.476	
Water Reclamation	Replace Potable Irrigation Water	--	0.670	--
PROJECT TOTALS		51	1.057 1.146	134 132

D. Off-Site Conservation Measures

Because of the crisis created by the multi-year drought in California and the extreme short-term water rationing/use restrictions adopted to respond to the situation, attention is being given to formulating new policies which will conserve water and allow for long-term growth.

As noted in the preceding sections, although the project implements a variety of water conserving practices, the construction and occupation of these projects will result in an increased demand for water. The drought has demonstrated that water is a finite resource and that current supplies cannot reliably support current demands and unlimited continued growth. However, growth is major component of both the State's and, especially, the local San Diego area economy. In order to accommodate growth, while long term water supply options are evaluated and implemented, new programs to more efficiently use the available water are being proposed.

An initial area of focus is the retro-fit of plumbing fixtures and landscape irrigation in existing development. According to statistics compiled by the Construction Industry Federation (CIF) retro-fitting the shower and toilet fixtures in approximately 2.8 older homes would save the amount of interior-use water required by one new home (additional older homes would be required to offset outdoor water use at the new home). Thus a mitigation program which collected fees to complete such conversions, or directly required equivalent conversions, could allow a limited amount of new development to occur without creating a net increase in water demand. Comparable water savings could also be achieved by retro-fitting irrigation systems of schools, parks, golf courses, etc., where significant conservation of irrigation water could be achieved. This type of water consumption off-set program has been conceptually approved by the San Diego County Water Authority. Additional studies to determine the exact specifications, scope and implementation process are now underway. In order to avoid conflicting regulations and to maximize fairness, such a program would need to be implemented on a wide basis, preferably county-wide. The City and local water district would provide input in the establishment of the large scale program and would probably provide local implementation.

As indicated earlier, several potential water offset programs are being studied by the City of Chula Vista and various water agencies. If an offset policy is adopted in the future, development within the EastLake Greens SPA will be required to comply.

IV. IMPLEMENTATION/MONITORING

Implementation of the Water Conservation Plan shall be primarily the responsibility of the Master Developer. The Master Developer will establish requirements and guidelines for merchant builders and provide educational materials and guidance to new homeowners. The Master Developer will also install drought tolerant landscaping, approved by the City, in selected streetscapes and open space areas. The Master Developer will also require the inclusion of drought tolerant plant materials and efficient irrigation systems in the majority of builder installed landscaping. Related mitigation measures are specified in EIRs 81-03, 86-04, and IS 92-04 which are incorporated herein by reference.

A significant responsibility will also rest with the City of Chula Vista to ensure/enforce the provisions of this plan, specifically the Planning, Building, and Park and Recreation Departments. The Planning and Building Departments will review plan submittals to ensure that water conservation measures are properly included. The Parks and Recreation Department will approve planting and irrigation plans for public parks and open space.

Mains and laterals for reclaimed water will be installed with the major road and infrastructure improvements. The provision of reclaimed water is the responsibility of the Otay Water District, which will also be responsible for enforcing water quality regulations. The determination to use reclaimed water for irrigation purposes rests with the City Parks and Recreation Department for parks and open space areas, and the Sweetwater Union High School District and Chula Vista Elementary School District, for the junior high and elementary school sites.

In order to ensure that all provisions of this plan are met, the standard review of landscape and construction documents preformed by the City will include an evaluation of compliance with the provisions of this Water Conservation Plan. This approach will allow for a formal determination by the City that each of the required measures are implemented. Future discretionary or administrative actions with regard to development within the EastLake Greens SPA (e.g., tentative map, building or grading permit, etc.) may be utilized to address or ensure compliance with the prescribed water conservation measures.

V. REFERENCES

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